

Appendix C: Downtown Development Code

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Chapter 12.5 of the Fresno Municipal Code

Downtown Development Code

**PUBLIC DRAFT
1 JUNE 2011**

2.0 ZONING DISTRICTS AND REGULATING PLAN

2.1 ZONING DISTRICTS AND OVERLAYS

A. Purpose and Establishment of Zoning Districts and Overlays. This section establishes the zoning districts and overlays to implement the DNCP and FCSP for property and rights-of-way within the Downtown Code boundaries. Property and rights-of-way subject to the Downtown Code shall be divided into the following zones and overlays, which shall be applied to all property as shown on Figure 2.

B. Zoning Districts and Overlays. In order to implement the DNCP and FCSP, the following zoning districts and overlays are established and applied to property within the boundaries of the Downtown Code. Except for the Open Conservation zoning district (FMC 12-204) which is to remain on the parcels as it did prior to the adoption of the Downtown Code, all other zoning districts identified for parcels subject to the Downtown Code are replaced by the zoning districts identified in Figure 2. Refer to Table 2 for the intent and descriptions of the zoning districts and section 2.2A2 for descriptions of the overlays:

1. City Center Zoning Districts.

- a. CBD 1 - Central Business District
- b. CBD 2 - Central Business District
- c. CC - Civic Center
- d. CT - Chinatown
- e. CA/SS/SVN - South Van Ness/ Cultural Arts/ South Stadium

2. Urban Center Zoning Districts.

- a. TC - Town Center
- b. NC - Neighborhood Center

3. Corridor Zoning Districts.

- a. CG - Corridor General
- b. reserved

4. Neighborhood Zoning Districts.

- a. NG - Neighborhood General
- b. NGP - Neighborhood General Preservation
- c. NGR - Neighborhood General Revitalization
- d. NE - Neighborhood Edge
- e. reserved

5. Special Districts.

- a. SD - General Industrial 1
- b. SD - General Industrial 2
- c. SD - Chandler Airport
- d. SD - Downtown Hospital
- e. reserved

6. Overlays.

- a. Shopfront Frontage
- b. Civic Building/Open Space
- c. Non-Conforming Transition
- d. Chandler Airport Traffic Pattern

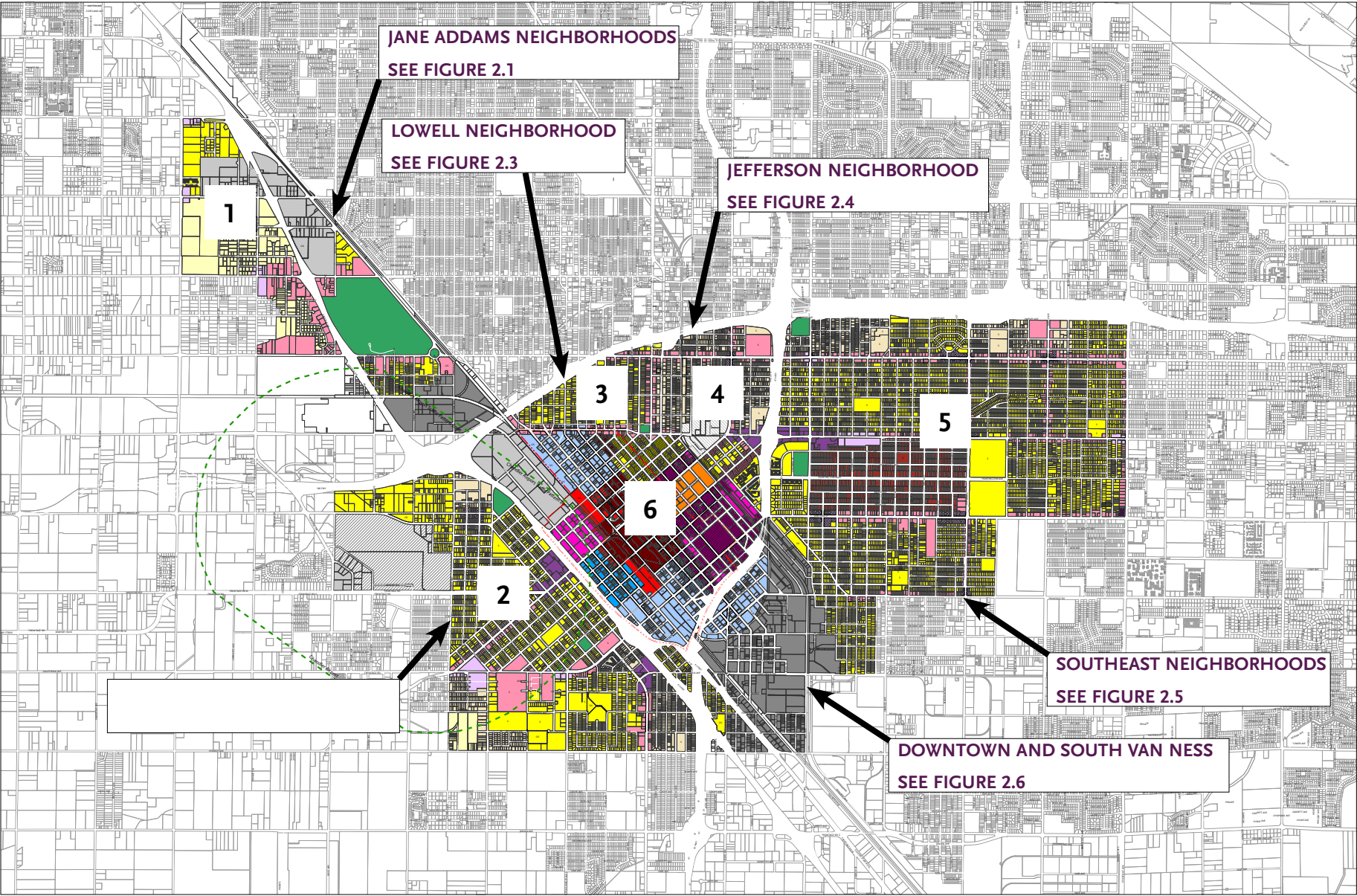
2.2 REGULATING PLAN

A. Purpose and Establishment of Regulating Plan. This section establishes the regulating plan, Figure 2, as the map that identifies and implements the various intentions and principles of the DNCP and FCSP. Figure 2 defines the zoning districts, overlays and corresponding standards for site development, design and land use through the following:

- 1. Zoning Districts.** Each zoning district is allocated standards in the following areas as appropriate to the vision of the DNCP and FCSP:
 - a. Building Placement
 - b. Allowed Building Types
 - c. Allowed Frontage Types
 - d. Building Height and Size
 - e. Allowed encroachments into required yards
 - f. Parking Placement and Site Access
 - g. Required Parking
 - h. Allowed Land Uses
 - i. Allowed Signage Types
 - j. Allowed Street Types
- 2. Overlays.** Each overlay is allocated standards as appropriate to implement the vision of the DNCP and FCSP:
 - a. Shopfront Frontage Overlay.** This overlay requires buildings to have shopfront frontage and a minimum floor-to-ceiling height. This requirement is to accommodate ground floor live-work, commercial, retail or other such non-residential activity on streets where the vision expects active, pedestrian-oriented streetscapes;
 - b. Civic Building / Open Space Overlay.** This overlay allows for buildings sites or portions of sites that, based on location, may be occupied with a community-wide resource such as a civic building or open space.
 - c. Transition Overlay.** This overlay identifies sites or buildings that, based on location, are key to implementing the vision of the DNCP and FCSP and therefore, their non-conforming status ceases upon certain thresholds being exceeded (section 1.3B.10e).
 - d. Chandler Airport Traffic Pattern Overlay.** This overlay identifies that in addition to the requirements of the Downtown Code, FMC Section 12-307 contains specific standards for property within the vicinity of airport for the various areas in and surrounding the airport, ranging from the primary surfacace, approach surface, transitional surface, and horizontal surface as defined in Federal Aviation Requirements Part 77.
- 3. Regulating Plan Diagram.** Each zoning district and overlay established by the Downtown Code is identified on Figure 2 to show the boundaries of each zoning district and overlay as well as the parcels within each boundary. Figure 2 is established as the zoning atlas for all property within the Downtown Code boundaries. Figure 2 is followed by a series of enlargements of the zoning atlas to provide sufficient detail (Figures 2.1 through 2.6).

2.0 ZONING DISTRICTS AND REGULATING PLAN

REGULATING PLAN



2.3A REQUIRED FINDINGS

- 1. Required Findings to Approve Applications.** Each application shall require consistency with the following findings in order to be approved:
- a. The application is consistent with Figure 2;
 - b. The application is for land use activity, site improvements or development that is consistent with the intent of the applicable zoning district and all applicable overlays;
 - c. The application is consistent with the intended physical character of the applicable zoning district.

KEY TO FIGURE 2		
1	- See Figure 2.1 Jane Addams Neighborhoods	pg 2 - 9
2	- See Figure 2.2 Southwest Neighborhoods	pg 2 - 11
3	- See Figure 2.3 Lowell Neighborhood	pg 2 - 13
4	- See Figure 2.4 Jefferson Neighborhood	pg 2 - 14
5	- See Figure 2.5 Southeast Neighborhoods	pg 2 - 15
6	- See Figure 2.6 Downtown	pg 2 - 17

TABLE 2

ZONING DISTRICT	1. City Center Zoning Districts		
	a. Central Business District 1	b. Central Business District 2	c. Civic Center
<div>1. EXAMPLES OF INTENDED PHYSICAL CHARACTER</div> <div>The examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typical of the identified zoning district.</div>			
			
<div>2. INTENT AND PURPOSE OF ZONING DISTRICT</div>	<p>The CBD 1 zone is the cultural, civic, shopping, and transit center of Fresno and the region. This zone is applied to areas of the downtown core bounded by Stanislaus Street, the Union Pacific tracks, Inyo Street and the alley between Van Ness Avenue and L Street.</p>	<p>The CBD 2 zone is comprised primarily of office, entertainment, and hospitality uses that serve Fresno and are secondary in intensity to the CBD1 zone. This zone is applied to areas of the downtown core surrounding the Civic Center zone and adjacent to the CBD 1 zone.</p>	<p>The CC zone is made up primarily of civic and office uses, including numerous public buildings containing City, County, State, and Federal uses. This zone is applied to properties currently fronting Mariposa Street and the south side of Fresno Street and the north side of Tulare Street between Van Ness and Q.</p>
<div>3. INTENDED PHYSICAL CHARACTER</div> <div>refer to Table 4 for Development Standards</div>	<p>New buildings are block-scale, at least 2 stories and up to 15 stories in height and located at or near the sidewalk to promote vibrant streets of active ground floor commercial activity. Most upper stories are expressed in a single volume to generate a consistent streetwall with upper most volumes massed for an interesting skyline. Multiple volumes are used on larger buildings. See Table 4A, Sections A-B for requirements.</p>	<p>New buildings are block-scale, up to 10 stories in height and are located at or near the sidewalk to promote vibrant streets and active ground floor commercial activity on key streets. Most upper stories are expressed in a single volume to generate a consistent streetwall with human-scale. Multiple volumes are used on larger buildings. See Table 4B, Sections A-B for requirements.</p>	<p>New buildings are block-scale, up to 10 stories in height and are set back from the sidewalk along a continuous build-to line to maintain a formal alignment and arrangement of building frontages. Upper stories are expressed in volumes that enhance and support the civic presence of buildings along these streets. See Table 4C, Sections A-B for requirements.</p>
<div>4. INTENDED STREETScape AND PUBLIC REALM</div> <div>refer to Table 6 for Frontage Standards</div> <div>refer to Table 8 for Open Space Standards</div>	<p>Streetscapes are the most active and intense of all streetscapes in Fresno. Commercial frontages such as galleries, arcades, and shopfronts shape a network of walkable and interconnected streets with wide sidewalks. Street trees add human scale and provide shade from the summer sun, adding distinct character to each street. See Table 6, Table 8 for requirements.</p>	<p>Streetscapes are very active and intense providing continuity from CBD1 and CC areas. Commercial frontages such as galleries, arcades, and shopfronts shape a network of walkable and interconnected streets with wide sidewalks. Street trees add human scale and provide shade from the summer sun, adding distinct character to each street. See Table 6, Table 8 for requirements.</p>	<p>Streetscapes are more formal than in other zones. Frontages emphasize the civic nature of these buildings through galleries, arcades and forecourts which form and shape the axis between the Fresno County Courthouse and City Hall. Street trees add human scale, provide shade and reinforce the formal arrangement of open spaces. See Table 6, Table 8 for requirements.</p>
<div>5. INTENDED PARKING</div> <div>refer to Table 4 for Parking Standards</div>	<p>Parking consists of on-site spaces located either under or behind buildings with most parking provided through on-street spaces, and strategically dispersed public garages. Parking requirements are the lowest in the center city relying on transit and shared parking. See Table 4A, Section D for requirements.</p>	<p>Parking consists of on-site spaces located either under or behind buildings with most parking provided through on-street spaces, and strategically dispersed public garages. Parking requirements are the second lowest in the center city relying on transit and shared parking. See Table 4B, Section D for requirements.</p>	<p>Parking consists of on-site spaces located either under or behind buildings with most parking provided through on-street spaces, and strategically dispersed public lots and garages. Parking requirements are low, utilizing shared parking and transit. See Table 4C, Section D for requirements.</p>
<div>6. INTENDED LAND USE RANGE</div> <div>refer to Table 3 for Land Use Standards</div>	<p>Buildings are occupied with ground floor commercial, retail, and office activity to support active streetscapes and walking. Upper floors and the floor area behind shopfronts is flexible for a wide variety of office, civic, lodging, housing, or additional commercial uses. See Table 3 for requirements.</p>	<p>Buildings are occupied with ground floor commercial, retail, and office activity to support active streetscapes and walking. Upper floors and the floor area behind shopfronts is flexible for a wide variety of office, civic, lodging, housing, or additional commercial uses. See Table 3 for requirements.</p>	<p>Buildings are occupied with ground floor civic and office uses, including retail, to support active streetscapes and walking. Upper floors are flexible for office and civic uses. See Table 3 for requirements.</p>

SUMMARY OF ZONING DISTRICTS

TABLE 2













		2. Urban Center Zoning Districts	
d. Chinatown	e. Cultural Arts/S. Stadium/S. VanNess	a. Town Center	b. Neighborhood Center
			
			
<p>The CT zone is applied to the areas bound- ed by the Union Pacific Railroad tracks, Highway 99, Stanislaus Street and Inyo Street. Its close proximity to Highway 99 and downtown create the unique oppor- tunity to introduce buildings and uses that serve both the region and the surrounding neighborhoods. F Street is preserved and developed as Chinatown's "main street."</p>	<p>The CA/SS/SVN zone is applied to the areas immediately to the north and south of the Central Business District, includ- ing the South Van Ness area. This zone is comprised primarily of small-scale retail, office, industrial, and multi-family housing and is intended to serve the thriving artist community in the Cultural Arts area and the existing industrial uses in the South Stadium and South Van Ness areas.</p>	<p>The TC zone is applied to nodes at major intersections along corridors and is com- prised primarily of medium-scale retail, housing, office, civic, and entertainment uses that serve several neighborhoods.</p>	<p>The NC zone is applied to nodes at second- ary intersections along corridors and is comprised of primarily small-scale neigh- borhood uses such as retail, office, civic, and entertainment, including housing.</p>
<p>New buildings are block-scale, up to 5 stories in height and are located at the sidewalk to activate the sidewalk with pedestrian-oriented commercial activ- ity. Most upper stories are expressed in single volumes to enhance the small scale of this urban neighborhood and historic main street. See Table 4D, Sections A-B for requirements.</p>	<p>New buildings are block-scale, up to 5 stories in height and are located at or near the sidewalk to generate an active public realm and pedestrian-oriented commercial activity appropriate for an intense mixed- use neighborhood. Most upper stories are expressed in single volumes with multiple volumes moderating larger buildings. See Table 4E, Sections A-B for requirements.</p>	<p>New buildings are block- scale, up to 5 stories in height and are located at or near the sidewalk to generate focused and ac- tive, commercial activity along corridors. Most upper stories are expressed in single volumes along the corridor and in multiple volumes with significant setbacks when adjacent to neighborhoods. See Table 4F, Sections A-B for requirements.</p>	<p>New buildings are block and house-scale, up to 3 stories in height, are completely compatible in scale with adjacent single- family houses, and are located at or near the sidewalk to generate pedestrian activ- ity. Upper stories are expressed in volumes compatible with adjacent houses. See Table 4G, Sections A-B for requirements.</p>
<p>Streetscapes are urban and shaped by commercial frontages such as galleries, arcades, and shopfronts. Street trees reinforce the human scale of the place along with inviting sidewalks, supporting pedestrian and commercial activity. See Table 6, Table 8 for requirements.</p>	<p>Streetscapes are urban and shaped by commercial frontages such as galleries, arcades, shopfronts with stoops on some side streets. Street trees reinforce the hu- man scale of these urban neighborhoods and mixed-use streets along with inviting sidewalks, supporting pedestrian and commercial activity. See Table 6, Table 8 for requirements.</p>	<p>Streetscapes are urban and shaped by commercial frontages such as galleries, arcades, and shopfronts with stoops on some side streets. Street trees reinforce the human scale of these mixed-use areas adjacent to large corridors along with inviting sidewalks to supporting pedes- trian and commercial activity. See Table 6, Table 8 for requirements.</p>	<p>Streetscapes are urban and less intense than those in the TC zone. Streetscapes are shaped by commercial frontages such as galleries, arcades, and shopfronts with stoops and small front yards on some side streets. Street trees reinforce the human scale of these mixed-use areas situated between large corridors and neighborhoods. along with inviting sidewalks to supporting pedestrian activity. See Table 6, Table 8 for requirements.</p>
<p>Parking consists of on-site spaces located either under or behind buildings with most parking provided through on-street spaces, and strategically dispersed public lots and garages. Parking requirements are low, utilizing shared parking and transit. See Table 4D, Section D for require- ments.</p>	<p>Parking consists of on-site spaces located either under or behind buildings with most parking provided through on-street spaces, and strategically dispersed public lots and garages. Parking requirements are low, relying on walkable services and transit. See Table 4E, Section D for require- ments.</p>	<p>Parking consists of on-site spaces located behind or under buildings combined with on-street parking. Parking requirements are moderate, encouraing walking from nearby neighborhoods while acknowledg- ing community-level visitors. See Table 4F, Section D for requirements.</p>	<p>Parking consists of on-site spaces located behind or under buildings combined with on-street parking. Parking requirements are low, focusing on walkablle services and utilizing on-street parking for visitors. See Table 4G, Section D for requirements.</p>
<p>Buildings are occupied with ground floor commercial, retail, civic or office uses to support active streetscapes and walk- ing. Upper floors and the space behind shopfronts are flexible for office, housing or additional commercial uses. See Table 3 for requirements.</p>	<p>Buildings are occupied with ground floor retail uses, live-work, and uses such as art galleries on key streets to support active streetscapes and walking. Secondary streets and upper floors are flexible for residential and office uses. See Table 3 for requirements.</p>	<p>Buildings are occupied with ground floor commercial, retail, and office uses to support active streetscapes and walking. Upper floors and the floor area behind shopfronts is flexible for office, civic, resi- dential or additional commercial uses. See Table 3 for requirements.</p>	<p>Buildings are occupied with ground floor commercial, retail, and office uses to support active streetscapes and walking. Upper floors and the floor area behind shopfronts is flexible for office, civic, resi- dential or additional commercial uses. See Table 3 for requirements.</p>

TABLE 2

ZONING DISTRICT	3. Corridor Zoning Districts	4.Neighborhood Zoning Districts
	a. Corridor General	a. Neighborhood General
<div>1. EXAMPLES OF INTENDED PHYSICAL CHARACTER</div> <div>The examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typical of the identified zoning district.</div>	<div></div> <div></div>	<div></div> <div></div>
<div>2. INTENT AND PURPOSE OF ZONING DISTRICT</div>	<div>The CG zone is applied to areas fronting on corridors including Belmont Avenue, East Kings Canyon Road, Blackstone Avenue, Abby Street, and North Fresno Street. The zone consists primarily of moderate intensity housing and neighborhood services while accommodating automobile-oriented commercial uses.</div>	<div>The NG zone is applied to areas outside of Downtown, including the Lowell neighborhood, much of the Southwest and Southeast neighborhoods. The zone is comprised primarily of single family, and single-family-compatible multi-family residential uses including live/work.</div>
<div>3. INTENDED PHYSICAL CHARACTER</div> <div>refer to Table 4 for Development Standards</div>	<div>New buildings are block-scale and house-scale, up to 3 stories in height and are at or near the sidewalk to generate more pedestrian activity. Buildings vary in size and type, but are compatible in massing and scale with adjacent buildings. Most upper stories are expressed in single volumes along the corridor and in multiple volumes with significant setbacks when adjacent to neighborhoods. Living rooms, dining rooms, and other formal rooms face the street. See Table 4H, Sections A-B for requirements.</div>	<div>New buildings are house-scale with most buildings in the zone up to 2 stories in height and some buildings up to 2 1/2 stories. All buildings are set back from the sidewalk to provide a buffer between the sidewalk and the zone's low intensity dwellings. Living rooms, dining rooms, and other formal rooms face and activate the street. Other house-scale buildings are compatible in this zone when scaled and massed in relation to the predominant single-family houses. See Table 4I, Sections A-B for requirements.</div>
<div>4. INTENDED STREETSCAPE AND PUBLIC REALM</div> <div>refer to Table 6 for Frontage Standards</div> <div>refer to Table 9 for Block and Street Standards</div>	<div>Streetscapes are urban and active with residential frontages such as front yards, porches and stoops to commercial frontages such as shopfronts and forecourts. Street trees reinforce the human scale of these mixed-use areas adjacent to large corridors along with inviting sidewalks to supporting pedestrian and commercial activity. See Table 6, Table 8 for requirements.</div>	<div>Streetscapes are suburban with active ground floor residential frontages such as front yards, porches and stoops that face traditional, tree-lined streets. Canopy street trees reinforce the human scale and low intensity nature of the streetscape while providing shade for pedestrians. See Table 6, Table 8 for requirements.</div>
<div>5. INTENDED PARKING</div> <div>refer to Table 4 for Development Standards</div>	<div>Parking consists of on-street spaces and off-street spaces located behind, under or on the side of buildings. Parking requirements are low relying on walkable services while acknowledging some community-level visitors. See Table 4H, Section D for requirements.</div>	<div>Parking consists of on-street spaces for visitors with off-street parking for residents in the rear 1/2 of the lot and shielded from the public right-of-way to emphasize the low intensity nature of the zone. See Table 4I, Section D for requirements.</div>
<div>6. INTENDED LAND USE RANGE</div> <div>refer to Table 3 for Land Use Standards</div>	<div>Buildings are occupied with ground floor housing as well as ground floor commercial, retail and office uses. Upper floors are occupied with housing, office, or additional commercial uses. See Table 3 for requirements.</div>	<div>Buildings are occupied with residential uses, limited live/work uses and home occupation activity. See Table 3 for requirements.</div>

SUMMARY OF ZONING DISTRICTS

TABLE 2

4. Neighborhood Zoning Districts				
<div>b. Neighborhood General Preservation</div> <div></div> <div></div> <div><p>The NGP zone is applied to the "L" Street area and to Huntington Boulevard area east of Downtown and is comprised primarily of houses whose historic integrity has not been compromised.</p><p>New buildings are house-scale with most buildings in the zone up to 2 stories in height and some buildings up to 2 1/2 stories. All buildings are set back from the sidewalk to provide a buffer between the sidewalk and the low intensity dwellings, with larger setbacks on Huntington Boulevard. Living rooms, dining rooms, and other formal rooms face and activate the street. Other house-scale buildings are compatible in this zone when scaled and massed in relation to the predominant single-family houses. See Table 4J, Sections A-B for requirements.</p><p>Streetscapes are suburban with active ground floor residential frontages such as large front yards, porches - stoops in some areas - that face traditional, tree-lined streets. Canopy street trees of varying species shape the unique landscape character of each individual street, and provide shade for pedestrians. See Table 6, Table 8 for requirements.</p><p>Parking consists of on-street spaces for visitors with off-street parking for residents in the rear 1/2 of the lot and shielded from the public right-of-way to emphasize the low intensity nature of the zone. See Table 4J, Section D for requirements.</p><p>Buildings are occupied with residential uses and limited home occupation activity. See Table 3 for requirements.</p></div>	<div>c. Neighborhood General Revitalization</div> <div></div> <div></div> <div><p>The NGR zone is applied to areas outside of Downtown and includes the Jefferson Neighborhood, areas south of Elm and B Streets in Southwest, and several Southeast neighborhoods adjacent to Highway 180. The zone is comprised primarily of single family, and multi-family buildings that are in need of significant reinvestment.</p><p>New buildings are house-scale with most buildings in the zone up to 2 stories in height and some buildings up to 2 1/2 stories. All buildings are set back from the sidewalk to provide a buffer between the sidewalk and the low intensity dwellings. Living rooms, dining rooms, and other formal rooms face and activate the street. Other house-scale buildings are compatible in this zone when scaled and massed in relation to the predominant single-family houses. See Table 4K Sections A-B for requirements.</p><p>Streetscapes are suburban with active ground floor residential frontages such as moderately sized front yards, porches and stoops that face traditional, tree-lined streets. Canopy street trees reinforce the human scale and low intensity nature of the streetscape while providing shade for pedestrians. See Table 6, Table 8 for requirements.</p><p>Parking consists of on-street spaces for visitors with off-street parking for residents in the rear 1/2 of the lot and shielded from the public right-of-way to emphasize the low intensity nature of the zone. See Table 4K, Section D for requirements.</p><p>Buildings are occupied with residential uses, limited live/work uses and home occupation activity. See Table 3 for requirements.</p></div>	<div>d. Neighborhood Edge</div> <div></div> <div></div> <div><p>The NE zone is applied to areas west of Highway 99 and generally within the Jane Addams area. The zone consists primarily of existing residential neighborhoods that are located near or across from agriculture.</p><p>New buildings are house-scale with most buildings in the zone up to 2 stories in height and some buildings up to 2 1/2 stories. All buildings are set back substantially from the sidewalk to accommodate large, planted front yards that characterize these areas. Living rooms, dining rooms, and other formal rooms face and activate the street to provide active ground floors even in this less intense environment. Other house-scale buildings are compatible when scaled and massed in relation to the predominant single-family houses. See Table 4L Sections A-B for requirements.</p><p>Streetscapes are rural with active ground floor residential frontages such as large front yards and porches with deep setbacks capable of capturing and treating stormwater runoff face traditional, tree-lined streets. Canopy street trees reinforce the human scale and low intensity nature of the rural streetscape. Deep, and wide shoulders accommodate bicycles and pedestrians. Sidewalks are optional. See Table 6, Table 8 for requirements.</p><p>Parking consists of on-street spaces for visitors with off-street parking for residents in the rear 1/2 of the lot and shielded from the public right-of-way to emphasize the low intensity nature of the zone. See Table 4L, Section D for requirements.</p><p>Buildings are generally occupied with residential uses with limited home occupation activity. See Table 3 for requirements.</p></div>	reserved	

TABLE 2

ZONING DISTRICT	5. Special Districts		
<div>1. EXAMPLES OF INTENDED PHYSICAL CHARACTER</div> <p>The examples are not intended to be interpreted literally as they represent the general range of scale, intensity, site organization and streetscape typical of the identified zoning district.</p>	a. SD - General Industrial 1	b. SD - General Industrial 2	 c. SD - Chandler Airport
			
			
<div>2. INTENT AND PURPOSE OF ZONING DISTRICT</div>	<p>The SD-General Industrial 1 district is applied to areas that are best suited for a variety of moderate to intense industrial and manufacturing activity. These areas are comprised primarily of large and varied building sizes with substantial activity from large cargo vehicles. These areas are accessible and interconnected but not typically oriented to the pedestrian.</p>	<p>The SD-General Industrial 2 district is applied to areas that are best suited for heavy industrial activity. These areas are comprised primarily of the most intense industrial and manufacturing uses within Fresno's center city. Buildings are large with substantial activity from large cargo vehicles. These areas are accessible and interconnected but not typically oriented to the pedestrian.</p>	<p>The SD-Chandler Airport district is applied to areas within the Chandler Airport generally in the area between Kearney Boulevard, Southwest, Thorne and Whitesbridge Avenues. These areas are comprised primarily of aeronautical-oriented industrial, manufacturing and offices. These areas are accessible and interconnected but not typically oriented to the pedestrian.</p>
<div>3. INTENDED PHYSICAL CHARACTER</div> <p>refer to Table 4 for Development Standards</p>	<p>New buildings are the second largest in the block-scale category in terms of footprint, up to 3 stories in height and located with a portion or all of their frontage at or near the sidewalk. Building volumes are expressed in single or multiple volumes as determined by the function of the industrial activity. Ground floor activity ranges from industrial and manufacturing uses and outdoor assembly to offices. See Table 4M, Sections A-B for requirements.</p>	<p>New buildings are the largest in the block-scale category in terms of footprint, up to 3 stories in height and are located anywhere on the lot. Building volumes are expressed in single or multiple volumes as determined by the function of the industrial activity. Ground floor activity ranges from industrial and manufacturing uses and outdoor assembly to offices. See Table 4N, Sections A-B for requirements.</p>	<p>New buildings are block-scale, up to 3 stories in height and are located anywhere on the lot except along Kearney, Southwest, Chandler and Channing where a portion or all of the building's frontage is near the sidewalk. Building volumes are expressed in single or multiple volumes as determined by the function of the industrial activity. Ground floor activity ranges from industrial, manufacturing, offices and outdoor assembly. See Table 4O, Sections A-B for requirements.</p>
<div>4. INTENDED STREETSCAPE AND PUBLIC REALM</div> <p>refer to Table 6 for Frontage Standards</p> <p>refer to Table 9 for Block and Street Standards</p>	<p>Ground floor industrial frontages, including loading docks and front yards shape the utilitarian streetscape. Street trees are present to provide shade while accommodating the needs of large service and delivery vehicles. See Table 6, Table 8 for requirements.</p>	<p>Ground floor industrial frontages, including loading docks and front yards shape the utilitarian streetscape. Street trees are present to provide shade while accommodating the needs of large service and delivery vehicles. See Table 6, Table 8 for requirements.</p>	<p>Ground floor industrial frontages, including loading docks, shopfronts and front yards shape the utilitarian streetscape. Street trees are present on perimeter streets to spatially define those streets while accommodating the needs of large service and delivery vehicles. See Table 6, Table 8 for requirements.</p>
<div>5. INTENDED PARKING</div> <p>refer to Table 4 for Development Standards</p>	<p>Parking consists of on-street spaces and/or on-site spaces located behind or along the side of buildings. Parking requirements are low relying on walkable services and some shared spaces. See Table 4M, Section D for requirements.</p>	<p>Parking consists of on-street spaces and/or on-site spaces located anywhere on the lot. Parking requirements are moderate based on distance from walkable services. See Table 4N, Section D for requirements.</p>	<p>Parking consists of on-street spaces and/or on-site spaces located anywhere on the lot. Parking requirements are moderate based on distance from walkable services. See Table 4O, Section D for requirements.</p>
<div>6. INTENDED LAND USE RANGE</div> <p>refer to Table 3 for Land Use Standards</p>	<p>Buildings are occupied with ground floor industrial and manufacturing uses, outdoor assembly and offices. Upper floors are occupied with industrial, manufacturing, and offices. See Table 3 for requirements.</p>	<p>Buildings are occupied with the most intense ground floor industrial, manufacturing and outdoor assembly uses of those allowed within the Downtown Code boundaries. Upper floors are occupied with industrial, manufacturing, or offices. See Table 3 for requirements.</p>	<p>Aeronautical activity is primary in this zone. Buildings are occupied with ground floor industrial and manufacturing uses, outdoor assembly and offices. Upper floors are occupied with industrial, manufacturing, and offices. See Table 3 for requirements.</p>

SUMMARY OF ZONING DISTRICTS

5. Special Districts

//// d. SD - Downtown Hospital ////

reserved

reserved



The SD-Downtown Hospital district is applied to areas within the hospital campus as well as on surrounding streets such as Fresno, Illinois, Clark, and Divisadero. These areas are comprised primarily of medical and medical office-related activities within a campus that is connected to adjacent neighborhoods and walkable services.

New buildings are block-scale, up to 10 stories in height and range in their location on the lot with some at or near the sidewalk and others where a portion or all of the building's frontage is near the sidewalk. Building volumes near neighborhoods are expressed in single or multiple volumes sufficient to relate to house-scale buildings. Building volumes away from neighborhoods are expressed in single or multiple volumes. Ground floor activity ranges from offices to limited services. **See Table 4P, Sections A-B for requirements.**

Ground floor commercial frontages such as galleries, arcades and shopfronts shape the majority of the streetscape with residential frontages such as front yards on adjacent streets. Canopy street trees reinforce the human scale of the area while providing shade and accommodating the needs of emergency vehicles. **See Table 6, Table 8 for requirements.**

Parking consists of on-street spaces and/or on-site spaces located anywhere on the lot within the campus and behind buildings on adjacent streets. Parking requirements are moderate based on distance from walkable services and transit. **See Table 4P, Section D for requirements.**

Medical office and hospital activity is primary in this zone. Buildings are occupied with ground floor office, hospital and service uses. Upper floors are occupied with office, hospital and service uses. **See Table 3 for requirements.**

FIGURE 2.1: REGULATING PLAN
JANE ADDAMS NEIGHBORHOODS

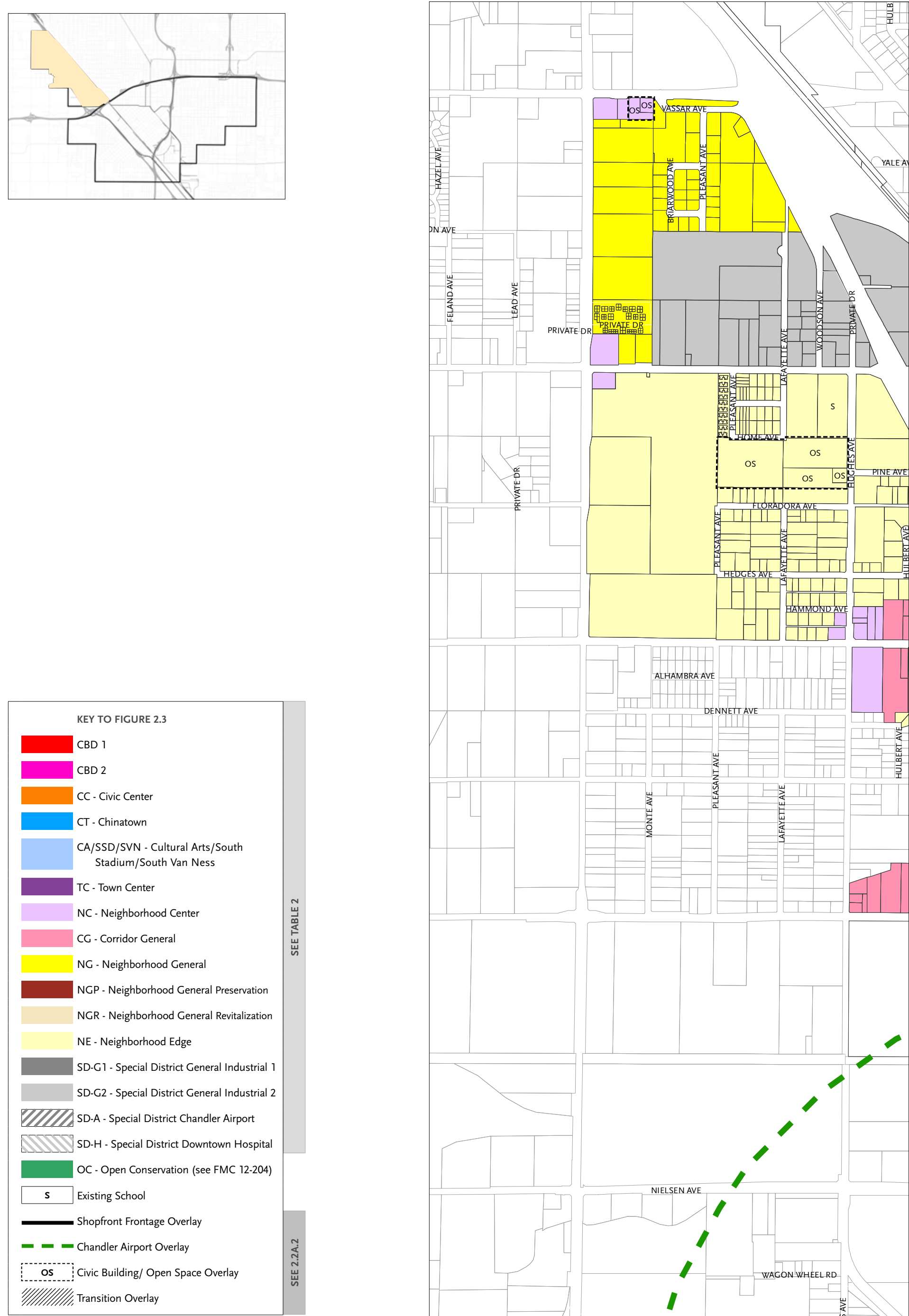


FIGURE 2.1: REGULATING PLAN, CONT'D
JANE ADDAMS NEIGHBORHOODS

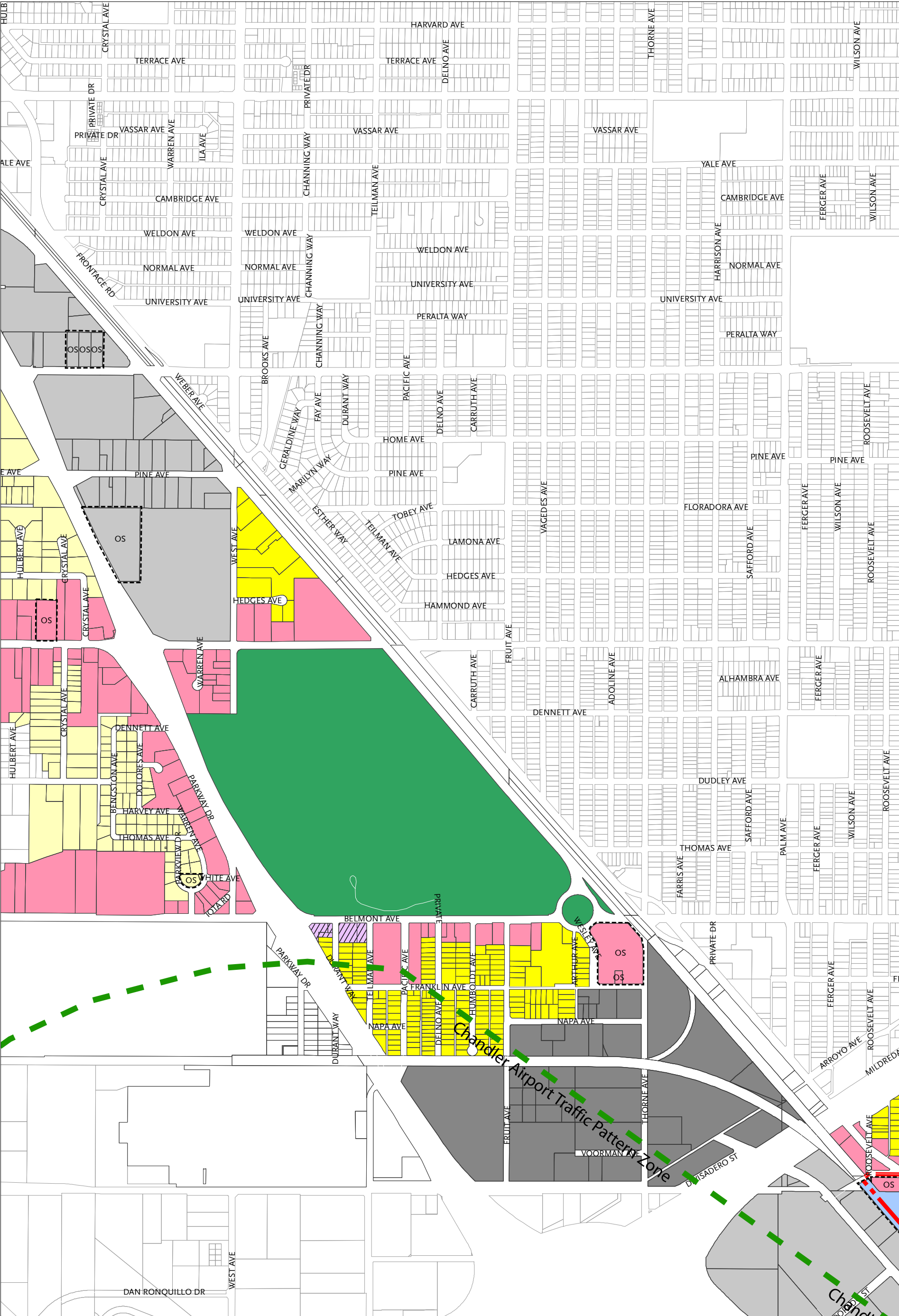


FIGURE 2.2: REGULATING PLAN
SOUTHWEST NEIGHBORHOODS

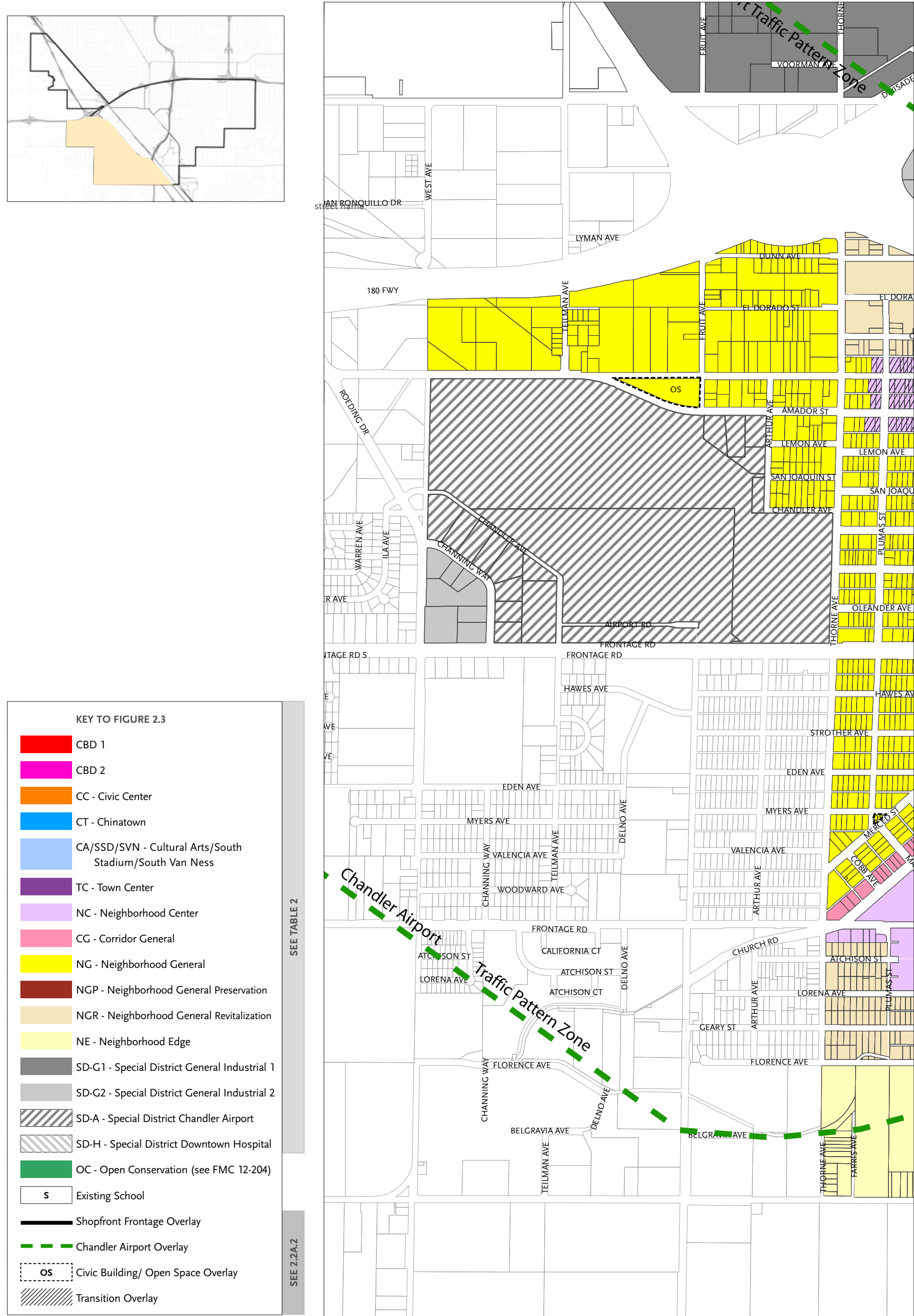


FIGURE 2.2: REGULATING PLAN, CONT'D
SOUTHWEST NEIGHBORHOODS

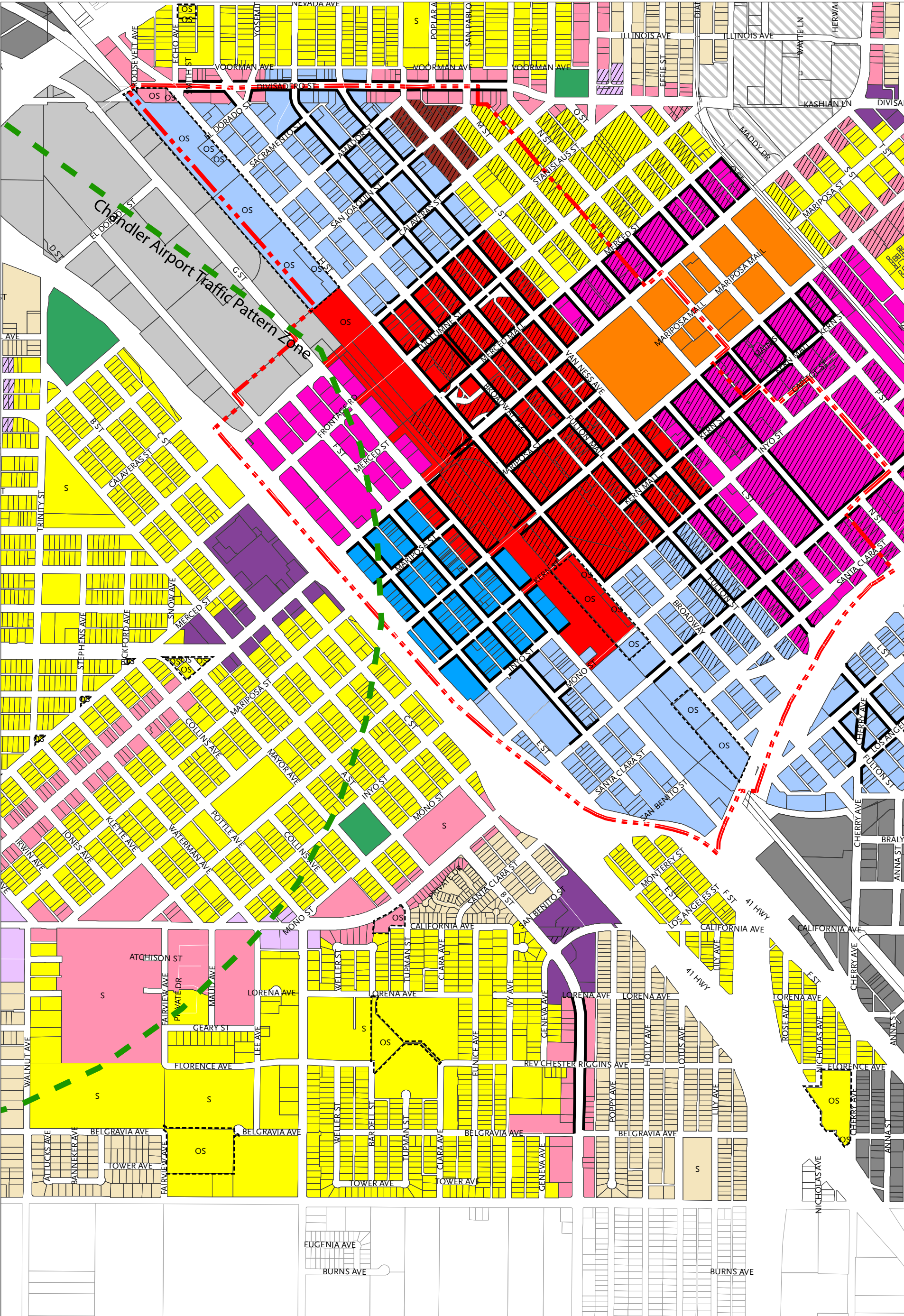
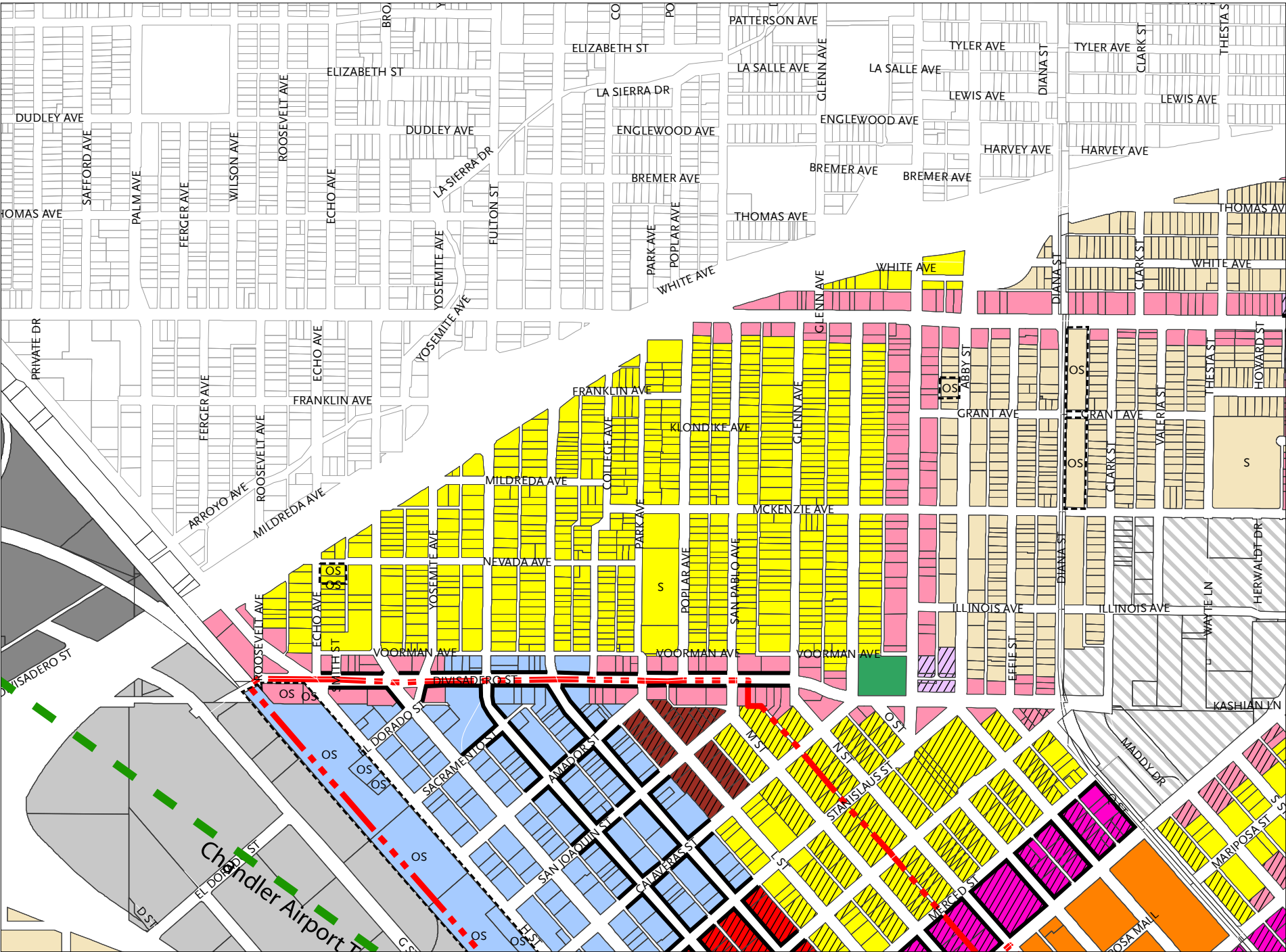


FIGURE 2.3: REGULATING PLAN
LOWELL NEIGHBORHOOD



KEY TO FIGURE 2.3

- CBD 1
- CBD 2
- CC - Civic Center
- CT - Chinatown
- CA/SSD/SVN - Cultural Arts/South Stadium/South Van Ness
- TC - Town Center
- NC - Neighborhood Center
- CG - Corridor General
- NG - Neighborhood General
- NGP - Neighborhood General Preservation
- NGR - Neighborhood General Revitalization
- NE - Neighborhood Edge
- SD-G1 - Special District General Industrial 1
- SD-G2 - Special District General Industrial 2
- SD-A - Special District Chandler Airport
- SD-H - Special District Downtown Hospital
- OC - Open Conservation (see FMC 12-204)
- S Existing School
- Shopfront Frontage Overlay
- Chandler Airport Overlay
- OS Civic Building/ Open Space Overlay
- Transition Overlay

SEE TABLE 2

SEE 2.2A.2

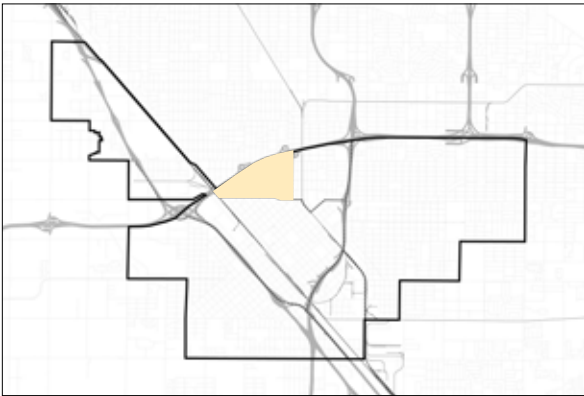
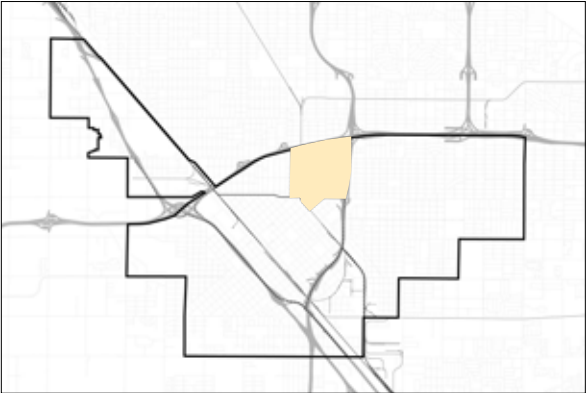
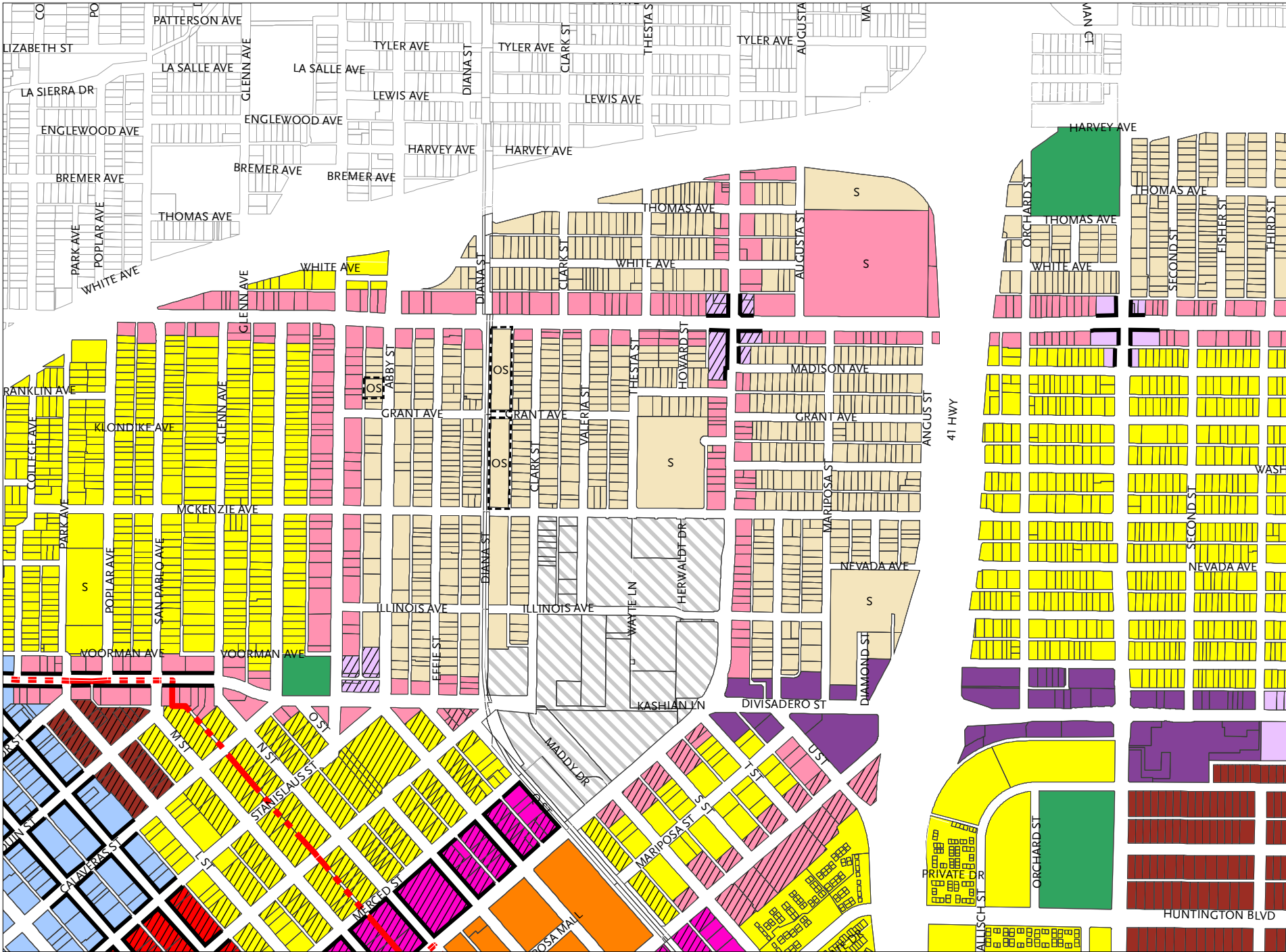


FIGURE 2.4: REGULATING PLANNING IN THE JEFFERSON NEIGHBORHOOD





















KEY TO FIGURE 2.3	
	CBD 1
	CBD 2
	CC - Civic Center
	CT - Chinatown
	CA/SSD/SVN - Cultural Arts/South Stadium/South Van Ness
	TC - Town Center
	NC - Neighborhood Center
	CG - Corridor General
	NG - Neighborhood General
	NGP - Neighborhood General Preservation
	NGR - Neighborhood General Revitalization
	NE - Neighborhood Edge
	SD-G1 - Special District General Industrial 1
	SD-G2 - Special District General Industrial 2
	SD-A - Special District Chandler Airport
	SD-H - Special District Downtown Hospital
	OC - Open Conservation (see FMC 12-204)
	Existing School
	Shopfront Frontage Overlay
	Chandler Airport Overlay
	Civic Building/ Open Space Overlay
	Transition Overlay

FIGURE 2.5: REGULATING PLAN
SOUTHEAST NEIGHBORHOODS

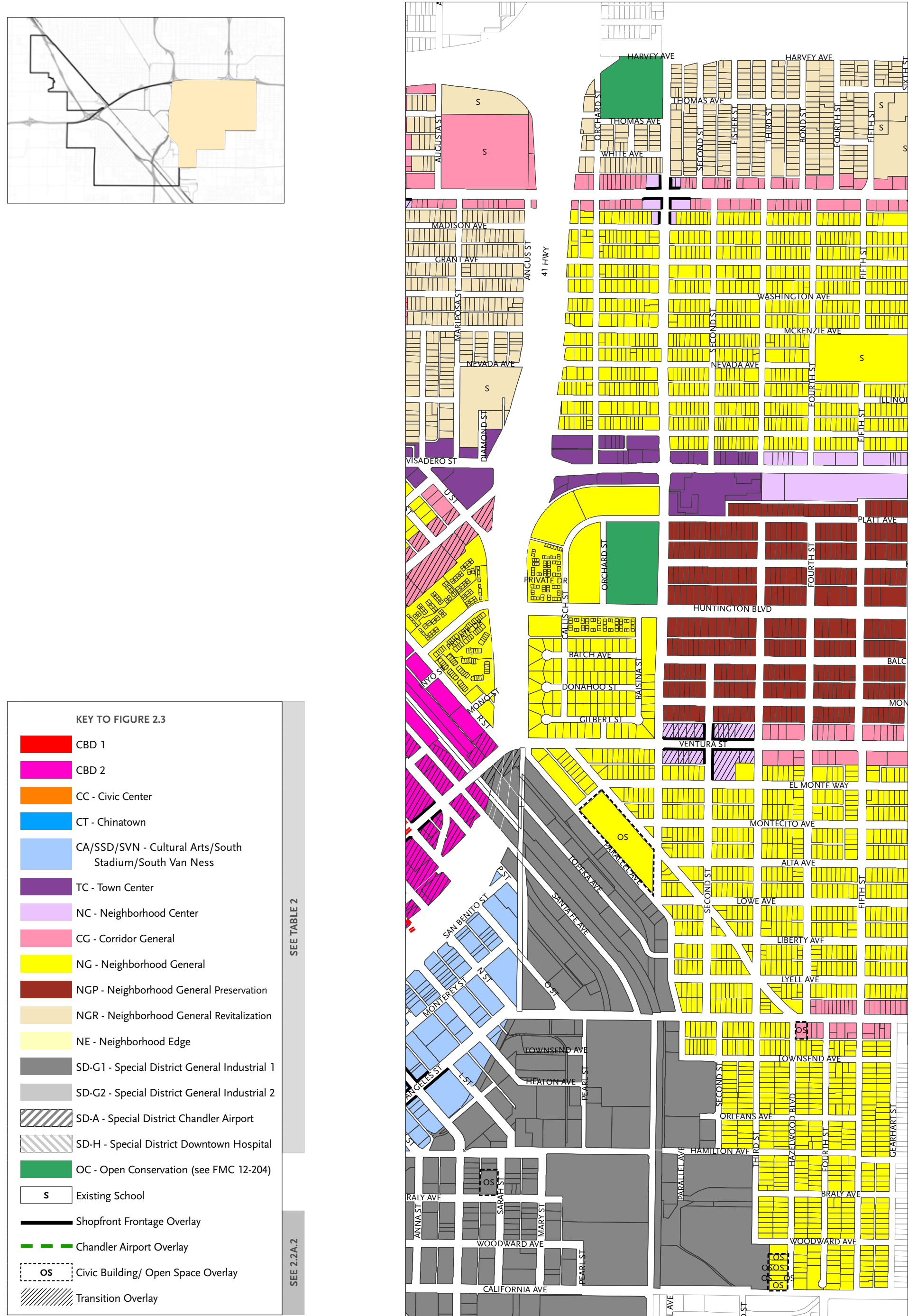


FIGURE 2.5: REGULATING PLAN, CONT'D
SOUTHEAST NEIGHBORHOODS

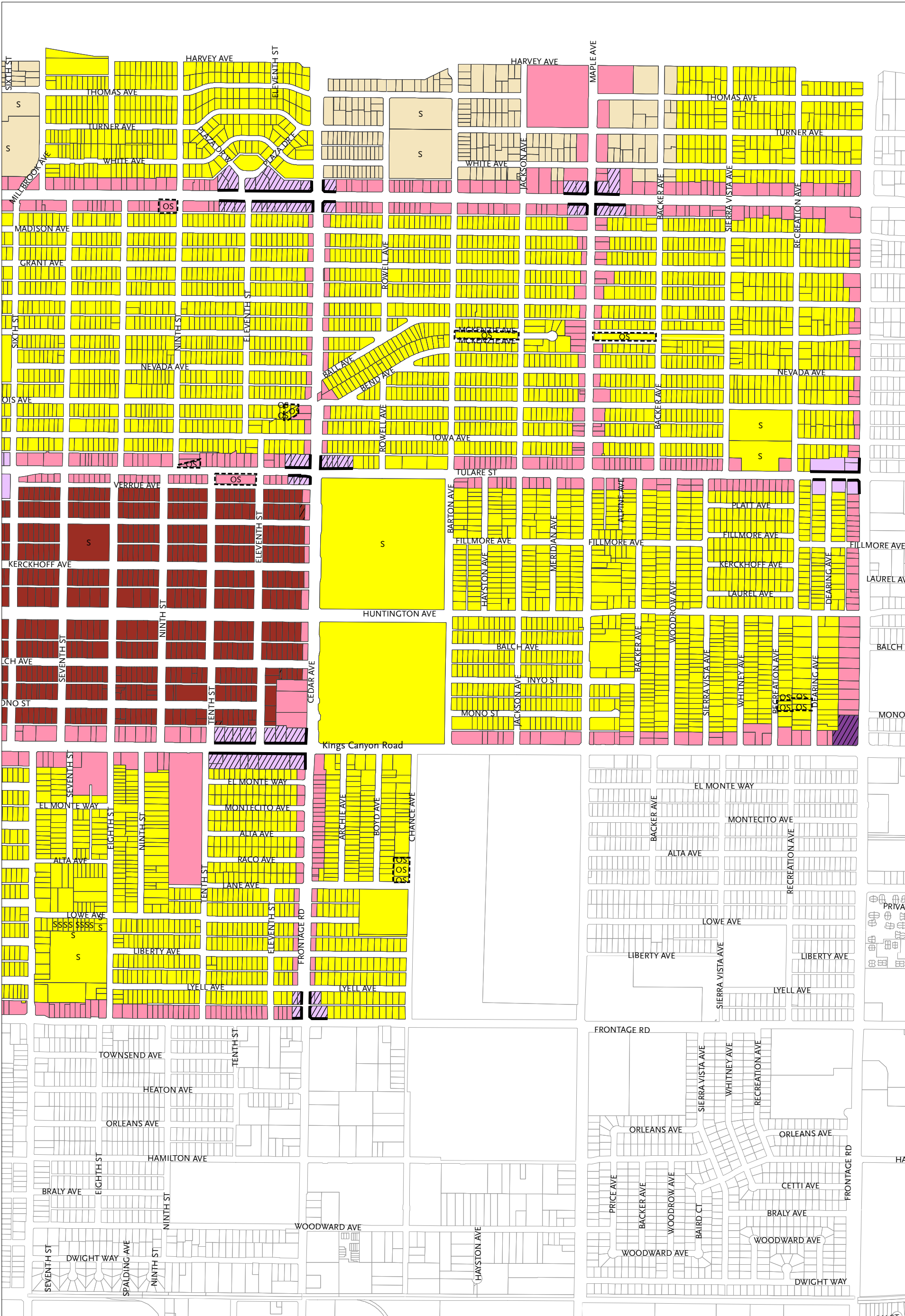


FIGURE 2.6: REGULATING PLAN DOWNTOWN

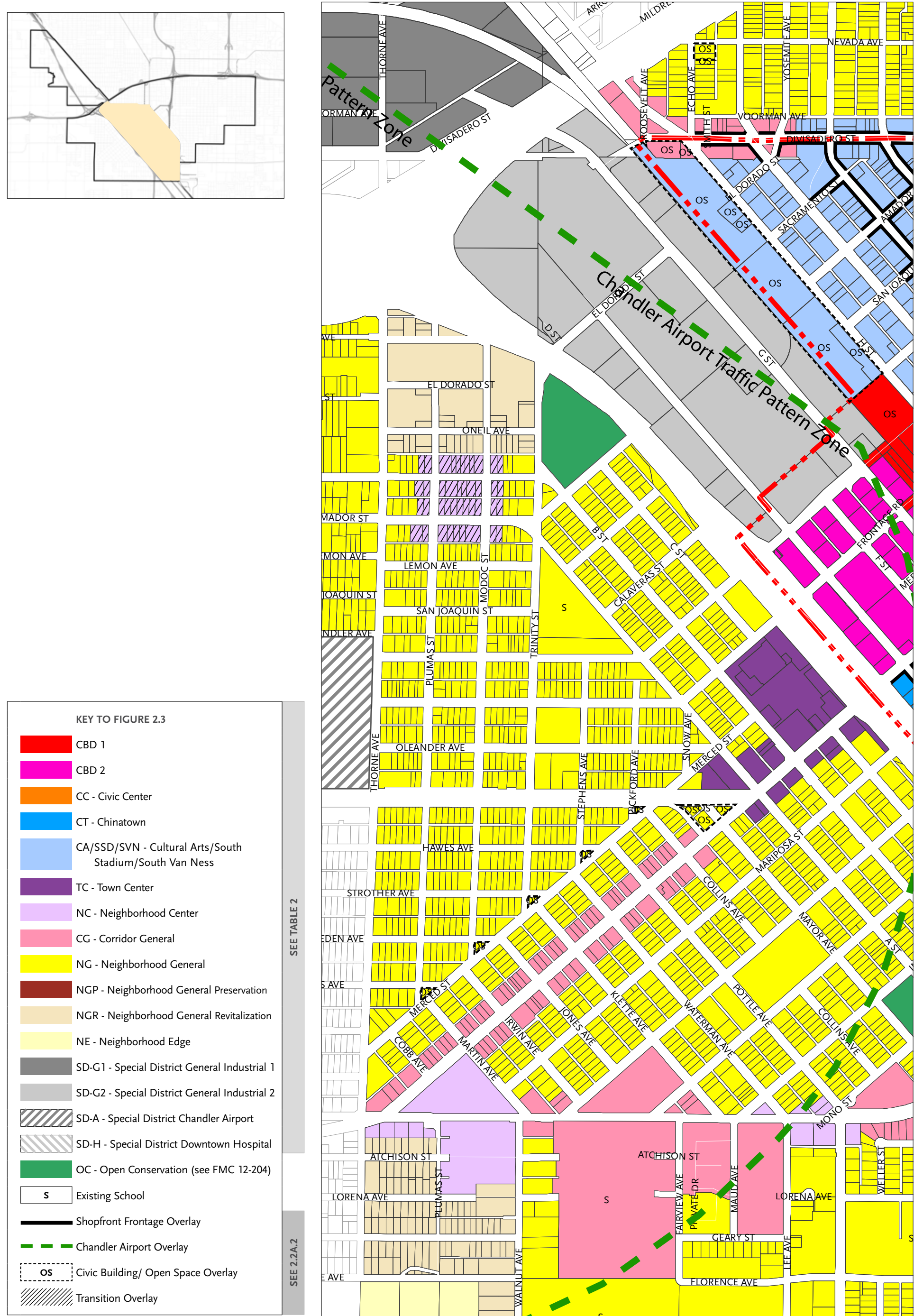
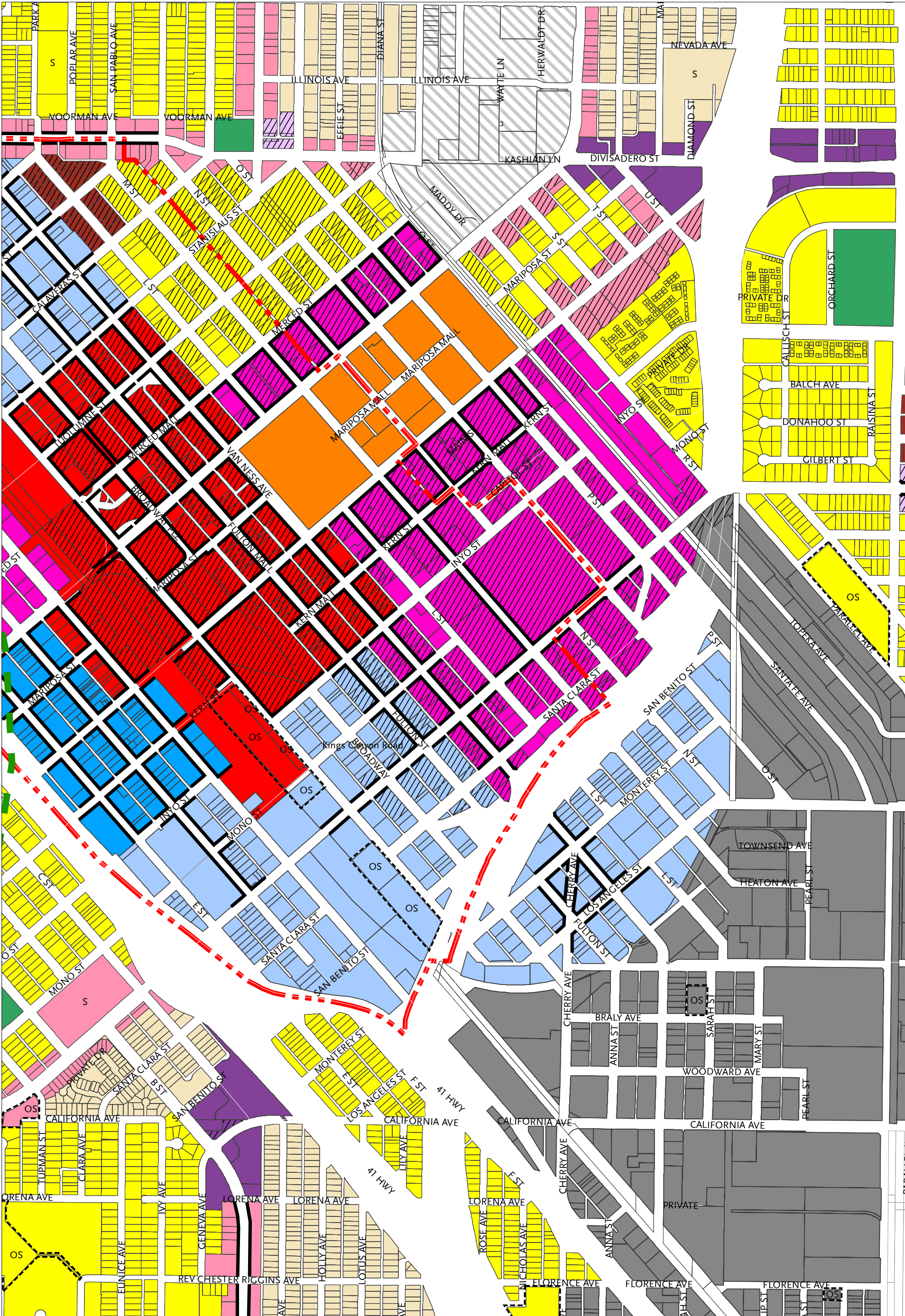


FIGURE 2.6: REGULATING PLAN, CONT'D
DOWNTOWN



3.0 LAND USE STANDARDS

3.1. LAND USE STANDARDS

3.1A. Allowed Land Uses. This section of the Downtown Code establishes the allowed land uses in each zoning district and the corresponding permit requirements. A parcel or building subject to the Downtown Code shall be occupied with only the land uses allowed by Table 3. Definitions of allowed land uses are provided in Section 11.0. If a land use is not defined in this section, the Director may determine that the use is not allowed or per Section 3.1A.4 may determine the appropriate definition giving deference to the vision and intent of the DNCP and the FCSP.

3.1A.1. Establishment of an Allowed Use. Any one or more land uses identified by Table 3 as being allowed within a specific zoning district may be established on any parcel within that zoning district, subject to the permit requirement listed in Table 3, and in compliance with all applicable requirements of the Downtown Code.

3.1A.2. Two or more Allowed Uses. If two or more allowed land uses are proposed at the same time, the application is subject to the highest permit level required by Table 3 for any individual land use. For example, a new mixed-use building proposed with a land use allowed by right (BR) on the second floor and a land use requiring a conditional use permit (CUP) on the ground floor would require a conditional use permit approval for the entire application.

3.1A.3. Land Use not listed. A land use not listed in Table 3 that is determined by the Director to not be included in the definitions as a listed land use, is deemed prohibited within the Downtown Code boundaries.

3.1A.4. Director's Classification. The Director may determine that a proposed land use not listed in Table 3 is allowable provided that the Director first make all of the following findings in writing:

- a. The land use is consistent with the General Plan currently in effect and the DNCP or FCSP, whichever applies;
- b. The land use is consistent with the purpose of the applicable zoning district;
- c. The characteristics of, and activities associated with, the land use are similar to one or more of the listed land uses in Table 3, and will not produce greater impacts than the land uses listed for the zoning district;
- d. The land use will be compatible with the other land uses allowed in the zoning district; and
- e. The land use is not listed as allowed in another zoning district.

3.1A.5. Temporary Uses. Temporary uses are allowed as identified in Table 3 in compliance with the Temporary Use Permit requirements in Section 3.4B.

3.1A.6. Non-Conforming Uses and Buildings. Existing, legal non-conforming land uses and buildings shall comply with section 1.3B10.

3.0 LAND USE STANDARDS

3.2. PERMIT REQUIREMENTS

- 3.2A. Land Use Permit Required.** All property subject to the Downtown Code shall comply with the requirements of Table 3 as identified below:
- 3.2A.1. Land Uses Permitted 'by right'.** These land uses are identified as "BR" land uses in Table 3 and are approved by the Director subject to compliance with all applicable requirements of Table 3.
- 3.2A.2. Land Uses Allowed subject to a Temporary Use Permit.** These land uses are shown as "TUP" land uses in Table 3 and are approved by the Director subject to compliance with all applicable requirements of Table 3.
- 3.2A.3. Land Uses Allowed subject to a Conditional Use Permit.** These land uses are shown as "CUP" land uses in Table 3 and are allowed upon the Director's approval of a conditional use permit. The conditional use permit shall be considered after a public process per Section 1.4B.3J to allow for community input and the inclusion of certain conditions that mitigate the effects from particular uses that may be appropriate in the applicable zone, but whose effects on a site and surroundings cannot be determined before being proposed for a specific site because they possess unique characteristics or present special problems that make 'by right' approval either impractical or undesirable.
- 3.2A.4. Land Uses Not Allowed in particular zoning districts.** These land uses are shown as a "X" in Table 3 and are not allowable in the identified zoning district.
- 3.2A.5. Land Uses Not specifically listed.** These land uses are not permitted unless the Director makes a determination per Section 3.1A.4 that such a land use is similar to another land use that is listed. Land uses that are proposed as similar to a listed land use but not determined to be similar by the Director shall be identified as such and kept on file with the DARM.
- 3.2B. Requirements for Specific Land Uses.** Table 3 identifies additional requirements for specific land uses in particular zoning districts to ensure maximum land use compatibility. These requirements are described in Section 3.4.
- 3.2B.1. Additional Requirements.** For certain allowed land uses, Table 3 identifies additional requirements based on how a particular land use is allowed in a particular zoning district. The additional requirements are identified to differentiate between where the land use is allowed without need for the requirements and where the land use needs such requirements to ensure maximum land use compatibility with neighboring properties. Such additional requirements are identified in Table 3 by a number in parentheses "(2)" that is keyed to the notes in Table 3.
- 3.2C. Additional City Approvals.** Any land use that is identified as allowed in Table 3 may require other City permits, licenses, and approvals, such as a building permit, encroachment permit, or sign permit. It is the applicant's responsibility to comply with all applicable requirements and approvals.

3.3. REQUIRED FINDINGS

- 3.3A. Required Findings to Approve Applications.** Each application involving Section 3.0 shall require consistency with the following findings in order to be approved:
- a. The application is for a land use that is allowed in the applicable zoning district or has been determined by the Director to be allowed per Section 3.1A.4;
 - b. The land use is allowed only in compliance with all applicable requirements identified for the land use in Table 3;
 - c. The application incorporates the applicable requirements identified in Table 3.

TABLE 3 LAND USE STANDARDS

PERMIT REQUIRED BY ZONING DISTRICT 1

LAND USE TYPE	CBD 1	CBD 2	CC	CT	CA/SS/SVN	TC	NC	CG	NG	NG P	NG R	NE	SD G1	SD G2	SD A	SD H
RETAIL (see section 11.0 for definitions)																
Retail w/out drive-through	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Retail w/ drive-through	X	X	X	X	X	BR 3	BR 3	BR 3	X	X	X	X	BR	BR	BR	BR
Neighborhood Retail, w/out drive-through	BR 3	BR 3	X	BR 3	X	BR 3	X	BR 3	X	X	X	X	X	X	X	X
Neighborhood Retail (< 15,000 sq ft) W/D-T1+	X	X	X	X	X	BR 3	BR 3	BR 3	X	X	X	X	BR	BR	BR	X
Alcoholic beverage sales (liquor store)	CUP	CUP	X	X	X	CUP	CUP	CUP	X	X	X	X	X	X	X	X
Alcoholic beverage sales as part of eating establishment	BR 10	BR 10	BR 10	BR 10	BR 10	BR 10	BR 10	BR 10	X	X	X	X	BR 10	BR 10	BR 10	BR 10
Bar, tavern and night club	CUP	CUP	CUP	CUP	CUP	CUP	CUP	X	X	X	X	X	X	X	CUP	X
Brew Pub	BR 10	BR 10	BR 10	BR 10	BR 10	BR 10	BR 10	X	X	X	X	X	BR 10	BR 10	BR 10	X
Eating establishment w/out drive-through	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Eating establishment w/ drive-through	X	X	X	X	X	BR 3	BR 3	BR 3	X	X	X	X	X	X	BR	X
Eating establishment on sidewalk	BR 5	BR 5	BR 5	BR 5	BR 5	BR 5	BR 5	BR 5	X	X	BR 5	X	BR 5	BR 5	X	BR 5
Outdoor vending/display	BR 6	BR 6	BR 6	BR 6	BR 6	BR 6	BR 6	BR 6	X	X	X	X	BR 6	BR 6	X	BR 13
Public Market/Farmer's Market, per 3.4M	TUP	TUP	TUP	TUP	TUP	TUP	TUP	X	X	X	TUP	X	X	X	TUP	TUP
Temporary Sales / Activities, per 3.4B	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP	TUP

SERVICES: GENERAL (see section 11.0 for definitions)																
Ambulance service; Patrol service	BR 2,4	BR 2,4	BR 2,4	BR 2,4	BR 2,4	BR 2,4	X	BR	X	X	X	X	BR	BR	BR	BR 2,4
Banquet facility / catering	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Day care, 8 or more adults per 3.4F2	BR	BR	BR	BR	BR	BR	BR	BR	CUP	CUP	CUP	CUP	BR	BR	BR	BR
Dry cleaning, Laundry	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Family day care, 8 to 14 children, per 10.5D	BR	BR	BR	BR	BR	BR	BR	BR	CUP	CUP	CUP	CUP	BR	BR	BR	BR
Printing and publishing < 30,000 sq ft	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	X
Repair: appliances, furniture, garments	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR

SERVICES: PERSONAL (see section 11.0 for definitions)																
Salon: Tanning, aromatherapy, massage, barber, dance studio	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	X	X	BR	BR
Pet grooming, Veterinary Clinic	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Fortune telling, palm reader, psychic	BR	BR	X	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	X
Clothing/garment rental	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Hospital	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	BR
Medical services: clinic, urgent care	BR	BR	X	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Medical services: doctor, dentist, etc.	BR	BR	BR	BR	BR	BR	BR	BR	X	X	BR	X	X	X	BR	BR
Medical services: extended care	BR	BR	X	BR	BR	BR	X	X	BR	X	X	X	X	X	BR	BR

SERVICES: PERSONAL, RESTRICTED (see section 11.0 for definitions)																
Adult Business (See FMC 12-306-N-30 for reqmts)	BR	BR	X	BR	BR	X	X	X	X	X	X	X	BR	BR	BR	X
Pawnshop	BR	BR	X	X	X	X	X	BR	X	X	X	X	X	X	X	X
Tattoo and body piercing	BR	BR	X	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	X
Bail Bonds	BR	BR	BR	X	X	X	X	X	X	X	X	X	X	X	X	X
Funeral Home	BR	BR	X	BR	BR	X	X	X	X	X	X	X	BR	BR	X	X
Crematorium	CUP	CUP	CUP	CUP	CUP	X	X	X	X	X	X	X	CUP	CUP	CUP	CUP

SERVICES: BUSINESS, ADMINISTRATIVE, PROCESSING (see section 11.0 for definitions)																
Processing: airline, lodging/car rental reservation centers, insurance claim processing, telemarketing	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR
Professional / Administrative: Bank, financial services, accounting	BR	BR	BR	BR	BR	BR	BR	BR	X	X	X	X	BR	BR	BR	BR

KEY TO TABLE 3

- BR** Permitted by right subject to identified requirements
- TUP** Permitted for a temporary purpose subject to Table 3 requirements
- CUP** Permitted subject to the process identified in Section 3.2A.3
- 2** See 'Table 3 Requirements' for additional standards
- X** Land Use Type not permitted

TABLE 3 REQUIREMENTS:

- 1** All land use types are subject to the applicable requirements of the zoning district, including building size, frontage, and, all applicable right-of-way and access requirements. Existing uses are allowed to continue in compliance with section 1.3B.4
- 2** Allowed on ground floor when 30 feet from the adjacent sidewalk on front lot line.
- 3** Drive through queing/window shall not be within 50 feet of front or side street lot lines.
- 4** Outdoor staging, storage or repair of vehicles not allowed within 60 feet of the front or side street lot lines.

3.0 LAND USE STANDARDS

3.4. LAND USE STANDARDS FOR SPECIFIC USES

3.4A. Requirements for Specific Land Uses. As required by Table 3, property shall comply with the following requirements, as applicable. The pattern of land use activity is important to the City's objectives for functional and appealing pedestrian-oriented buildings and streetscapes. Therefore, the following requirements are aimed at addressing such objectives and implementing the DNCP and FCSP:

- 3.4A. General Requirements.
- 3.4B Requirements for Temporary Use Permits
- 3.4C Requirements for Sidewalk Dining. and Alcohol Beverage Sales
- 3.4D Requirements for Outdoor Sales/Display of Merchandise
- 3.4E Requiirements forEmergency Shelters
- 3.4F Requirements for Day Care Homes
- 3.4G Requirements for Health Facilities
- 3.4H Requirements for Home Occupations
- 3.4I Requirements for Bed & Breakfast Inns
- 3.4J Requirements fof Outdoor Storage
- 3.4K Requirements for Vehicle Service Businesses
- 3.4L Requirements for Agriculturally-related Activities
- 3.4M Requirements for Farmer's Markets

3.4A. General Requirements.

1. A single family house legally existing prior to the adoption of the Downtown Code shall not be intensified with an additional dwelling.
2. All business activities shall be conducted and located within an enclosed building, except that the following business activities, as permitted in Table 3, which may be conducted outside of an enclosed building:
 - i. Plant nurseries
 - ii. Newsstands
 - iii. Flower Stands
 - iv. Temporary recreational or entertainment uses
 - v. Dining
 - vi. Retail/Service Kiosks
4. There shall be no manufacturing, processing, compounding, assembling or treatment of any material or product other than that which is clearly incidental to a particular retail enterprise, and where such goods are sold on the premises.
5. All permitted activity shall be conducted in such a manner as not to have a detrimental effect on permitted adjacent uses by reason of refuse matter, noise, light, vibration, or lack of proper maintenance of grounds or buildings.

3.4B. Requirements for Temporary Use Permits. Temporary Use Permits allow short term activities that might not meet the normal development or use standards of the applicable zone, but may otherwise be acceptable because of their temporary, non-permanent, or seasonal nature. Temporary land use activities are allowed subject to the following requirements, as applicable:

Two types of temporary land uses are allowed: exempt and temporary.

1. Exempt temporary uses. The following minor and limited duration temporary uses are exempt from the requirement for a Temporary Use Permit. Uses that do not fall within the categories defined below shall comply with 3.4B2 (Allowed Temporary Uses), below.
 - a. Construction Yards – On-Site
 - i. On-site contractors’ construction/storage yard(s), in conjunction with an approved construction project on the same parcel.
 - ii. The construction yard shall be removed immediately upon completion of the construction project, or the expiration of the

companion Building Permit, authorizing the construction project, whichever first occurs.

- b. Emergency facilities. Emergency public health and safety needs/ land use activities, as determined by the City Council.
 - c. Garage/yard sales. Garage/yard sales (e.g., personal property sales) only when conducted on residentially zoned property in compliance with the following standards:
 - i. Only one garage/yard sale may be conducted within any four-month period and the sale shall be limited to not more than three consecutive days or to two consecutive weekends not to exceed four days in all.
 - ii. The sale shall not be conducted between the hours of 8:00 p.m. of any day and 7:00 a.m. of the following day.
 - iii. The sales shall not encroach or be made on or from public streets or rights-of-way.
 - iv. No licensed retail or wholesale dealer shall be allowed to consign or offer for sale any goods or merchandise or participate in any private sale authorized by this Subsection.
 - v. Any garage/yard sale not in compliance with the conditions specified in this Subsection is hereby declared to be unlawful and a public nuisance.
 - d. Special Event Permits. A Special Event Permit shall be obtained from the before conducting athletic events, parades, and public assemblies, occurring on or within the public rights-of-way or other publicly owned property, in compliance with the Fresno Municipal Code.
2. Temporary uses requiring a Temporary Use Permit. In addition to the land uses identified in Table 3 as requiring a Temporary Use Permit, the following activities also require a Temporary Use Permit.
 - a. Contractors’ construction yards – off-site. The temporary use of a site for an off-site contractor’s construction/storage yard(s). The permit may be effective for up to 12 months, or the expiration of the companion Building Permit, authorizing the construction project, whichever first occurs.
 - b. Events.
 - i. Entertainment events. Amusement rides, arts and crafts exhibits, auctions, carnivals, circuses, concerts, fairs, festivals, flea markets, food events, outdoor entertainment/sporting events, and other similar events as determined by the Director for a period not to exceed 10 days twice per year, separated by at least 30 days between uses. These events shall be conducted at least 200 feet away from any residence.
 - ii. Outdoor sales displays / events. Except in the CBD1, CBD2, CA/SS/SVN and CT zoning districts which may have outdoor sales throughout the year, outdoor sales conducted by a retail business holding a valid Fresno Business License may be allowed a maximum of four outdoor sale events (excluding City sponsored activities) and shall be conducted in compliance with Section 3.4D (Outdoor Sales Display). For purposes of this Subsection an outdoor sales display shall be no longer than three consecutive days in duration.
 - iii. Seasonal sales events. Seasonal sales (i.e., Halloween pumpkin sales and Christmas tree sale lots) only by businesses holding a valid Fresno Business License not to exceed 40 days for pumpkin and tree sales. All other seasonal sales shall not exceed four events per year with a maximum of five days for each event.
 - c. Storage of structures or equipment. Temporary storage structures within residential areas, not to exceed 30 days.

3.0 LAND USE STANDARDS

3.4. LAND USE STANDARDS FOR SPECIFIC USES

- d. Mobile homes. A mobile home to be utilized as a temporary dwelling in a residential zoning district while a single-family dwelling is under construction on the same parcel shall be allowed subject to all of the following provisions:

i. The mobile home may only be located and occupied while actual construction activities are taking place upon the parcel. In no case may the period of placement and use exceed 12 months.

ii. The mobile home may only be occupied by the property owner; who is also the builder designated on the Building Permit, and the owner’s/builder’s family.

iii. City may require surety adequate to ensure the timely removal and compliance with all conditions of approval.

iv. The minimum yards for the zoning district shall be maintained.

v. Additional conditions necessary and appropriate to ensure compatibility with surrounding development, existing and contemplated, may be imposed on the approved permit.

e. Temporary work trailers. A trailer or mobile home may be used as a temporary work site for employees of a business:

i. During construction or remodeling of a permanent commercial, industrial, or mixed-use structure, when a valid Building Permit is in force; or

ii. Upon demonstration by the applicant that the temporary work site is a short-term necessity, while a permanent work site is being obtained.

iii. A permit for temporary work trailer(s) may be approved for up to 12 months. The Director may approve extensions.

f. Other similar temporary uses. Similar temporary uses that, in the opinion of the Director, are compatible with the subject zoning district and surrounding land uses.

3. Conditions of Approval. In approving a Temporary Use Permit application, the Director may impose conditions that are deemed reasonable and necessary to ensure that the permit would be in full compliance with the findings required by Section 3.3 'Findings'.

4. Requirements and conditions from other City departments. Other City departments (e.g., Building, Engineering, Fire, and Police) may also recommend conditions for incorporation into the approved Temporary Use Permit and may have requirements and standards specified in the Downtown Code that may have direct effect on the operation of the temporary use.

5. Appropriate conditions. These conditions may address any pertinent factors affecting the operation of the temporary event, or use, and may include the following:

a. Fixed period of time. Unless otherwise stated in the permit, a provision for a fixed period of time not to exceed 30 days for a temporary use not occupying a structure, including promotional activities, or 12 months for all other temporary uses or structures, or for a shorter period of time as determined appropriate by the Director;

b. Operating hours and days. Regulation of operating hours and days, including limitation of the duration of the temporary use, as specified on the Temporary Use Permit;

c. Temporary pedestrian and vehicular circulation. Provision for adequate temporary pedestrian and vehicular circulation, parking facilities (including vehicular ingress and egress), and public transportation, if applicable;

d. Regulation of nuisance factors. Regulation of nuisance factors including prevention of glare or direct illumination on adjacent

parcels, dirt, dust, gases, heat, noise, odors, smoke, trash, and vibration;

e. Regulation of temporary structures. Regulation of temporary structures and facilities, including placement, height and size, location of equipment and open spaces, including buffer areas and other yards;

f. Sanitary and medical facilities. Provision for sanitary and medical facilities, as appropriate;

g. Waste collection, recycling, and/or disposal. Provision for solid, hazardous, and toxic waste collection, recycling, and/or disposal;

h. Police/security and safety measures. Provision for police/security and safety measures, as appropriate;

i. Signs. Regulation of signs;

j. Performance bond or other security. Submission of a performance bond or other security measures and satisfactory to the Director, to ensure that any temporary facilities or structures used will be removed from the site within a reasonable time following the event and that the property will be restored to its former condition, or better, as determined by the Director, in compliance with Section 3.4B7 (Condition of Site Following Temporary Use),

k. Compliance with applicable provisions. A requirement that the approval of the requested Temporary Use Permit is contingent upon compliance with applicable provisions of the FMC and the successful approval of any/all required permits from any other department or governing agency; and

l. Other conditions. Other conditions that would ensure that the operation of the proposed temporary use would be conducted in an orderly and efficient manner, and in full compliance with the purpose of this Section.

6. Applicant’s agreement. The applicant agrees in writing to comply with any and all of the conditions imposed by the review authority in the approval of the Temporary Use Permit.

7. Condition of Site Following Temporary Use. Each site occupied by a temporary use shall be cleaned of debris, litter, or any other evidence of the temporary use upon completion or removal of the use, and shall continue to be used in compliance with the Downtown Code.

3.4C. Requirements for Sidewalk Dining, Alcohol Beverage Sales.

1. As allowed in Table 3 for the applicable zoning district, sidewalk dining may occur within a public sidewalk or open space subject to the following:

a. furniture such as tables, chairs, umbrellas and portable heaters are allowed to be placed within the sidewalk provided that the furniture is:

i. located either adjacent to the building or near the curb;

ii. clear of required ADA access;

iii. maintained in a manner that does not become detrimental to the function and appearance of the sidewalk or present potential safety hazards;

b. If alcohol is served, the area where alcohol is to be consumed shall be delineated by decorative stanchions and/or potted plants or other such approved method;

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DOWNTOWN CODE3-6

3.0 LAND USE STANDARDS

3.4. LAND USE STANDARDS FOR SPECIFIC USES

- c. The area along the sidewalk shall not be enclosed with any feature taller than 4 feet except for landscaping which shall not obscure views into the sidewalk dining area;
 - d. Music is allowed when it does not become detrimental to the function of the sidewalk;
 - e. The area shall be kept free of debris or other such trash.
 - f. A sidewalk dining permit is required prior to authorization of the placement of furniture or sidewalk dining.
2. Alcohol Beverage Sales.
- a. All establishments must obtain approval from the Alcohol Beverage Commission in order to sell or dispense alcoholic beverages;
 - b. In order to obtain approval from the Alcohol Beverage Commission, the land use activity shall not be prohibited in the zoning district in which the applicant proposes the land use activity.
 - c. In determining whether or not to grant the approval the Review Authority may impose conditions of approval in order to ensure land use compatibility with neighboring properties and for appropriate operation of the subject property.

3.4D. Requirements for Outdoor Sales / Display of Merchandise.

- 1. Outdoor display of merchandise for sale shall be conducted in a manner that does not create any conditions that are detrimental to the appearance of the premises or surrounding properties or in any other manner is detrimental to the public health, safety, welfare or causes a public nuisance.
- 2. Pre-existing Outdoor Display of Merchandise. Any outdoor display of merchandise legally established prior to the effective date of the Downtown Code but not in compliance with a provision of the Downtown Code shall be deemed a pre-existing nonconforming use. Such uses may continue in accordance with Section 1.3B10 (Non-conforming uses and buildings) provided that the use is operated and maintained in compliance with the conditions prescribed at the time of its establishment, if any.
- 3. Displayed merchandise shall not be located within 3 feet of the public street or within parking aisles, required parking spaces, landscaped areas, or within required fire or handicapped access ways.
- 4. Displayed merchandise within the sidewalk shall not impede the clear accessible path along the adjacent sidewalk and entrance to the business and shall be at least 3 feet from the adjacent curb;
- 5. Displayed products shall be limited to the primary merchandise sold by the principal business that occupies the site. Merchandise shall not be displayed for sale on an undeveloped or vacant site;
- 6. In multi-tenant centers, the displayed merchandise shall be limited to the area directly in front of the store displaying the merchandise. In multi-tenant buildings, the displayed merchandise from the multiple tenants displaying merchandise shall be limited to the area directly in front of the multi-tenant building displaying the merchandise.
- 7. Displayed merchandise shall be removed each day when the business closes.
- 8. The property owner is responsible for the collection of trash and any debris caused by the display of merchandise in front of the building.

3.4E. Requirements for Emergency Shelters

- An emergency shelter shall meet the following development and performance standards:
- 1. On-site management and on-site security shall be provided during hours when the emergency shelter is in operation.
 - 2. Adequate external lighting shall be provided for security purposes. The lighting shall be stationary, directed downward and shielded so as not to produce off-site glare.
 - 3. The shelter may provide one or more of the following specific common facilities for the exclusive use of the residents and staff:
 - a. Central cooking and dining room(s).
 - b. Recreation room.
 - c. Counseling center.
 - d. Child day care facilities.
 - e. Other support services.
 - 4. Parking and outdoor facilities shall be designed to provide security for residents, visitors, employees and the surrounding area.
 - 5. The agency or organization operating the shelter shall comply with the following requirements:
 - a. Temporary shelter shall be available to residents for no more than six months.
 - b. Staff and services shall be provided to assist residents in obtaining permanent shelter and income.
 - c. The provider shall have a written management plan including, as applicable, provisions for staff training, neighborhood outreach, security, screening of residents to insure compatibility with services provided at the facility, and for training, counseling, and treatment programs for residents.
 - 6. No emergency shelter shall be located within 300 feet of another emergency shelter site.
 - 7. The facility shall be in, and shall maintain at all times, good standing with City and/or State licenses, if required by these agencies for the owner(s), operator(s), and/or staff on the proposed facility.
 - 8. Emergency shelters located in residential districts, when not developed in an individual dwelling unit format, shall be limited to three times the maximum number of dwelling units which would otherwise be permitted.

3.4F. Requirements for Day Care Facilities. The following requirements shall not apply to day care centers, which are defined as any child day care facility other than a family day care home, and include, but are not limited to, infant centers, preschools, extended day care facilities and school/age child care centers.

- 1. Small Family Day Care.
 - a. Small family day care, 8 or fewer children. A small family day care is permitted in all residential zoning districts as allowed by Health and Safety Code Sections 1597.44 et seq.
 - b. The facility shall comply with all applicable State and fire codes.
 - c. Location requirements. A separation of 300 feet shall be required from a family day care facility.
 - d. The property shall provide one parking space on-site for each non-resident employee in addition to standard parking requirements for the applicable zoning district.
 - e. Adequate on-site or on-street parking, per the applicable zoning district standards, shall be available for loading and unloading in a manner that does not interfere with traffic flow or create a potential traffic hazard.

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- f. The facility shall operate in a manner that complies with the applicable noise standards.
 - g. Signs shall be in compliance with Section 7.0 'Signage Standards'.
 - h. Fencing. A six-foot high fence or wall shall be constructed on all property lines or around the outdoor activity areas, except in the front yard.
 - i. Outdoor lighting. On-site exterior lighting shall be allowed for safety purposes only, shall consist of low wattage fixtures, and shall be directed downward and shielded.
 - j. Swimming pools/spas prohibited. No swimming pool/spa shall be installed on the site after establishment of the family day care center, due to the high risk and human safety considerations. Any pool/spa existing on the site prior to application for approval of a family day care center shall be removed prior to establishment of the use, unless the Director determines that adequate, secure separation exists between the pool/spa and the facilities used by the children.
 - k. Evidence of State licensure shall be submitted to the city prior to approval of the plot plan.
 - l. Prior to commencing operations, the facility shall obtain a business license from the City.
2. Family day care centers, more than 8 persons. The following standards apply to family day care centers:
- a. The facility shall comply with all applicable State and fire codes.
 - b. The facility shall operate in a manner that complies with the applicable noise standards.
 - c. The property shall provide one parking space on-site for each non-resident employee in addition to standard parking requirements for the applicable zoning district.
 - d. Adequate on-site or on-street parking, per the applicable zoning district standards, shall be available for loading and unloading in a manner that does not interfere with traffic flow or create a potential traffic hazard.
 - e. Outdoor lighting. On-site exterior lighting shall be allowed for safety purposes only, shall consist of low wattage fixtures, and shall be directed downward and shielded.
 - f. Fencing. A six-foot high fence or wall shall be constructed on all property lines or around the outdoor activity areas, except in the front yard or within a traffic safety visibility area.
 - g. Evidence of State licensure shall be submitted to the city prior to approval of the plot plan.
 - h. Prior to commencing operations, the facility shall obtain a business license from the City.

3.4G. Requirements for Health Facilities. Health facilities as defined in the State Code, including community care facilities, hospitals (sanatoriums, nursing homes and maternity homes), mental health facilities, and rest homes (guest homes, boarding homes for the aged), shall be permitted subject to the following regulations:

1. Community care facilities, residential care facilities for the elderly, alcoholism recovery, and homes for mentally disabled, handicapped, dependent and neglected children permitted in an existing dwelling or facility as allowed by Table 3.

2. Off-Street Parking. Shall be provided in compliance with the requirements of the applicable zoning district.
3. Screening. Screening adjacent to residential zones shall be a six foot high masonry wall, solid board fence or acceptable equivalent along all interior property lines.
4. Signs. Shall be permitted as allowed by Table 7.
5. Other Approval. A permit issued under the provisions of this section shall be valid at such time as a copy of a license or permit issued by the appropriate county or State agency is filed with the City.

3.4H. Requirements for Home Occupations. Home Occupations which are clearly secondary to the principal use of a dwelling, conform to City ordinances, and do not adversely affect the public safety, health and general welfare of the neighborhood shall be permitted in accordance with the standards identified below and in the zoning districts identified in Table 3, provided that the home occupation is incidental to the residential use of the dwelling unit and complies with all of the provisions following provisions:

- 1. Up to one employee shall be permitted and no other pedestrian or vehicular traffic related to the home business is permitted beyond that normally generated by the residential uses prevalent in the vicinity in which the subject property is located;
- 2. No signs visible from the outside of the dwelling unit are allowed except for signs that are otherwise permitted in conjunction with the primary residential use;
- 3. No supplies or equipment used for, or in any way related to, the home business may be stored outside the dwelling unit;
- 4. No more than one vehicle used for, or in any way related to, the home business may be used or stored on the premises and any truck or van related to the home occupation shall not exceed a maximum capacity of one ton;
- 5. No hazardous materials may be used for any activities related to the home business or stored on the premises for that purpose unless approved by the Fire Chief or designee;
- 6. No activities related to the home business may be performed on the premises if such activities produce, or may produce, any external physical effects, including, but not limited to, noise, smoke, odors, vibrations, electromagnetic wave interference, line voltage fluctuation, or similar physical impacts;
- 7. Deliveries of any supplies or equipment related to the home occupations are allowed no more than once daily, provided that such deliveries shall not interfere with traffic circulation;
- 8. Storage of stock shall be limited to 100 cubic feet (approximately the size of a typical residential bedroom closet).
- 9. No additional off-street parking is required for the business use.
- 10. Vehicles connected with this business are limited to one vehicle not exceeding an unladen vehicle weight of 4,500 pounds.
- 11. Vehicle related services such as, but not limited to, repair, cleaning, tune-ups, couriers, delivery or transport of goods or people and services requiring employees, customers or clients to visit the residence shall be prohibited.
- 12. The home occupation shall involve no on-site clients except for:

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- a. Tutoring or instruction of children by appointment; and
 - b. Applicants with a demonstrated mobility handicap.
13. There shall be no on-site exterior storage of equipment, vehicles (in excess of the single vehicle), materials or supplies connected with this business.
14. Tools or equipment connected with the business shall be operated so as to be imperceptible at or beyond the property line.
15. The following uses shall be prohibited:
- 1. Adult businesses
 - 2. Animal hospitals (and related services)
 - 3. Barber/beauty/nail shops
 - 4. Dance/night clubs
 - 5. Food preparation for commercial purposes
 - 6. Fortune telling (psychics)
 - 7. Repairs such as small engine, television/radio, appliance, vehicle, upholstery
 - 8. Massage (on-site)
 - 9. Medical/dental offices/clinics/laboratories
 - 10. Photography studios (not including photo processing)
 - 11. Plant nursery
 - 12. Retail or wholesale sales of products stored at the residence, except that mail order businesses may be allowed where there is no stock-in-trade on the site
 - 13. Party-type sales, except when done at client’s location
 - 14. Automotive detailing and/or painting
 - 15. Welding and machining
 - 16. Other uses determined by the Director not to be incidental to or compatible with residential activities.

3.4I. Requirements for Bed & Breakfast Inns.

- 1. Bed and breakfast inns, as allowed by Table 3, shall be operated by the property owner/manager living on the site.
- 2. Bed and breakfast inns shall be limited to a maximum of six guest-rooms for lodging, plus accommodations for the property manager/owner.
- 3. Additions, modifications, and new construction of bed and breakfast inn structures are subject to the development standards of the applicable zoning district.
- 4. Food may only be served to registered overnight guests. Guestroom cooking facilities are prohibited.
- 5. Fencing. A six-foot high fence or wall shall be constructed on all property lines that abut a residential district. All fences or walls shall be solid and decorative in compliance with Section 10.2B Screening).
- 6. Signs are allowed as identified in Table 7 for the applicable zoning district.
- 7. Parking shall be provided as required in the development standards of the applicable zoning district.

3.4J. Requirements for Outdoor Storage.

- 1. Except as specifically allowed in SD-G1, SD-G2, and SD-A zoning districts, all outdoor storage areas shall be completely screened from both public view and adjacent properties to ensure that outdoor storage does not create any conditions that are detrimental to the appearance of the premises or surrounding properties or in any other manner that is detrimental to the public health, safety, welfare or causes a public nuisance.

- 2. Pre-existing Outdoor Storage Uses. Any outdoor storage use legally established prior to the effective date of the Downtown Code but not in compliance with a provision of the Downtown Code shall be deemed a pre-existing nonconforming use. Such uses may continue in accordance with Section 1.3B10 (Non-conforming uses and buildings) provided that the use is operated and maintained in compliance with the conditions prescribed at the time of its establishment, if any.
- 3. The stored materials shall be limited to those normally associated with the principal use on the site as allowed by the Downtown Code.
- 4. All walls or fences used for screening purposes shall be at least six feet and up to eight feet in height in compliance with the requirements of Section 10.2B.
- 5. In cases where unusual topographical conditions, land use conflicts, or zoning district boundaries exist, the outdoor storage area(s) may require additional screening structures and/or materials as determined by the Director.
- 6. Storage materials or equipment shall not exceed the height of the wall or fence enclosing the materlas or equipment.
- 7. All screening materials shall be installed and finalized prior to the commencement of storage on-site.

3.4K. Requirements for Vehicle Services (Repair Garages, Service Stations and Private Fuel Stations)

- 1. Auto repair garages shall comply with the following, as applicable:
 - a. Except in the SD-G1, SD-G, SD-A zoning districts, all repair activities shall be entirely enclosed within a building.
 - b. Off-street parking shall be provided so that all vehicles under repair are within the property where the repair activity occurs.
- 2. Auto service stations shall comply with the following, as applicable:
 - a. No automotive service station structure, equipment or apparatus shall be permitted within 25 feet of any residential zoning district.
 - b. Each automotive service station shall provide, except in required front yards, an eight-foot high masonry wall on property lines that abut a residential zoning district.
 - c. Automotive service stations may be authorized in conjunction with a permitted or conditionally permitted commercial or industrial use, if all of the following findings can be made:
 - i. Traffic generation, fumes, noise, light and glare, and similar effects generally associated with automotive service stations will not be detrimental to adjacent residential areas, if applicable.
 - ii. The land use is compatible with the site size, shape, design, access, on-site circulation, required parking and is restricted to minimize conflicts with public access, public safety, or adjoining properties.
 - iii. The proposed land use, site, and architecture promote a design consistent with and appropriate for the location, and consistent with the intended physical environment of the zoning district.
- 3. Fuel Station- Private.
 - a. Authorization. Private fuel stations may be authorized as an accessory use for any business or public activity in any non-residential zoning district through the Conditional Use Permit process.
 - b. The Review Authority shall review the application to determine if the fuel station conforms to the requirements of the Fresno Municipal Code regarding the use and storage of hazardous materials.
 - c. Location requirements.
 - i. The use is compatible with the site size, shape, design, access, on-site circulation, and required parking; and

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- ii. The use is restricted to minimize conflicts with public access, public safety, or adjoining properties.

3.4L. Requirements for Agriculturally-related Activities

1. Agricultural stands, temporary. Temporary agricultural stands shall comply with the following conditions in addition to the general provisions and other conditions imposed for a Temporary use permit:
 - a. There will be no more than one temporary agricultural stand per parcel, as allowed in Table 3, with a minimum of one acre in area, and there will exist a minimum separation of one thousand feet between stands except for legal existing stands.
 - b. The stand shall be located to provide appropriate setback from the existing or proposed right-of-way to insure adequate ingress or egress and parking area.
 - c. The stand shall be constructed of wood material and its floor area shall be approximately five hundred square feet. In addition, a trailer may be used for storage and include a refrigeration unit with location to be approved as part of the conditional use permit application.
 - d. There shall be no more than one sign on the stand in accordance with Table 7 for the applicable zoning district.
 - e. The stand must be used for sale of produce or flowers grown on the parcel; in addition, it may be used for sale of produce or flowers grown in the City of Fresno; However, in no case shall it be used for the sale of prepackaged products.
 - f. The parking area shall be graded to create a level condition with a surface consisting of either rock or another material approved by the Director which prevents the generation of dust.
 - g. No vehicle, cart or wagon shall be located on or nearby the parcel for the purpose of attracting attention or traffic to the stand by the use of signs or otherwise except for those uses as permitted under this section.
 - h. The property owner or applicant shall post bond sufficient to guarantee removal of the stand and shall provide the city with written consent to remove it in the event the TUP is revoked and the stand is not removed within the time specified by the revocation decision.
 - i. The stand shall be licensed as a general retail use..
 - j. If the stand is not in use or the land is not in production for a one-hundred-eighty day period, the use shall be deemed voluntarily abandoned and the TUP shall expire.
2. Agricultural plant nurseries in the NE, SD-G1, and SD-G2 zoning districts shall comply with the following requirements:
 - a. The nursery shall be used for sale of plants, where the majority of the plants for sale are farmed and grown on the premises. A limited amount of planting supplies such as garden pots and compost may be sold.
 - b. Signage shall be in compliance with Table 7 for the applicable zoning district.
 - c. Such land use activity in the NE zoning district shall require a Conditional Use Permit.
 - d. A paved parking area shall be provided in accordance with the standards in Section 10.5F (Parking Areas).

- e. Parking and setback areas shall contain permanent landscaping and irrigation in accordance with the standards contained in Section 10.5F (Landscaping of parking areas).
 - f. All buildings on the property shall be in compliance with the requirements of Section 5.0 'Building Standards'.
3. Keeping of Livestock. As allowed in Table 3, the following is permitted:
 - a. A minimum of 1/2 acre shall be required for properties that contain Bovine (cow) and equine (horses) animals;
 - b. No more than four (4) adult animals in any combination of the foregoing animals and their immature offspring shall be allowed on the lot.
 - c. No pen, stable, barn or corral shall be maintained within one hundred (100) feet of any property line or within forty (40) feet of any building used for human habitation unless occupied by the owner or keeper of the animals. Pasturing of these animals is permitted within the above mentioned setbacks.
 - d. Poultry raising (limited to hens only), rabbits or similar small fur-bearing animals, not to exceed twenty-four (24) of any kind or combination thereof, for domestic purposes only provided that no pen, coop, or hutch be located within one hundred (100) feet of any property line or within forty (40) feet of any residence, dwelling or building used for human habitation.

3.4M. Requirements for Farmer's Markets

1. Farmer's Markets, temporary. Temporary or seasonal sales of agricultural products such as vegetables, fruits and other related items are allowed per a Temporary Use Permit as identified in Table 3 per the following:
 - a. Agricultural products shall comprise at least seventy-five percent (75%) of the retail space available.
 - b. The exhibition and sale of other agricultural products such as processed food (dried fruit, cheese or bread, for example), or artisan handiwork or art, shall not exceed twenty-five percent (25%) of the retail space available.
 - c. The sale of alcoholic products is limited to wine only, by the bottle, not to be consumed on-site, and is subject to securing a conditional use permit for the sale of alcohol.
 - d. The sale of second-hand, or used merchandise, is prohibited.

4.0 DEVELOPMENT STANDARDS

4.1. DEVELOPMENT STANDARDS

4.1A. Required Standards. This section identifies the standards and requirements for improvements to sites and existing buildings and for new buildings to ensure that development is consistent with Fresno’s goals for building form, physical character, land use, and quality within the Downtown Code boundaries.

4.1B. Applicability. All parcels and right-of-way subject to the Downtown Code shall comply with the standards of this section for the applicable zoning district identified in Figure 2.

4.1C. Requirements by Zoning District. Each improvement or modification to a site, an existing building or a proposed building shall be designed according to the standards identified for the zoning district in which the property is located.

- a. Each zoning district provides standards for the following topics as appropriate to the vision of the DNCP and FCSP:
 - i. Building Placement
 - ii. Allowed Building Types
 - iii. Allowed Frontage Types
 - iv. Building Height and Size
 - v. Allowed encroachments into required yards
 - vi. Parking Placement and Site Access
 - vii. Required Parking
 - viii. Allowed Land Uses
 - ix. Allowed Signage Types
 - x. Allowed Street Types

Table 4 summarizes the above standards for all of the zoning districts with the detailed standards for each zoning district provided in individual tables (Table 4A - 4P).

b. Figure 2 identifies overlays that further implement the vision of the DNCP and FCSP. The standards in this section reflect the requirements of each overlay as it involves a zoning district.

4.1D. Building Types Allowed. These building types are shown by the range of allowable or max stories in Table 4 for the identified zoning district. Building types shown as a “X” in Table 4 are not allowed in the identified zoning district. The corresponding equivalent floor area for each building type allowed in the applicable zoning district is identified in Section A.2 of the development standards. The floor area, expressed in gross square feet, indicates the range of potential floor area for the particular type in the zoning district based on minimum and maximum building setbacks and stories. The same building type may be allowed to have less or more floor area in another zoning district depending upon the intended physical environment of the zoning district.

4.1E. Requirements for Building Types. Table 4 identifies the allowed building types in each zoning district and a reference to the section or table for the requirements.

4.1F. Frontage Types Allowed. These frontage types are shown by a “A” in Table 4 for the identified zoning district. Frontage types shown as a “X” in Table 4 are not allowed in the identified zoning district.

4.1G. Requirements for Frontage Types. Table 4 identifies the allowed frontage types in each zoning district and a reference to the section or table for the requirements.

4.1H. Types Not specifically listed. Building or frontage types not specifically listed are not permitted unless the Downtown Code is amended through the process described in Section 1.3C.1 to include additional types.

4.1I. Additional City Approvals. Development or construction of a building or frontage type that is identified as allowed in Table 4 may require other City permits, licenses, and approvals, such as a building permit, encroachment permit, or sign permit. It is the applicant’s responsibility to comply with all applicable requirements and approvals.

4.1J. Design Objectives. Sites, lots and buildings shall be designed and maintained to:

1. Support the intended physical environment of the zoning district;
2. Support pedestrian-oriented frontages per the intended physical environment;
3. Be limited to one building per design-lot as defined in this Section;
4. Be appropriate in size and scale with the intended physical environment;
5. Be composed of simple volumes and massed to be physically compatible with neighboring properties;
6. Locate parking, outdoor activity, and site access appropriately for physical compatibility with neighboring properties;
7. Integrate signage into site and building design per the intended physical environment;

4.0 DEVELOPMENT STANDARDS

4.2. GENERAL REQUIREMENTS

The following requirements apply to all sites, lots and buildings subject to the Downtown Code.

4.2A. Compliance with Section 4.0. All property subject to the Downtown Code shall comply with the requirements of Table 4 for the applicable zoning district as follows:

- 1. All sites and buildings shall be designed per the applicable standards of Section 4.0 to ensure that new or modified buildings and their adjacent frontages are built to the scale and character of surrounding buildings.
- 2. All sites with an existing building(s) or where a new building is proposed shall comply with the requirements for building height, placement, frontage, adjacency, and parking placement in Table 4 as identified for the applicable zoning district.
- 3. All sites with an existing building(s) or where a new building is proposed shall comply with the requirements for building placement, building types, and building stories in Section A.2 of the applicable zoning district development standards.
- 4. All sites with an existing building(s) or where a new building is proposed shall comply with the requirements for property frontage in Section A.3 of the applicable zoning district development standards.
- 5. All sites with an existing building(s) or where a new building is proposed shall comply with the requirements for building adjacency and height in Section B.1 of the applicable zoning district development standards.
- 6. All sites with an existing building(s) or where a new building is proposed shall comply with the requirements for encroachments in Section C.1 of the applicable zoning district development standards.
- 7. All sites shall locate vehicular access from adjacent streets and alleys as identified in Section D.1 of the applicable zoning district development standards.
- 8. All sites with an existing building(s) or where a new building is proposed shall comply with the requirements for off-street parking in Section D.2 as identified for the applicable zoning district.
- 9. Each building shall correspond to a single lot per the lot width and depth requirements identified in Table 5 for the applicable zoning district. A site may contain multiple lots when in compliance with Table 5. When the site is larger than that needed or allowed by the corresponding building type, the remainder shall be designed to accommodate an additional building(s) in compliance with Table 5. The additional building(s) shall be identified by a design-lot for the purposes of identifying the required lot width and depth on the site. Design-lots may be officially subdivided into lots of record per Section 1.4B.3.
- 10.The building façade along the front of the lot, and the side street when present, shall be in compliance with the minimum total frontage required for the applicable zoning district.
- 11.Frontage types may be combined as allowed by the applicable zoning district.
- 12.When an upper story is required by the zoning district (i.e., ‘min 2 stories’), the upper story shall consist of at least 20% of the ground floor and shall be required to align with the front façade of the main building.
- 13.When a partial story is allowed by the zoning district (i.e., ‘2.5 stories’), the identified building type will specify the allowed floor area for the zoning district.

4.3. REQUIRED FINDINGS

4.3A. Required Findings to Approve Applications. Each application involving Section 4.0 shall require consistency with the following findings in order to be approved:

- a. The application consists of a building(s) and frontage(s) that are in compliance with the applicable zoning district, as may be modified by Section 1.4D (Administrative Deviation);
- b. The proposed improvement or new building is consistent with the intent of the zoning district and the intended physical character;
- c. The proposed improvement or new building does not create an incompatible adjacency with neighboring properties, as defined in Section 11.0;
- c. The application is in compliance with all applicable requirements for the zoning district identified in Table 4;

DEVELOPMENT STANDARDS

TABLE 4

STANDARD	STANDARDS REQUIRED BY ZONING DISTRICT ¹															
	CBD1	CBD2	CC	CT	CA/ SS	TC	NC	CG	NG	NGP	NGR	NE	SD-G1	SD-G2	SD-A1	SD-H1
C. ENCROACHMENT STANDARDS																
1. Encroachments into required setbacks / r.o.w.																
A. Arcade or Gallery	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE
B. Awning	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN	C.1 IN
C. Balcony	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE
D. Bay window	4A	4B	4C	4D	4E	4F	4G	4H	4I	4J	4K	4L	4M	4N	4O	4P
E. Eave																
F. Signage																
D. PARKING PLACEMENT AND ACCESS STANDARDS																
1. Parking Facilities																
A. Setback from Primary Street																
B. Setback from Side Street	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE
C. Setback from interior Side yard	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN	D.1 IN
D. Setback from rear -- no alley	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE
E. Setback from rear -- with alley	4A	4B	4C	4D	4E	4F	4G	4H	4I	4J	4K	4L	4M	4N	4O	4P
3. Parking Access																
2. RequiredParking																
Residential																
Lodging	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE	SEE
Retail	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN	D.2 IN
Office	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE	TABLE
Service Commercial	4A	4B	4C	4D	4E	4F	4G	4H	4I	4J	4K	4L	4M	4N	4O	4P
Industrial																
Other																

¹ TABLE 4 REQUIREMENTS:

1. All building types are subject to the applicable requirements of the zoning district including applicable rights-of-way and access requirements. Existing building uses are allowed to continue in compliance with section 1.3B.4.
2. Building size requirements.
3. Each building shall be designed per the requirements of the identified building type in Section 5.0 except for civic buildings which are exempt from Section 5.0.
4. Frontage types are allowed to be combined on a building as allowed by the zoning district.

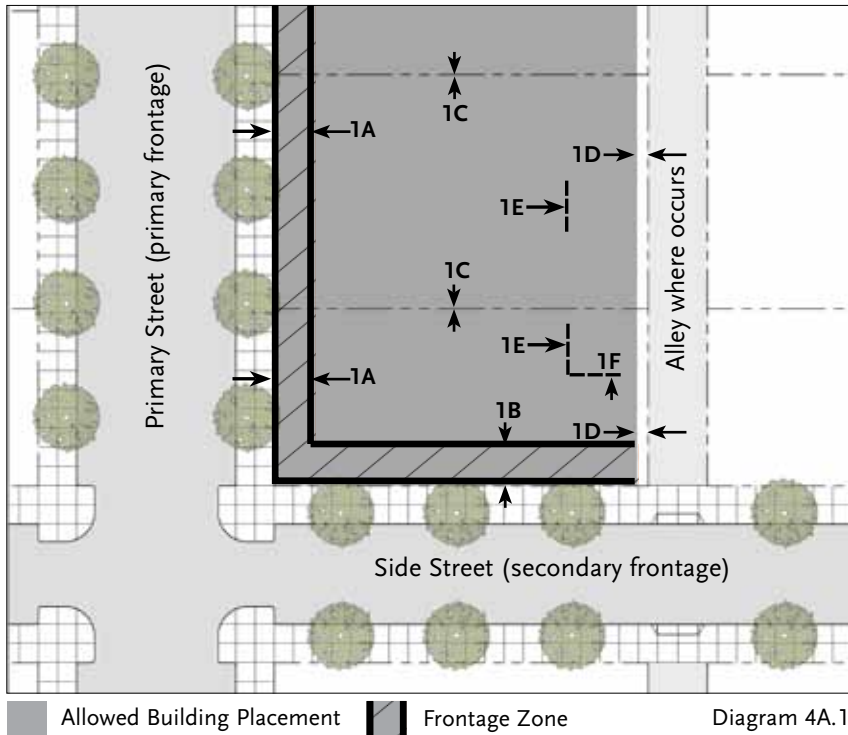
TABLE 4A CENTRAL BUSINESS DISTRICT 1 (CBD1) STANDARDS

A.BUILDING STANDARDS

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into set-backs shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. ^[1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	10	n.a.	n.a.
1B. Side (secondary) street	0	10	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 ^[2]	no max
1D. Rear yard - no alley	n.a.	n.a.	15 ^[2]	no max
- with alley	n.a.	n.a.	5 ^[2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		50	no max	
1G. Side yard		0 ^[2]	no max	
1H. Rear yard - no alley		5 ^[2]	no max	
- with alley		3 ^[2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

a. Main buildings shall be designed per the allowed building types identified below:

b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft ^[1]	Max Size, Stories	Equivalent Sq. Ft ^[1]	Refer to DTC Section
Tower	2	44775	15	487200	Table 5A
Flex Building	2	7800	5	290000	Table 5B
Lined Building	2	13500	5	290000	Table 5C
Hybrid Court	2	13425	5	94325	Table 5E
Live-Work	2	2505	3	53925	Table 5G

[1] Based on the allowed range of development potential for the CBD 1 zone and Section 5.0

3. PROPERTY FRONTAGE

a. Main buildings and civic buildings shall incorporate only the frontage types identified below;

b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;

c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;

d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types ^[1]	Min % of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	25	no min	Table 6A
Gallery	25	no min	Table 6B
Shopfront	75	25	Table 6C
Forecourt	25	no min	Table 6D
^b MIN req'd facade	90	50	

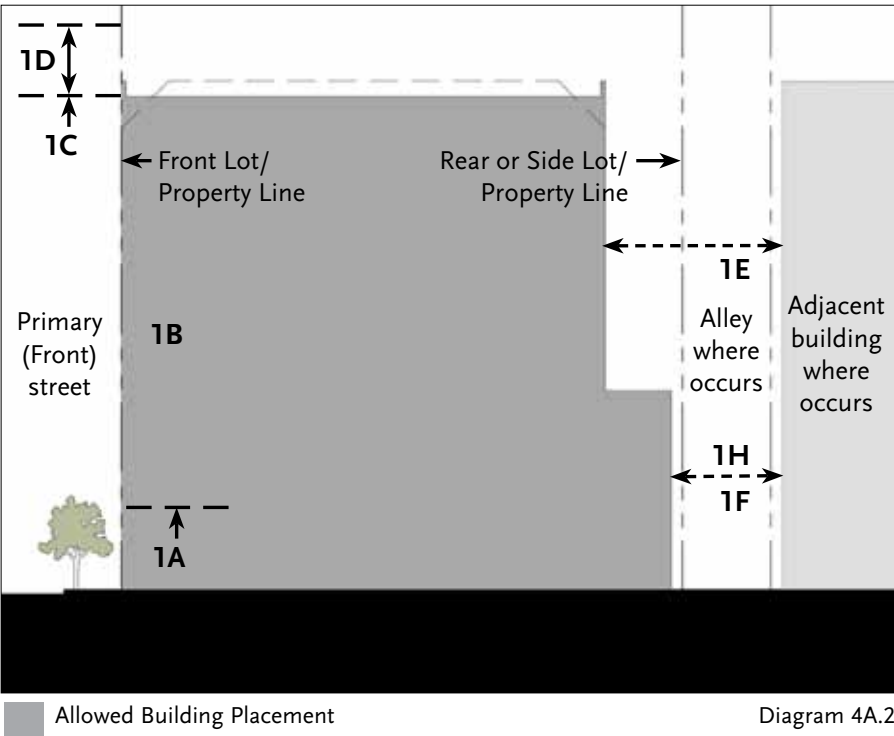
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	15	no max	match historic if greater
1B. Upper Floor Height	13 floor to floor	no max	n.a.
1C. Building Height	25 ft: 2 stories	155 ft: 15 stories	match historic along front 1/2
1D. Architectural Elements	no min	25 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	5 and above	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 4	25 ft	
1G. Non-res'l > 5 stories	6 and above	25 ft	
1H. Non-res'l < 4 stories	1 - 5	15 ft	



1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

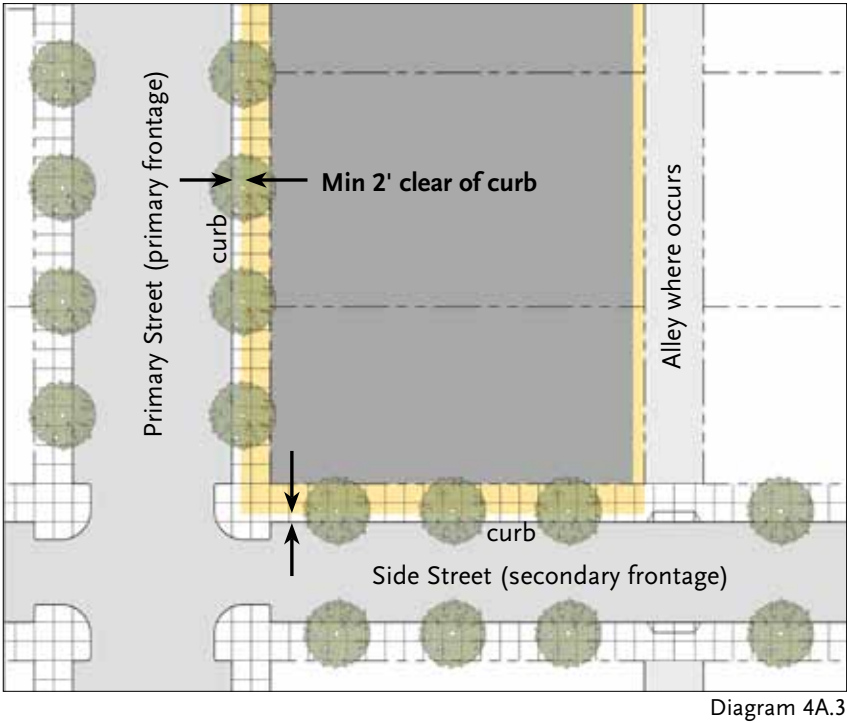
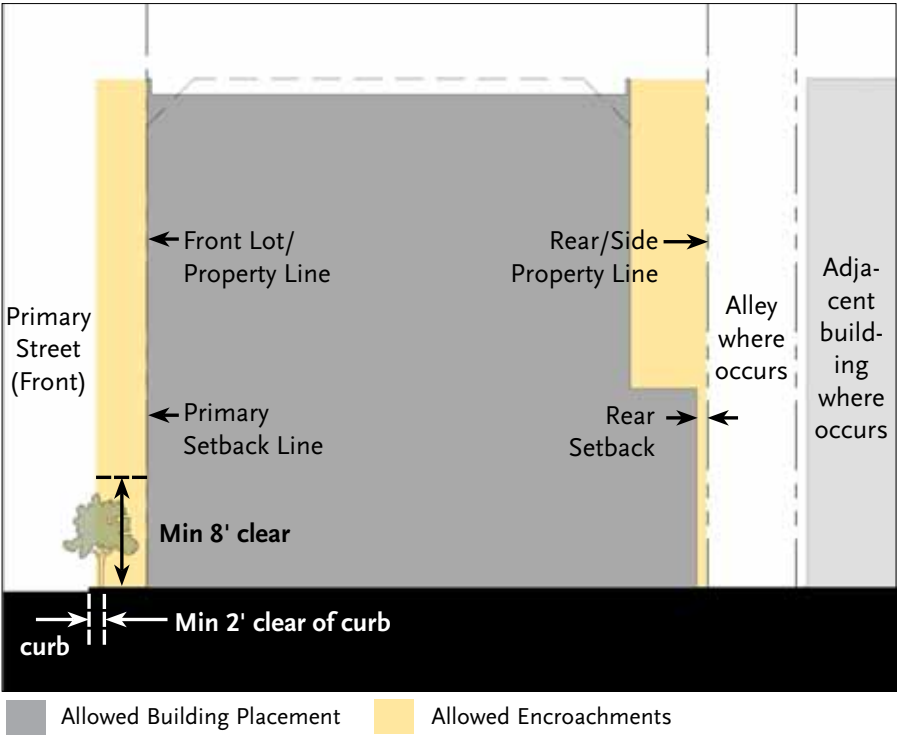


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 30 ft	min 30 ft	0 ft
1B. Side street	min 30 ft	min 30 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 150 ft from street corner Side Street: min 50 ft from street corner		

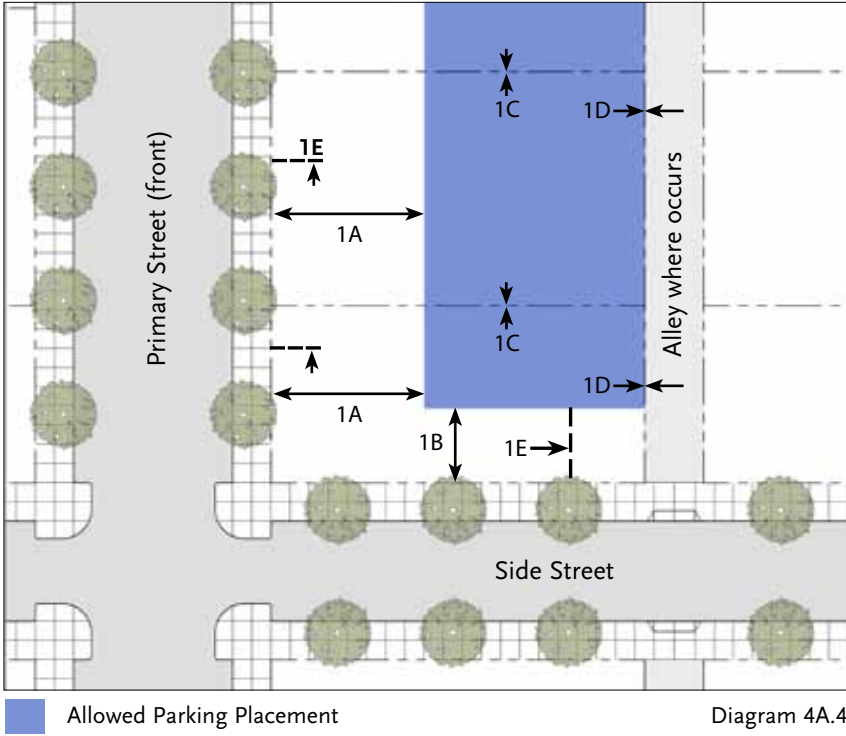


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	0	n.a.
Restaurant	0	n.a.
Public Market	0	n.a.
Services: General	0	n.a.
Services: Personal	0	n.a.
Services: Personal, Restricted	0	n.a.
Services: Business	0	n.a.
Transportation	0	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	0 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4B CENTRAL BUSINESS DISTRICT 2 (CBD2) STANDARDS

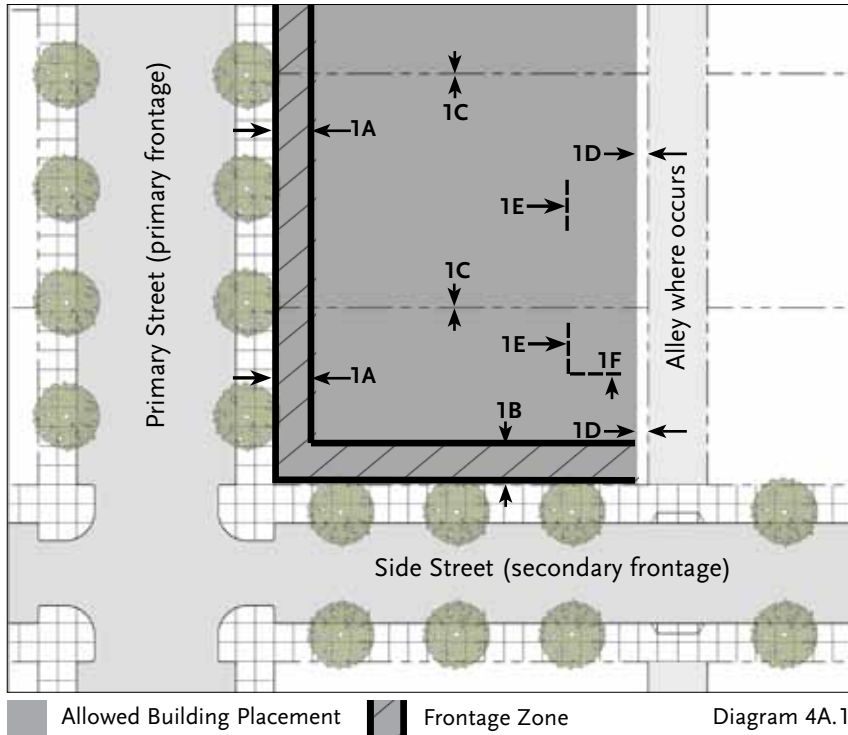
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	10	n.a.	n.a.
1B. Side (secondary) street	0	5	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	5
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		50	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		3 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Tower	2	44775	10	336400	Table 5A
Flex Building	2	7800	5	290000	Table 5B
Lined Building	2	13500	5	290000	Table 5C
Hybrid Court	2	13425	5	94325	Table 5E
Court	2	10988	5	94325	Table 5F
Live-Work	2	2088	3	35925	Table 5G
Rowhouse	2	6405	3	45300	Table 5H

[1] Based on the allowed range of development potential for the CBD 2 zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	25 - 100	no min	Table 6A
Gallery	25 - 100	no min	Table 6B
Shopfront	75 - 100	30 ft min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Loading Dock	25 - 100	no min	Table 6E
Stoop	25 - 100	no min	Table 6F
^b MIN req'd facade	90	50	

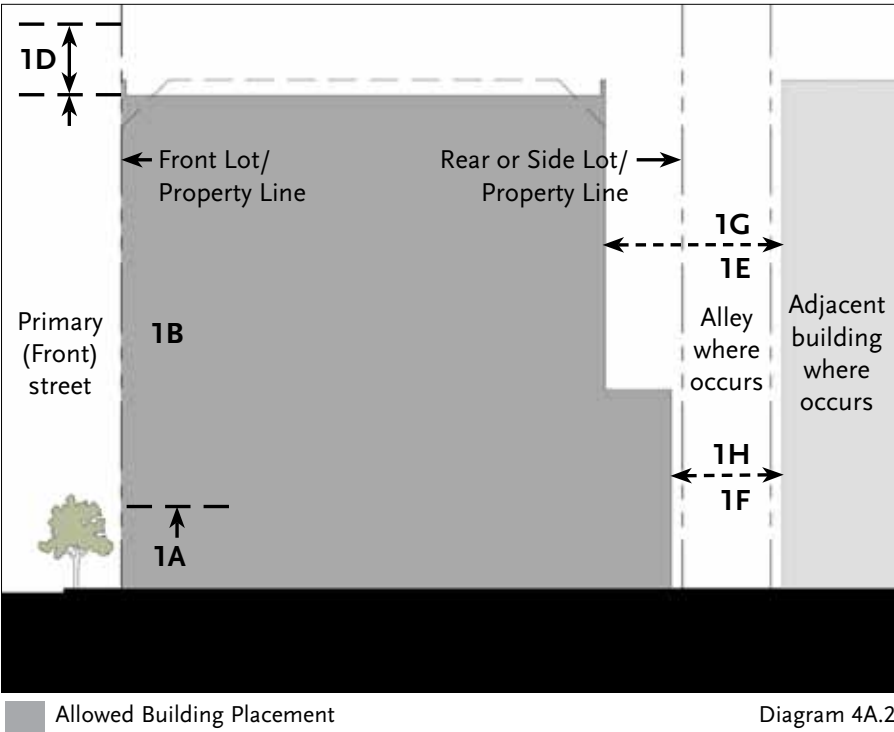
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	12	no max	match historic if greater
1B. Upper Floor Height	10	no max	n.a.
1C. Building Height	25 ft: 2 stories	110 ft: 10 stories	match historic along front 1/2
1D. Architectural Elements	no min	25 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	5 and above	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 4	25 ft	
1G. Non-res'l > 5 stories	6 and above	25 ft	
1H. Non-res'l < 4 stories	1 - 5	15 ft	



CENTRAL BUSINESS DISTRICT 2 (CBD2) STANDARDS, cont'd TABLE 4B

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

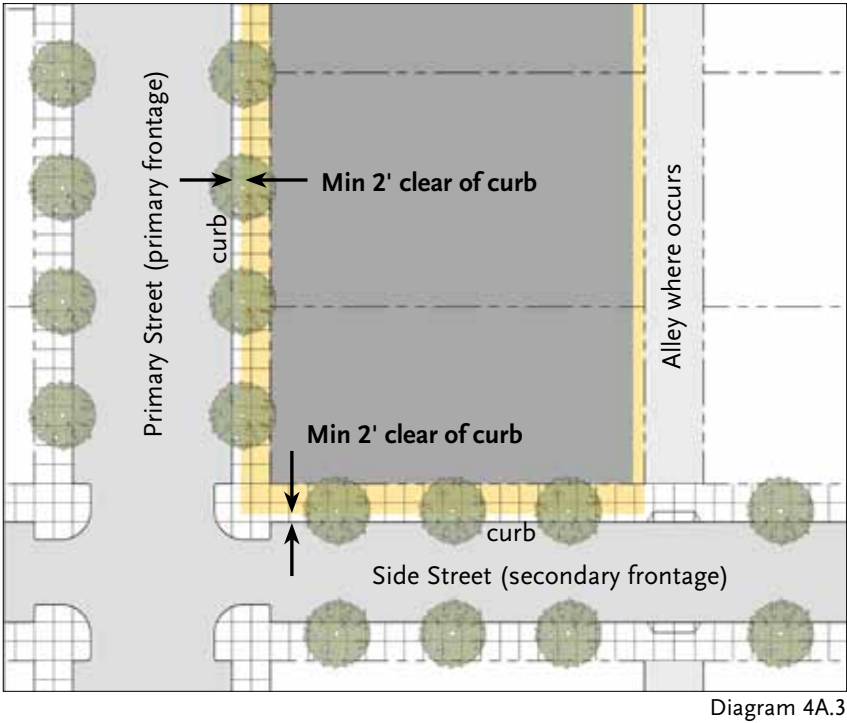
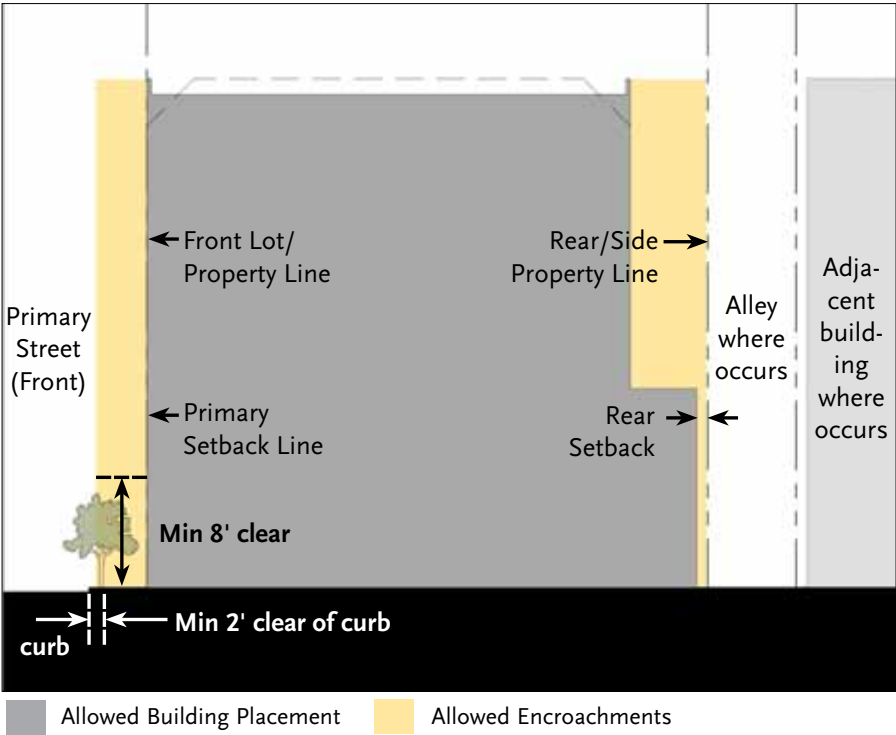


Diagram 4A.3

D. PARKING STANDARDS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 30 ft	min 30 ft	0 ft
1B. Side street	min 10 ft	min 10 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 150 ft from street corner Side Street: min 50 ft from street corner		

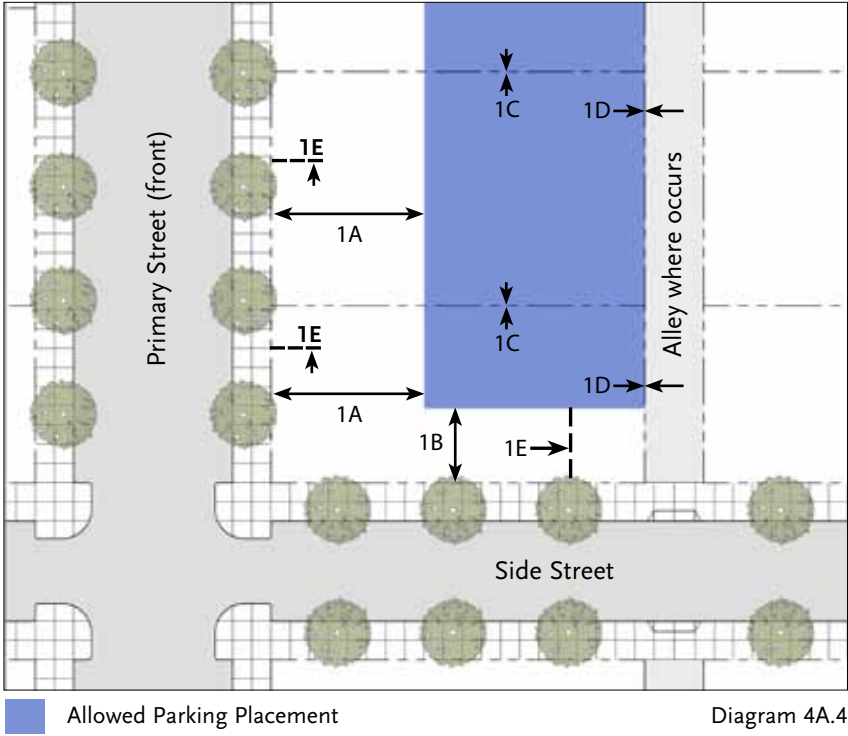


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	0 [1]	n.a.
Restaurant	0 [1]	n.a.
Public Market	0 [1]	n.a.
Services: General	0 [1]	n.a.
Services: Personal	0 [1]	n.a.
Services: Personal, Restricted	0 [1]	n.a.
Services: Business	0 [1]	n.a.
Transportation	0 [1]	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	0 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4C CIVIC CENTER (CC) STANDARDS

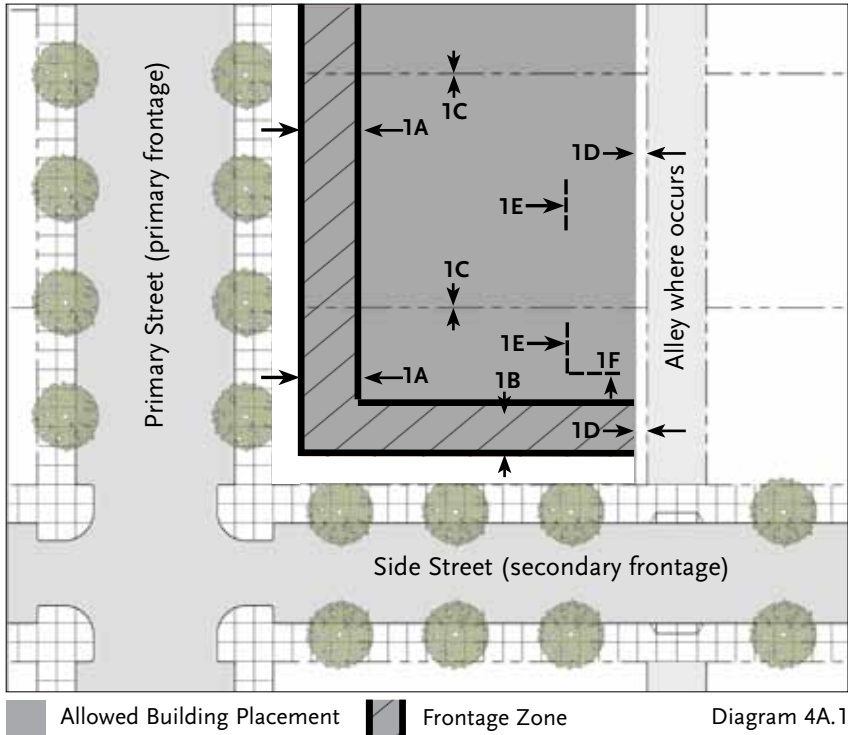
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. ^[1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	10	18	n.a.	n.a.
1B. Side (secondary) street	10	15	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	5 ^[2]	15
1D. Rear yard - no alley	n.a.	n.a.	15 ^[2]	no max
- with alley	n.a.	n.a.	5 ^[2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street			50	no max
1F. Side street			50	no max
1C. Side yard			0 ^[2]	no max
1D. Rear yard - no alley			5 ^[2]	no max
- with alley			3 ^[2]	no max

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft ^[1]	Max Size, Stories	Equivalent Sq. Ft ^[1]	Refer to DTC Section
Tower	2	37253	10	301455	Table 5A
Flex Building	2	6072	5	259875	Table 5B
Lined Building	2	11232	5	259875	Table 5C
Hybrid Court	2	10977	5	27641	Table 5E
Court	2	8780	5	78829	Table 5F

^[1] Based on the allowed range of development potential for the CC zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types ^[1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	25 - 100	no min	Table 6A
Gallery	25 - 100	no min	Table 6B
Shopfront	75 - 100	30 ft min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Front yard	50 - 100	50 - 100	Table 6H
^b MIN req'd facade	90	50	

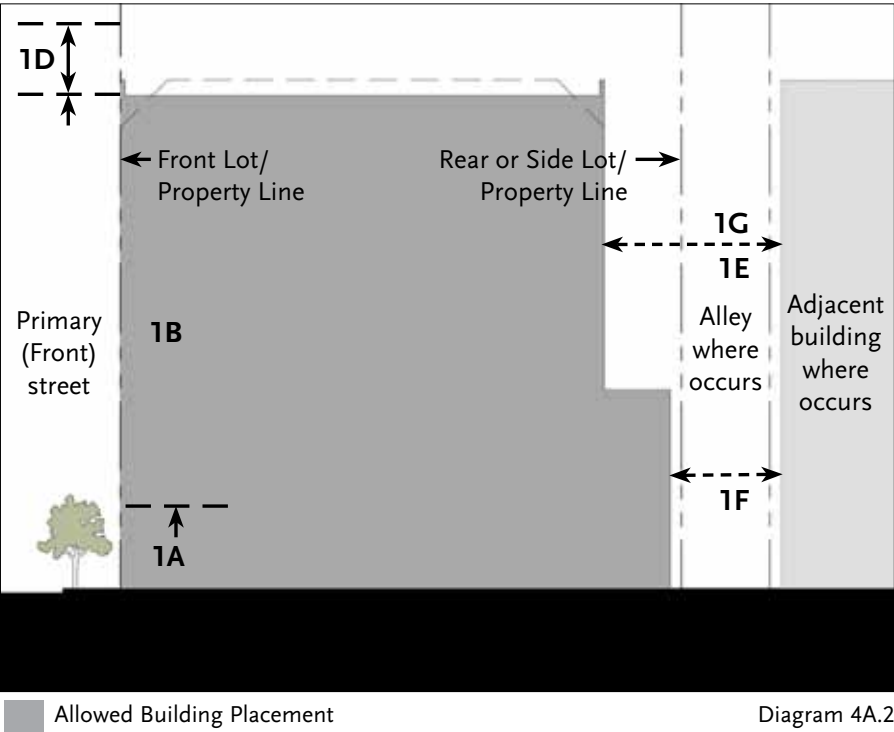
^[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	15	no max	match historic if greater
1B. Upper Floor Height	13 floor to floor	no max	n.a.
1C. Building Height	28 ft: 2 stories	110 ft: 10 stories	match historic along front 1/2
1D. Architectural Elements	no min	25 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	5 and above	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 4	25 ft	
1G. Non-res'l > 5 stories	6 and above	25 ft	
1H. Non-res'l < 4 stories	1 - 5	15 ft	



CIVIC CENTER (CC) STANDARDS, cont'd TABLE 4C

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

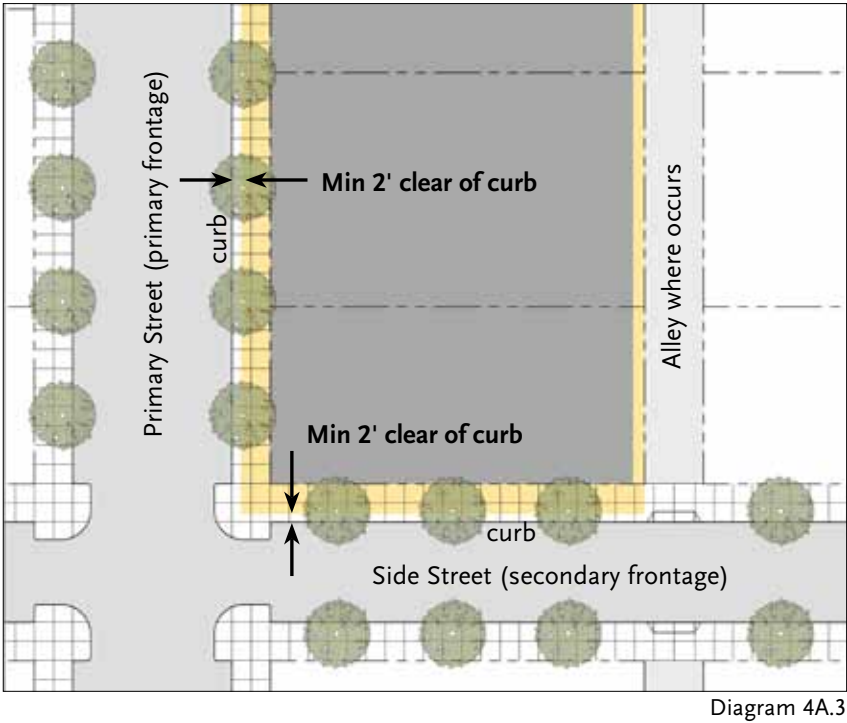
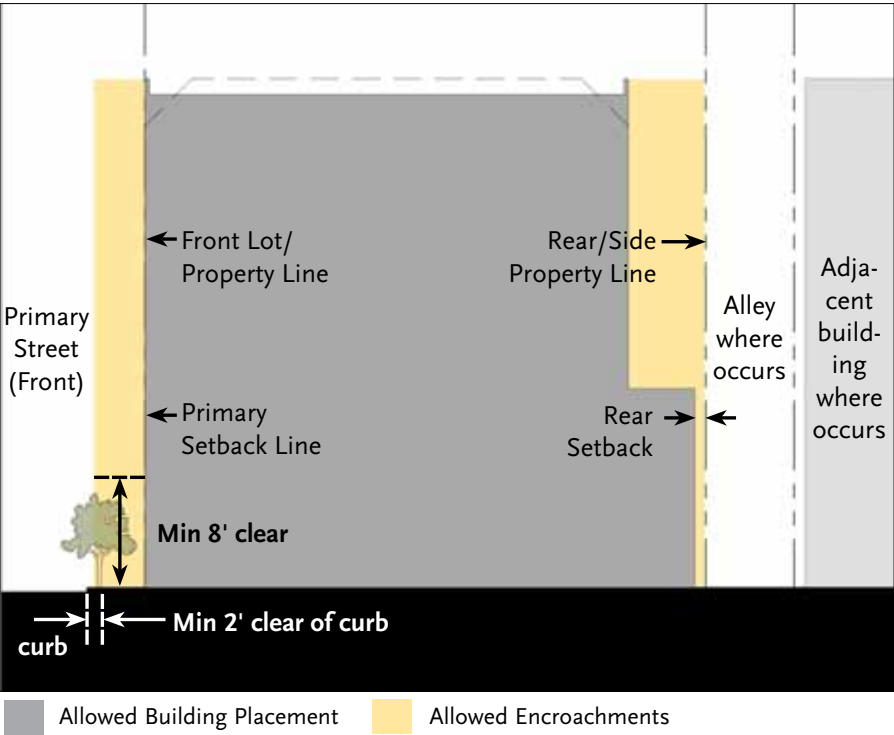


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 30 ft	min 30 ft	0 ft
1B. Side street	min 5 ft	min 5 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 150 ft from street corner Side Street: min 50 ft from street corner		

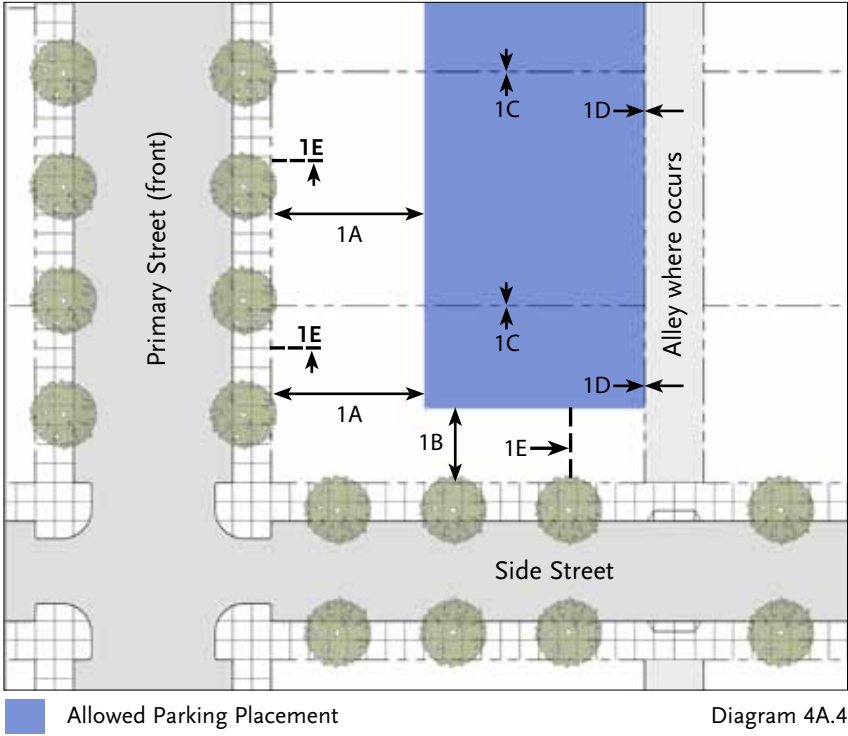


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	0 [1]	n.a.
Restaurant	0 [1]	n.a.
Public Market	0 [1]	n.a.
Services: General	0 [1]	n.a.
Services: Personal	0 [1]	n.a.
Services: Personal, Restricted	0 [1]	n.a.
Services: Business	0 [1]	n.a.
Transportation	0 [1]	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	0 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4D CHINATOWN (CT) STANDARDS

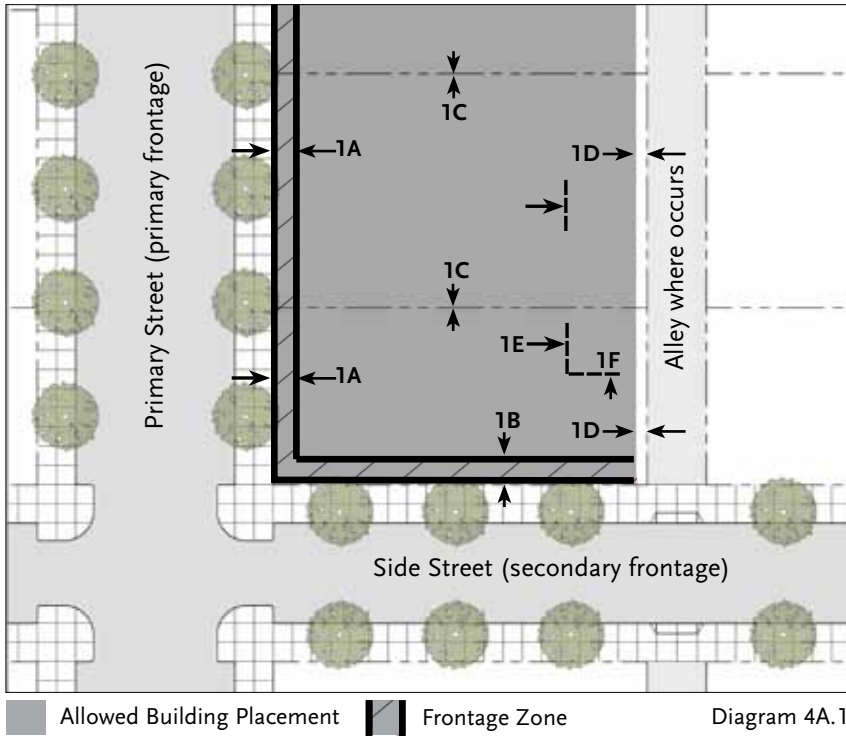
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	5	n.a.	n.a.
1B. Side (secondary) street	0	5	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	5
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		0 [1, 2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	1	6825	3	87000	Table 5B
Lined Building	1	11700	3	145000	Table 5C
Flex Shed	1	2194	2	49000	Table 5D
Hybrid Court	2	9731	3	68600	Table 5E
Court	2	9731	3	68600	Table 5F
Live-Work	2	2288	3	35925	Table 5G
Rowhouse	1	7005	3	33675	Table 5H

[1] Based on the allowed range of development potential for the CT zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	50 - 100	no min	Table 6A
Gallery	50 - 100	no min	Table 6B
Shopfront	75 - 100	40 ft min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Loading Dock	25 - 100	no min	Table 6E
Stoop	25 - 100	no min	Table 6F
^b MIN req'd facade	90	50	

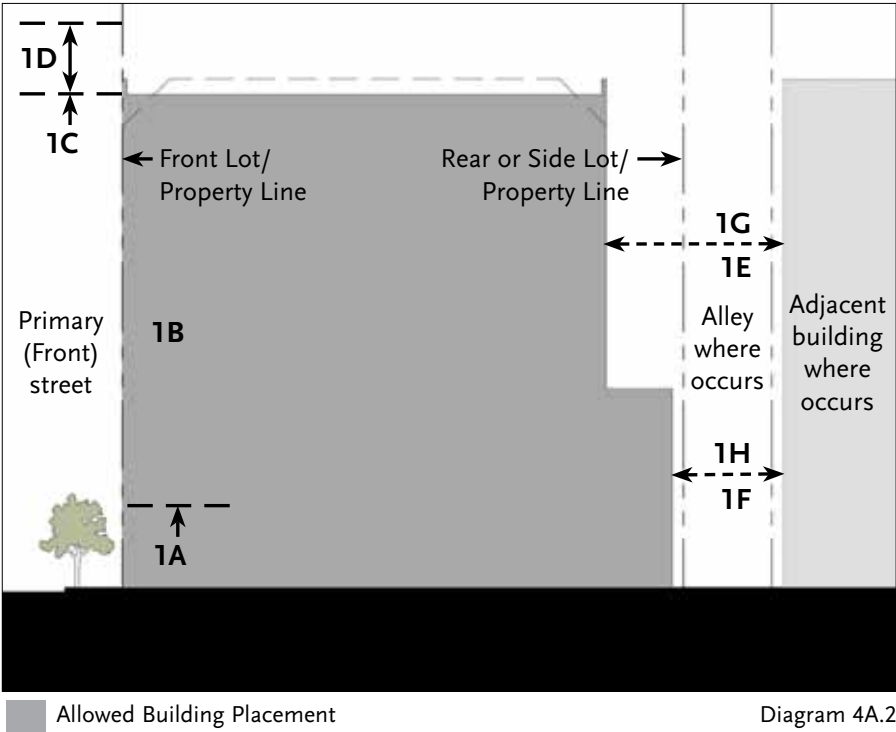
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10	no max	n.a.
1C. Building Height	0 ft: 1 story	45 ft: 3 stories	match historic along front 1/2
1D. Architectural Elements	no min	20 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	3	30 ft	match if exstg greater than reqmt
1F. Residential < 4 stories			
1G. Non-res'l > 5 stories			
1H. Non-res'l < 4 stories	1 - 2	20 ft	



CHINATOWN (CT) STANDARDS, cont'd TABLE 4D

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

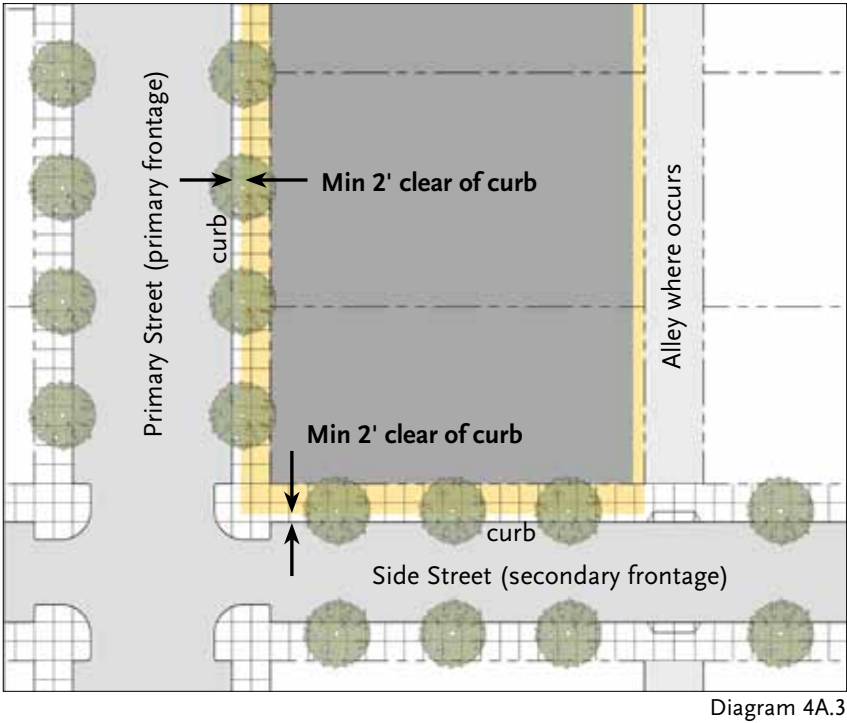
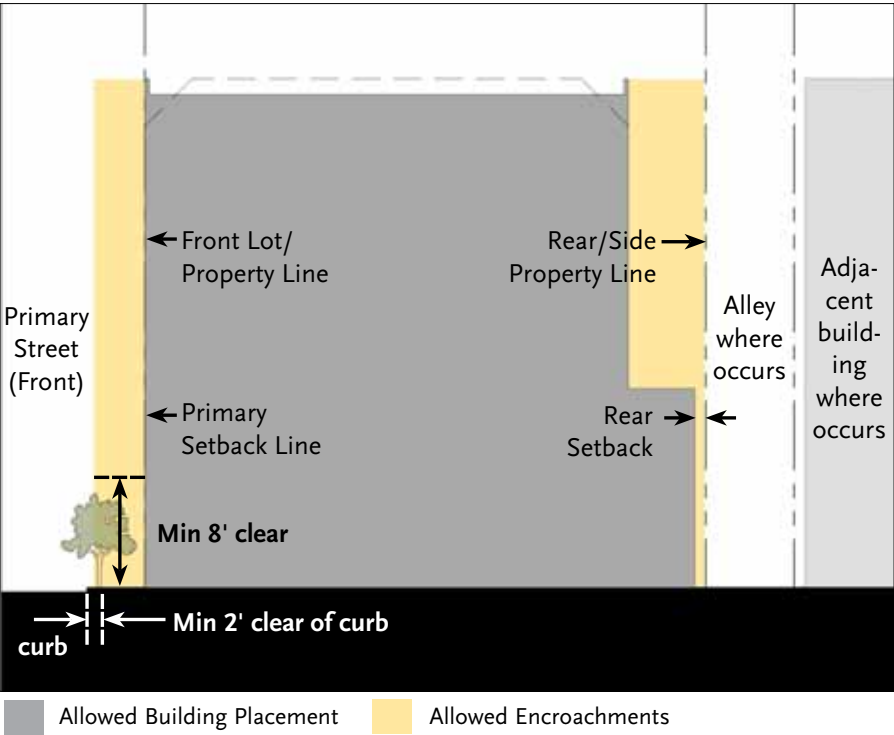


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 30 ft	min 30 ft	0 ft
1B. Side street	min 50 ft	min 50 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 100 ft from street corner Side Street: min 50 ft from street corner		

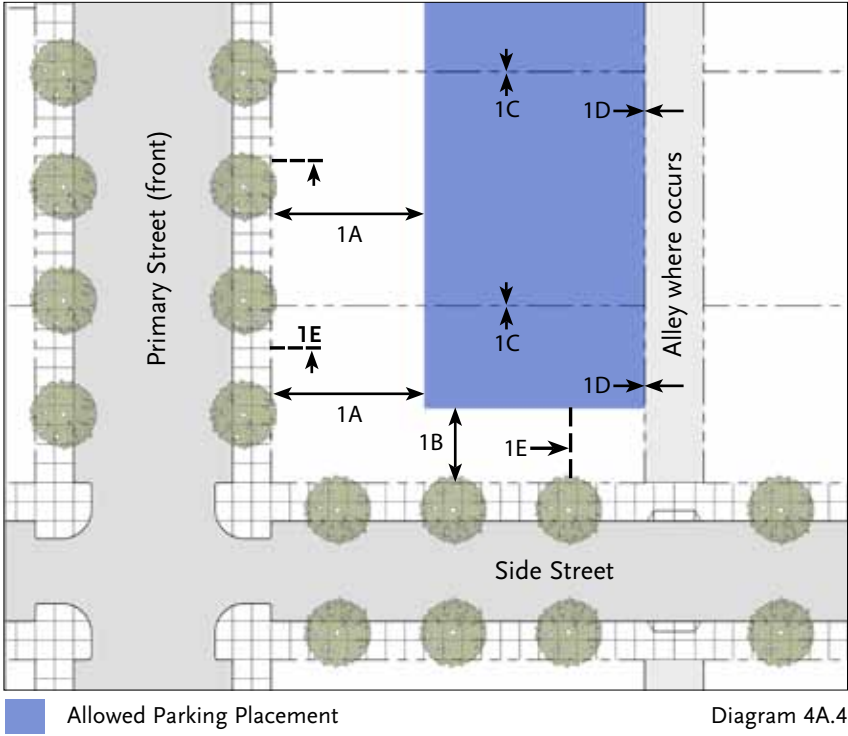


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	2/1000 [1]	n.a.
Restaurant	2/1000 [1]	n.a.
Public Market	0 [1]	n.a.
Services: General	2/1000 [1]	n.a.
Services: Personal	2/1000 [1]	n.a.
Services: Personal, Restricted	2/1000 [1]	n.a.
Services: Business	3/1000 [1]	n.a.
Transportation	0 [1]	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	3/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4E CULTURAL ARTS/SOUTH STADIUM/SOUTH VAN NESS (CA/SVN) STANDARDS

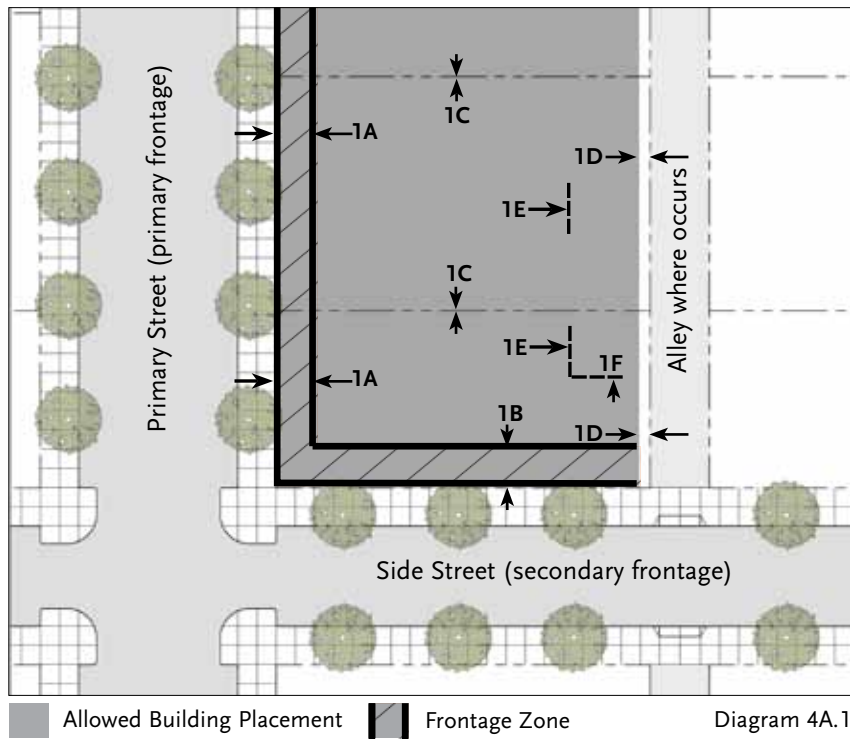
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	10	n.a.	n.a.
1B. Side (secondary) street	0	10	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	12
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		0 [1,2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	1	5300	5	145000	Table 5B
Lined Bldg	1	9750	5	145000	Table 5C
Flex Shed	1	1389	2	49000	Table 5D
Hybrid Court	2	9548	5	80850	Table 5E
Court	2	9548	5	85750	Table 5F
Live-Work	2	1248	3	35925	Table 5G

[1] Based on the allowed range of development potential for the CA/SVN zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	50 - 100	no min	Table 6A
Gallery	50 - 100	no min	Table 6B
Shopfront	75 - 100	40 ft min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Loading Dock	25 - 100	no min	Table 6E
Stoop	25 - 100	no min	Table 6F
^b MIN req'd facade	90	50	

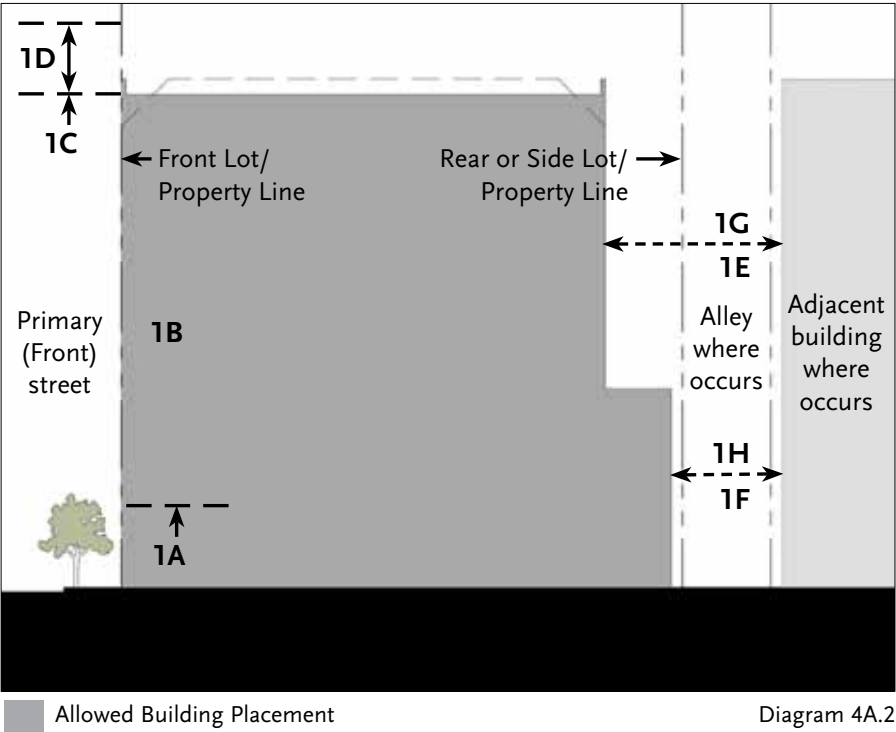
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10	no max	n.a.
1C. Building Height	25 ft: 1 stories	65 ft: 5 stories	match historic along front 1/2
1D. Architectural Elements	no min	20 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	4 - 5	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 3	25 ft	
1G. Non-res'l > 5 stories	4 - 5	25 ft	
1H. Non-res'l < 4 stories	1 - 3	15 ft	



CULTURAL ARTS/SOUTH STADIUM/SOUTH VAN NESS (CA/SVN) STD’s, cont'd **TABLE 4E**

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

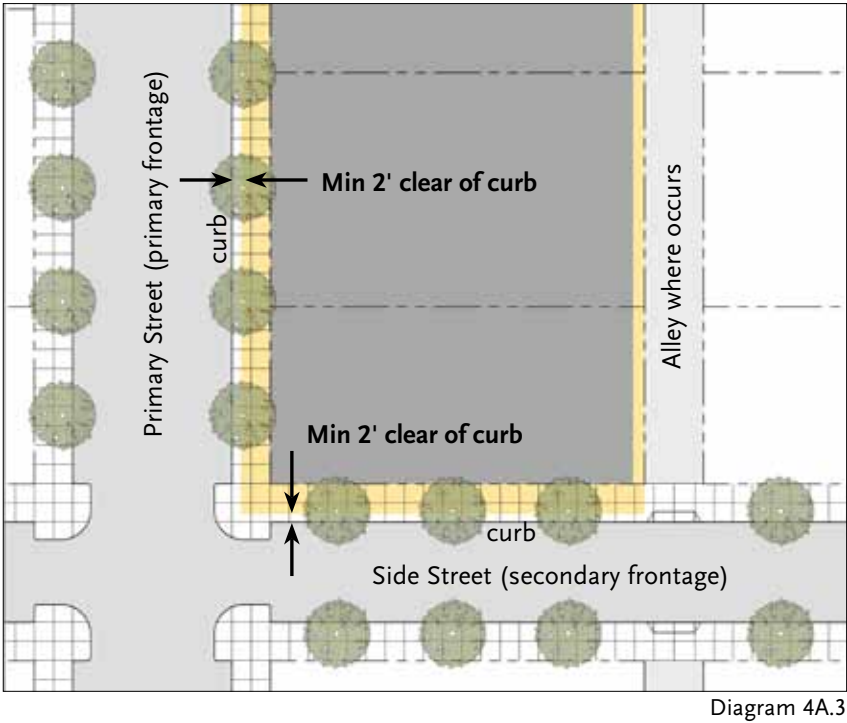
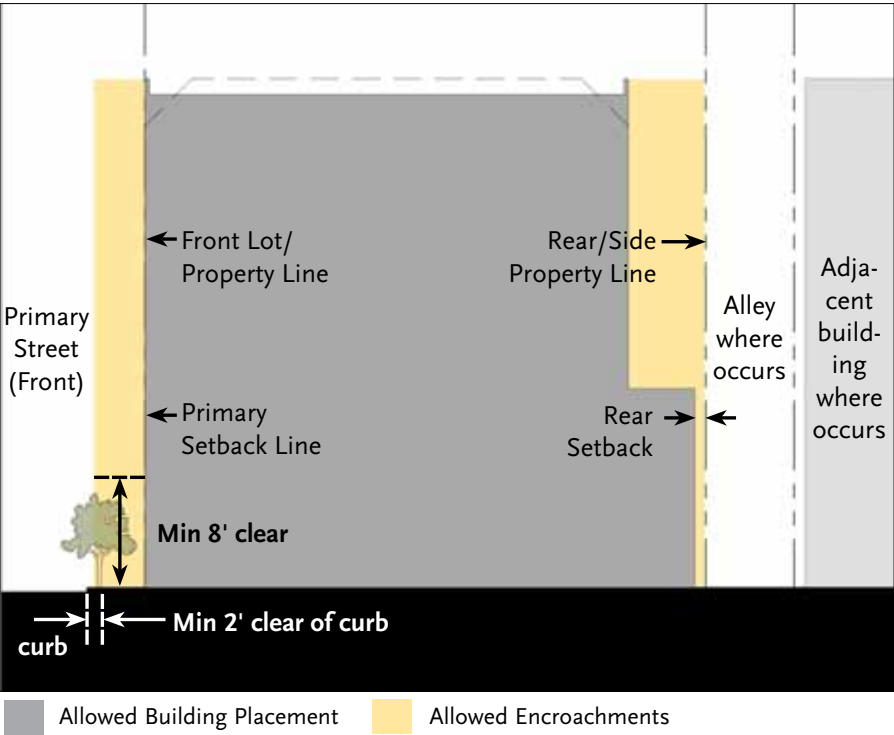


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 30 ft	min 30 ft	0 ft
1B. Side street	min 50 ft	min 50 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 100 ft from street corner Side Street: min 50 ft from street corner		

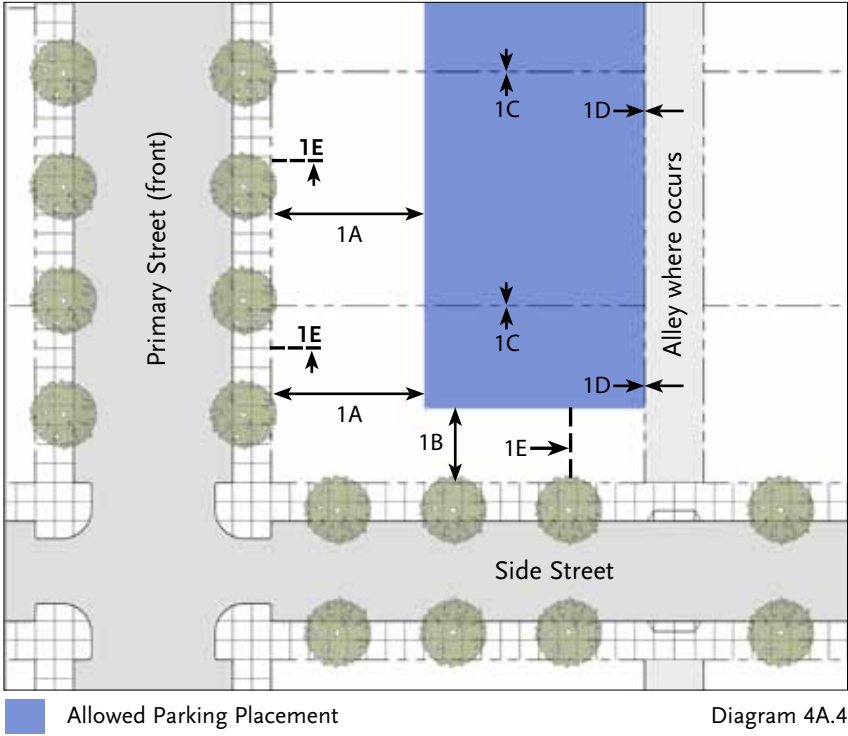


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	2/1000 [1]	n.a.
Restaurant	2/1000 [1]	n.a.
Public Market	0 [1]	n.a.
Services: General	2/1000 [1]	n.a.
Services: Personal	2/1000 [1]	n.a.
Services: Personal, Restricted	2/1000 [1]	n.a.
Services: Business	3/1000 [1]	n.a.
Transportation	0 [1]	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	3/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4F TOWN CENTER (TC) STANDARDS

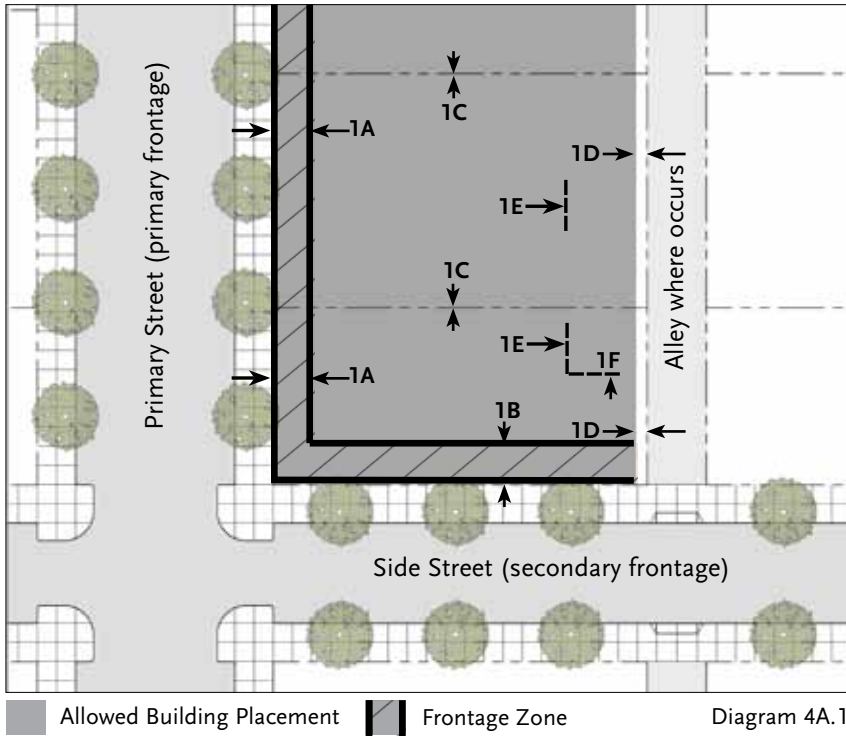
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	10	n.a.	n.a.
1B. Side (secondary) street	0	10	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	5
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		0 [1,2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	2	7100	5	634000	Table 5B
Lined Bldg	1	10625	5	58000	Table 5C
Hybrid Court	2	8656	5	49000	Table 5E
Court	2	8656	5	94325	Table 5F
Live-Work	2	1738	3	53925	Table 5G

[1] Based on the allowed range of development potential for the TC zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	25 - 100	no min	Table 6A
Gallery	25 - 100	no min	Table 6B
Shopfront	75 - 100	30 ft min	Table 6C
Forecourt	25 - 50	no min	Table 6D
^b MIN req'd facade	90	50	

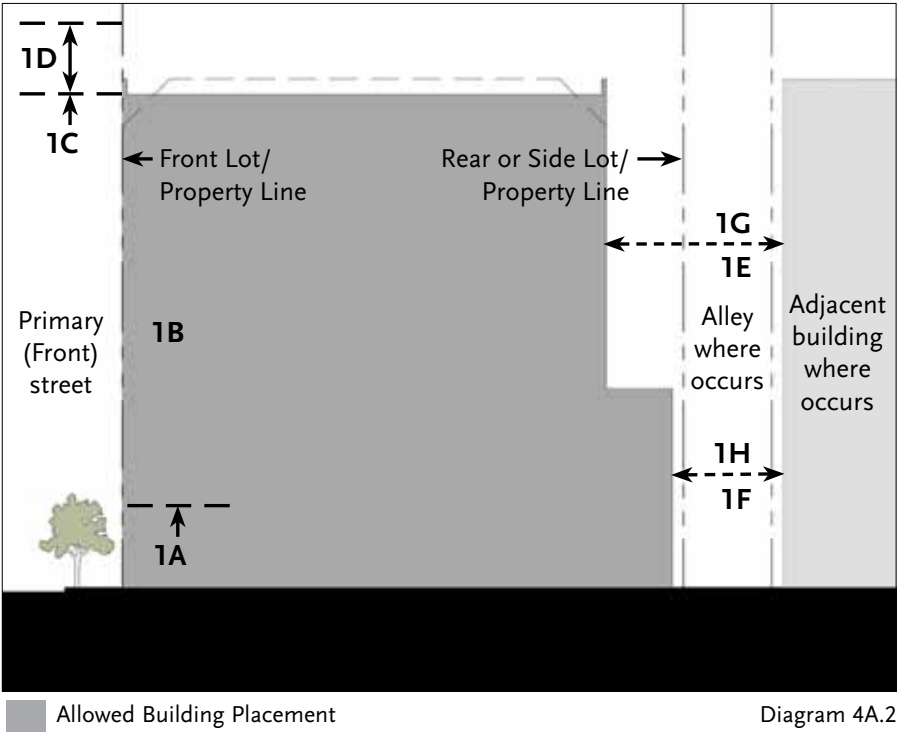
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10	no max	n.a.
1C. Building Height	25 ft: 2 stories	65 ft: 5 stories	match historic along front 1/2
1D. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	4 - 5	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1-3	25 ft	
1G. Non-res'l > 5 stories	4 - 5	25 ft	
1H. Non-res'l < 4 stories	1 - 3	15 ft	



TOWN CENTER (TC) STANDARDS, cont'd

TABLE 4F

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

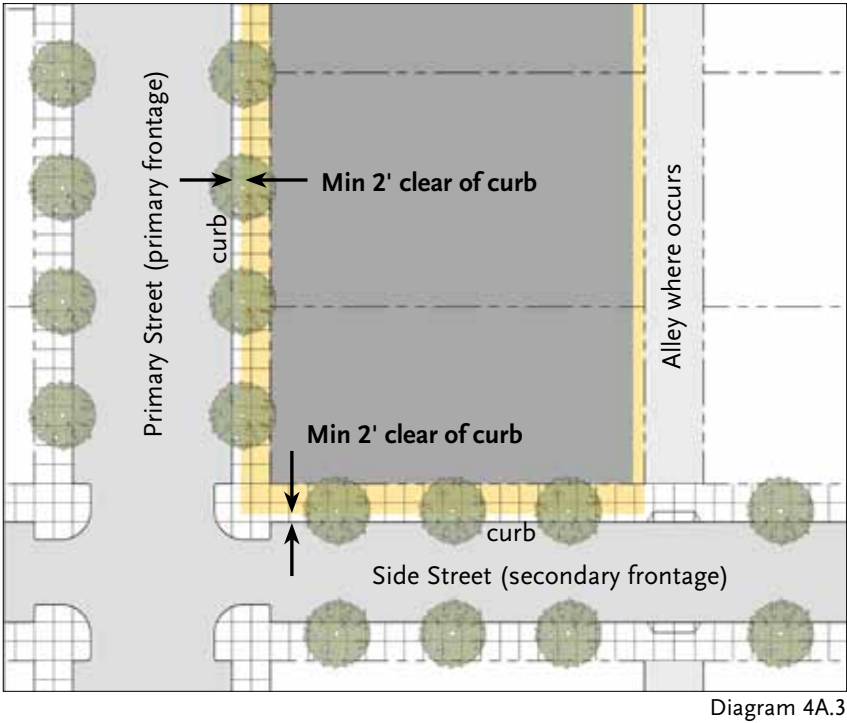
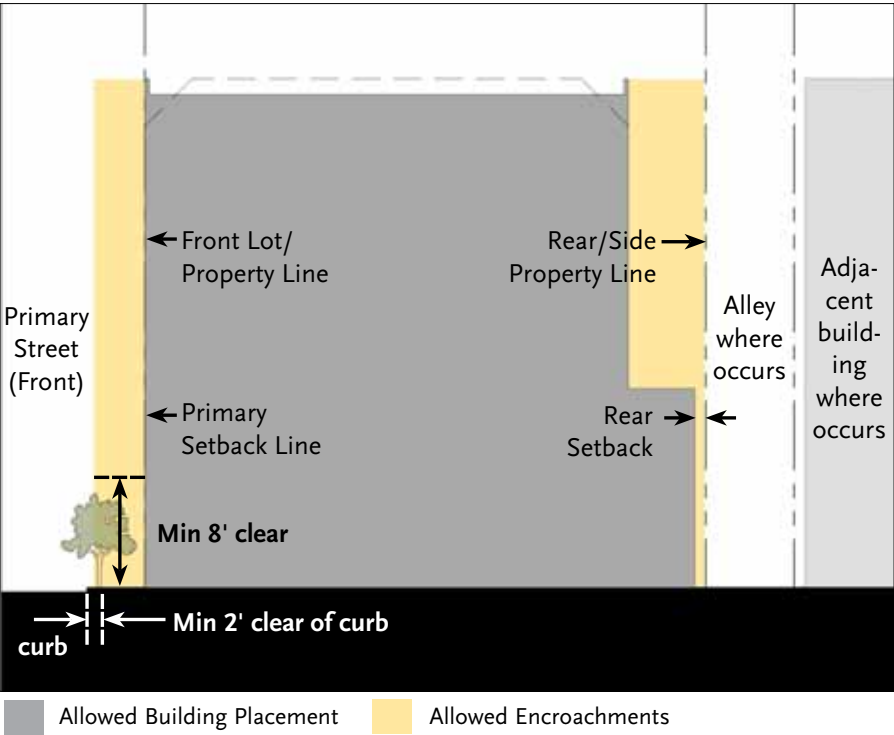


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 30 ft	min 30 ft	0 ft
1B. Side street	min 50 ft	min 50 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 100 ft from street corner Side Street: min 50 ft from street corner		

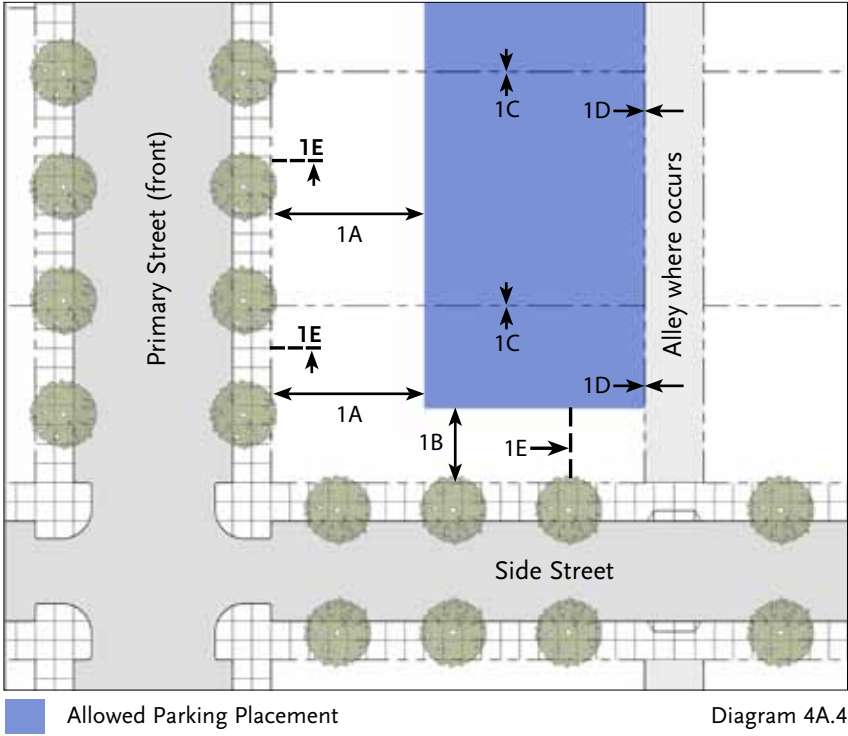


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	3/1000 [1]	n.a.
Restaurant	3/1000 [1]	n.a.
Public Market	0 [1]	n.a.
Services: General	3/1000 [1]	n.a.
Services: Personal	3/1000 [1]	n.a.
Services: Personal, Restricted	3/1000 [1]	n.a.
Services: Business	0 [1]	n.a.
Transportation	0 [1]	n.a.
Industry	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	3/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4G NEIGHBORHOOD CENTER (NC) STANDARDS

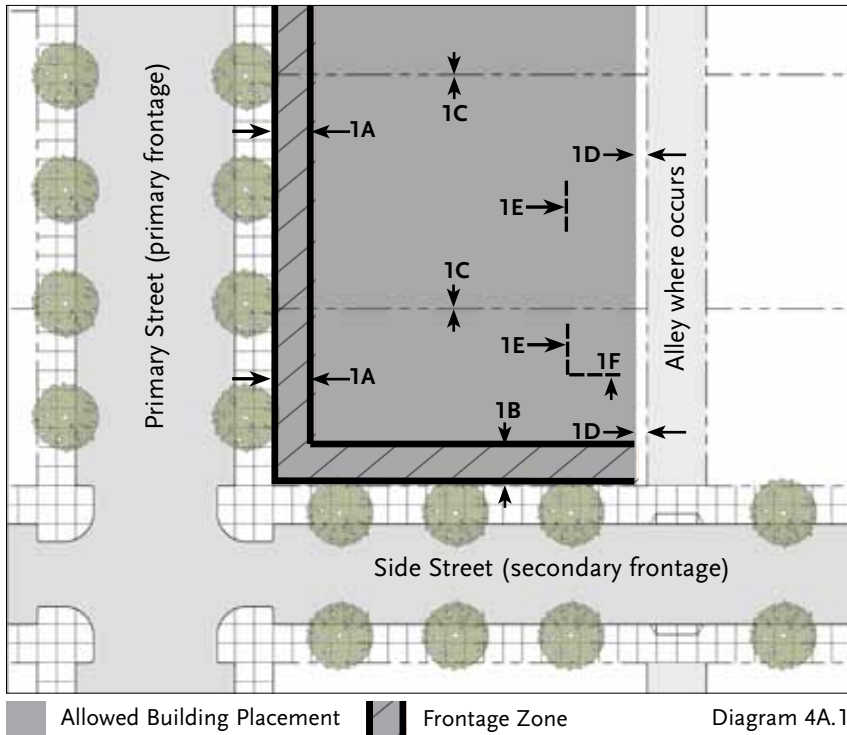
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	10	n.a.	n.a.
1B. Side (secondary) street	0	10	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	5
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		0 [1,2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	1	6000	3	317500	Table 5B
Lined Bldg	1	10625	3	29000	Table 5C
Hybrid Court	1	8656	3	61250	Table 5E
Court	1	8656	3	45938	Table 5F
Live-Work	1	1738	3	53925	Table 5G

[1] Based on the allowed range of development potential for the NC zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	25 - 100	no min	Table 6A
Gallery	25 - 100	no min	Table 6B
Shopfront	75 - 100	30 ft min	Table 6C
Forecourt	25 - 50	no min	Table 6D
^b MIN req'd facade	90	50	

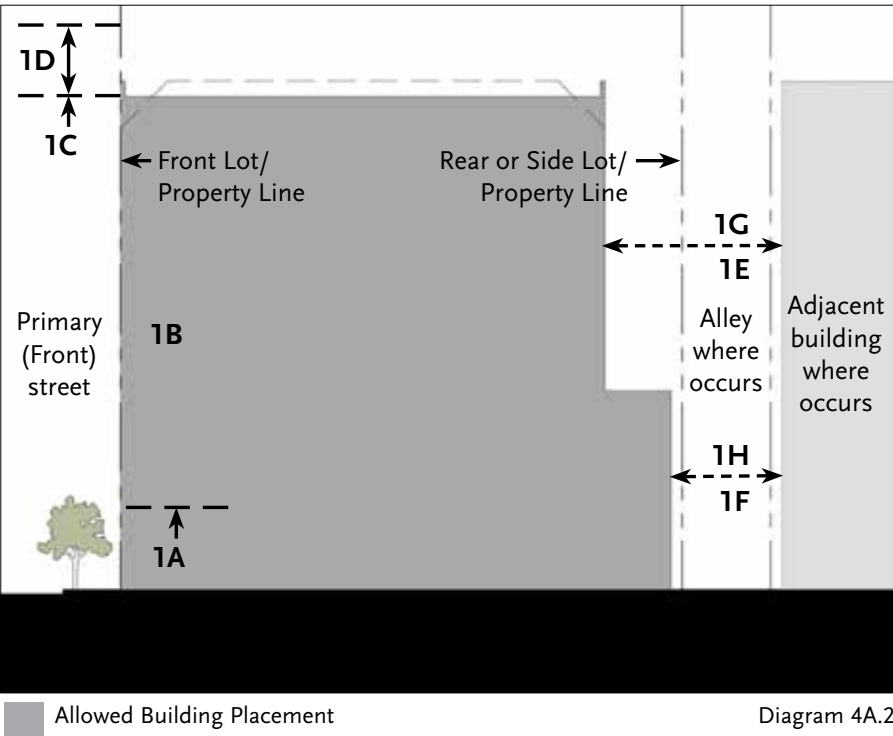
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10	no max	n.a.
1C. Building Height	25 ft: 2 stories	40 ft: 3 stories	match historic along front 1/2
1D. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	3	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 2	25 ft	
1G. Non-res'l > 5 stories	3	25 ft	
1H. Non-res'l < 4 stories	1 - 2	15 ft	



NEIGHBORHOOD CENTER (NC) STANDARDS, cont'd TABLE 4G

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

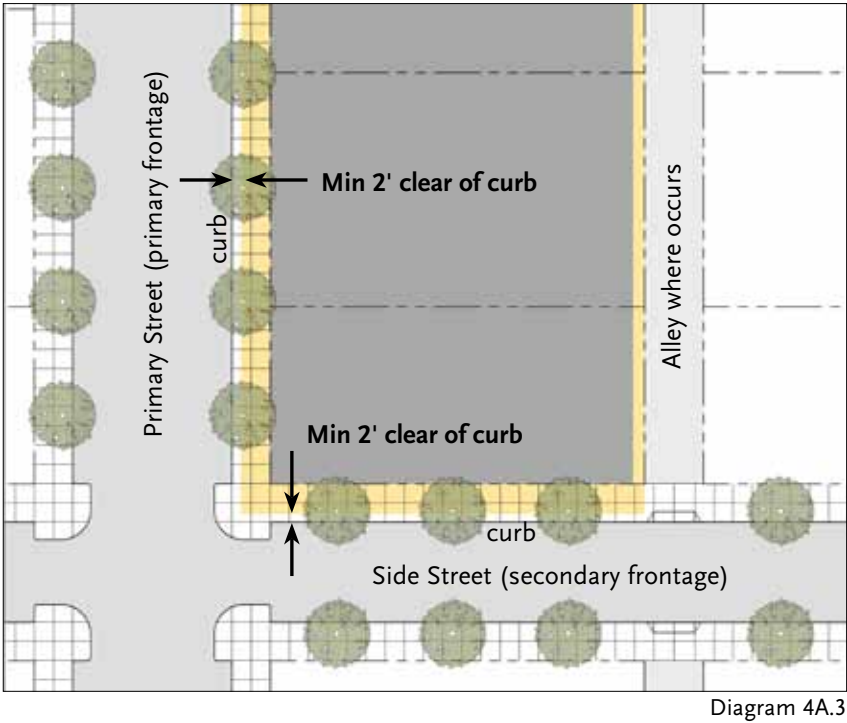
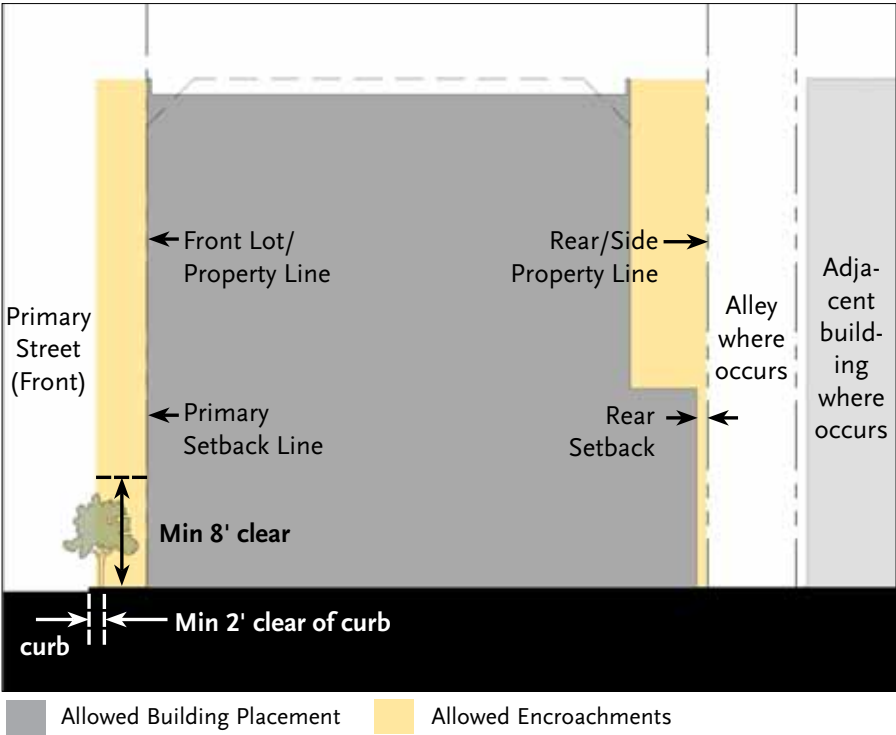


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 30 ft	min 30 ft	0 ft
1B. Side street	min 50 ft	min 50 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 100 ft from street corner Side Street: min 50 ft from street corner		

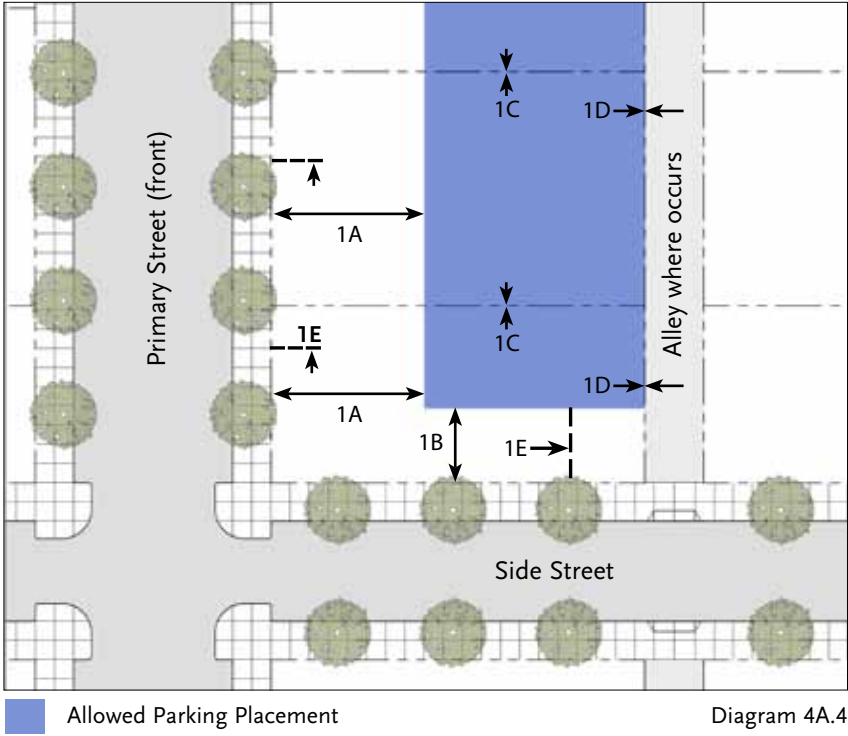


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	2/1000 [1]	n.a.
Restaurant	3/1000 [1]	n.a.
Public Market	0 [1]	n.a.
Services: General	2/1000 [1]	n.a.
Services: Personal	2/1000 [1]	n.a.
Services: Personal, Restricted	2/1000 [1]	n.a.
Services: Business	2/1000 [1]	n.a.
Transportation	0 [1]	n.a.
Industry	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	3/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4H CORRIDOR GENERAL (CG) STANDARDS

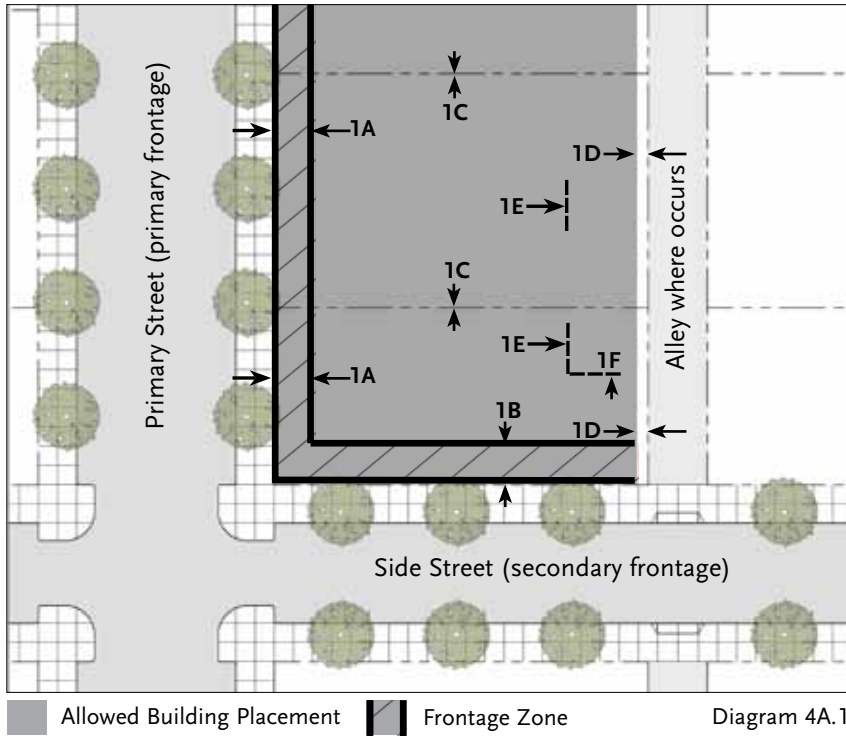
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	10	n.a.	n.a.
1B. Side (secondary) street	0	10	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	8
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		0 [1,2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	1	5700	3	329000	Table 5B
Flex Shed	1	863	2	30625	Table 5D
Hybrid Court	2	8356	3	58800	Table 5E
Court	1	8356	3	61250	Table 5F
Live-Work	2	1528	3	53925	Table 5G
Rowhouse	1	5285	3	33675	Table 5H
Duplex, Triplex, Quadplex	1	2040	3	12900	Table 5K

[1] Based on the allowed range of development potential for the CG zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Shopfront	75 - 100	25	Table 6C
Forecourt	25 - 50	30 ft min	Table 6D
Stoop	25 - 100	no min	Table 6F
Porch	25 - 100	no min	Table 6G
Front yard	50 - 100	25 - 50	Table 6H
^b MIN req'd facade	50	50	

[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10	no max	n.a.
1C. Building Height	25 ft: 2 stories	50 ft: 3 stories	match historic along front 1/2
1D. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	3	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 2	25 ft	
1G. Non-res'l > 5 stories	3	25 ft	
1H. Non-res'l < 4 stories	1 - 2	15 ft	

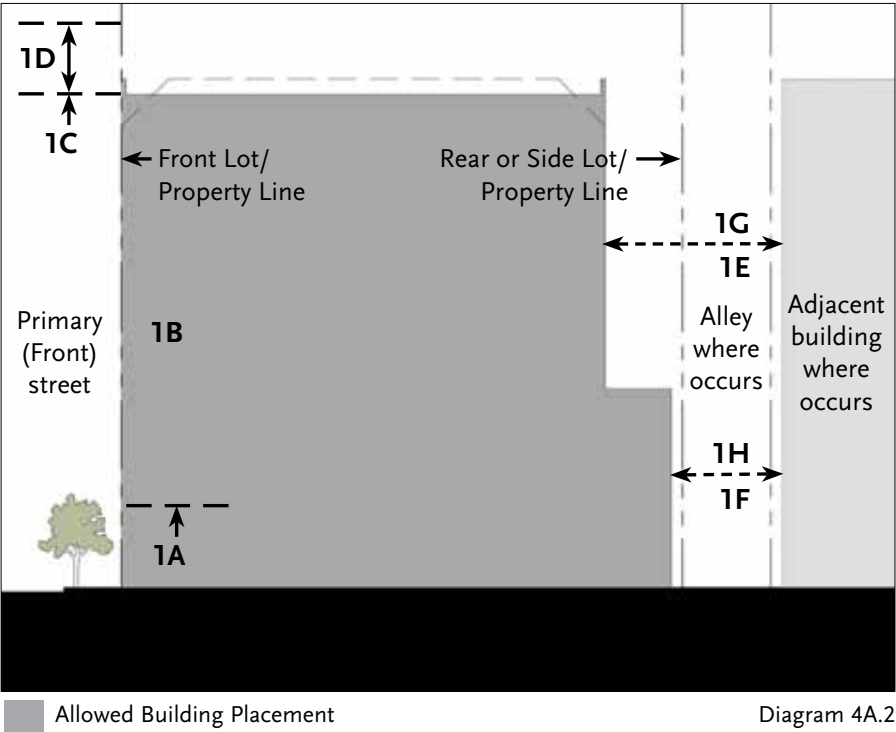


TABLE 4I NEIGHBORHOOD GENERAL (NG) STANDARDS

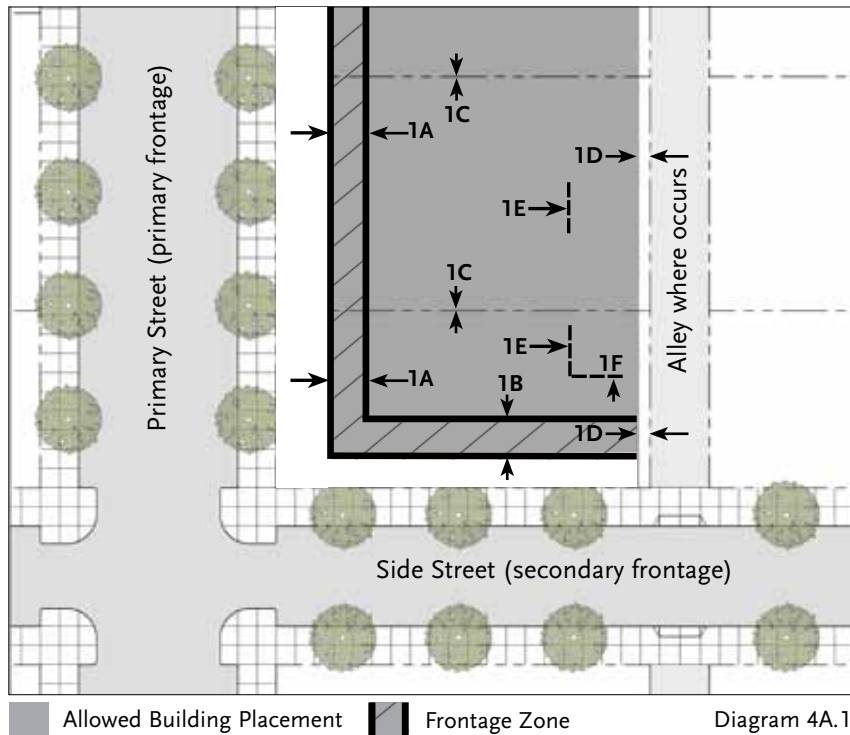
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	15	20	n.a.	n.a.
1B. Side (secondary) street	10	15	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	5 [2]	10
1D. Rear yard - no alley	n.a.	n.a.	20 [2]	no max
- with alley	n.a.	n.a.	20 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		10	no max	
1C. Side yard		5 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Hybrid Court	1	6156	2.5	29160	Table 5E
Court	1	6156	2.5	30375	Table 5F
Live - Work	1	663	2.5	20938	Table 5G
Rowhouse	1	2955	2.5	23594	Table 5H
Bungalow Court	1	4720	2	26350	Table 5I
Rosewalk	1	6156	2	14500	Table 5J
Duplex, Triplex, Quadplex	1	1425	2	11950	Table 5K
Single Dwelling	1	585	2	8100	Table 5L
Carriage House	1	375	2	600	Table 5M

[1] Based on the allowed range of development potential for the NG zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Stoop	25 - 100	no min	Table 6F
Porch	50 - 100	no min	Table 6G
Front yard	75 - 100	50 - 100	Table 6H
^b MIN req'd facade	60	50	

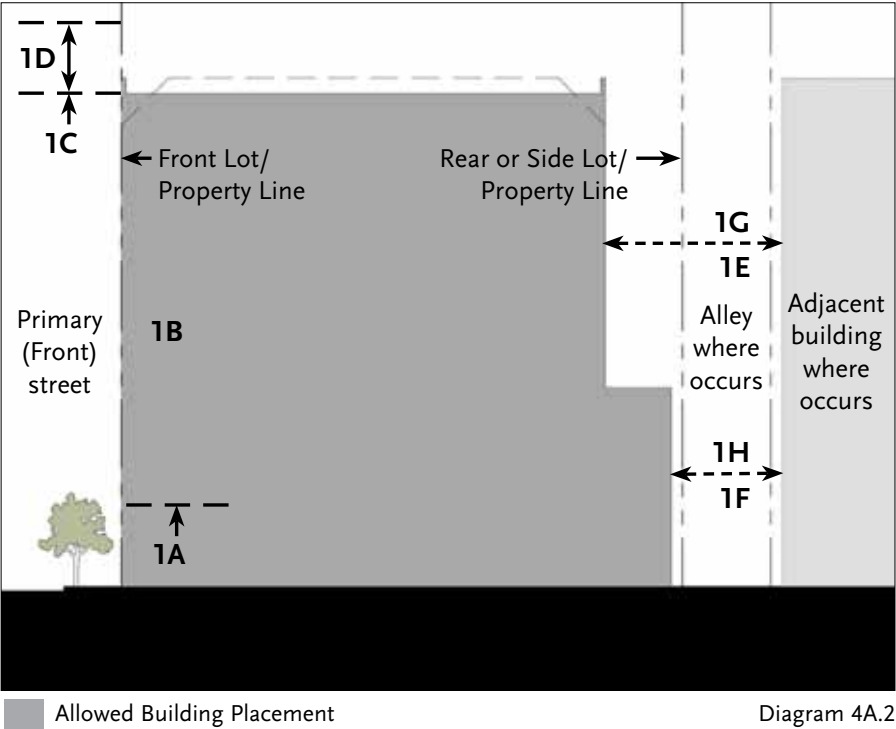
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	9	no max	n.a.
1C. Building Height	0 ft: 1 story	28 ft: 2.5 stories	match historic along front 1/2
1D. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	1 - 2	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories		25 ft	
1G. Non-res'l > 5 stories		25 ft	
1H. Non-res'l < 4 stories		15 ft	



NEIGHBORHOOD GENERAL (NG) STANDARDS, cont'd TABLE 4I

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Balcony	min 10 ft from PL		min 5 ft from PL	min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Porch	min 5 ft from PL		min 5 ft from PL	min 5 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

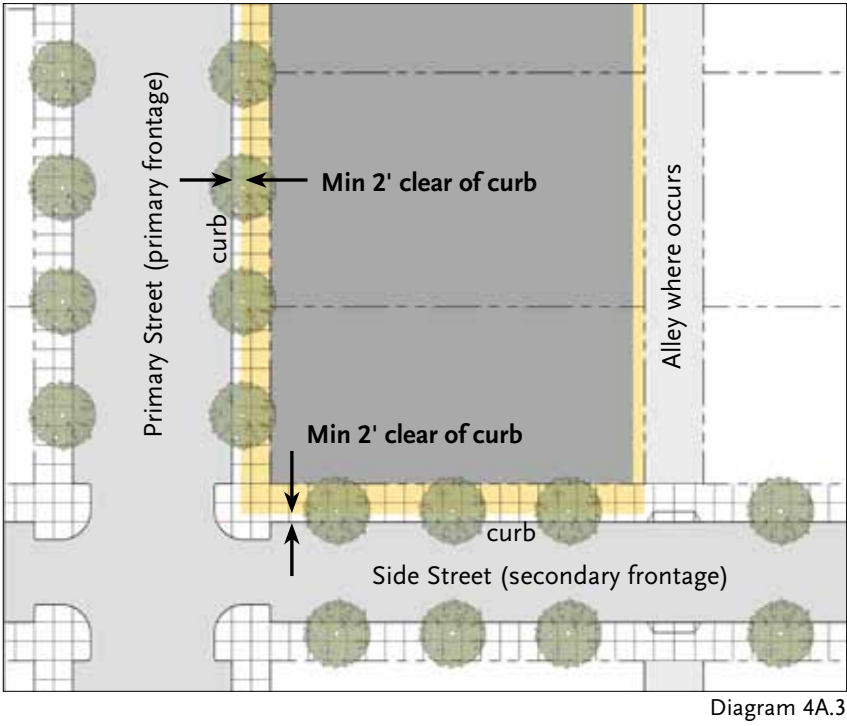
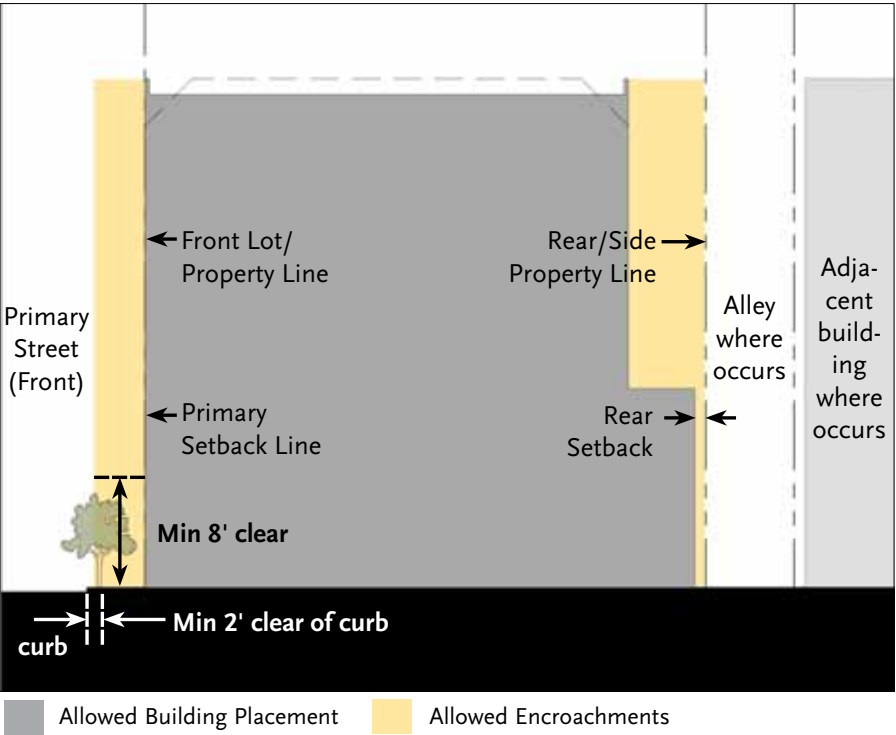


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	At Grade	Subterranean
1A. Primary street	min 50 ft	0 ft
1B. Side street	min 50 ft	0 ft
1C. Side Yard	0 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	0 ft
- no alley	0 ft	0 ft
1E. Driveway access	Primary Street: min 50 ft from street corner Side Street: min 50 ft from street corner	

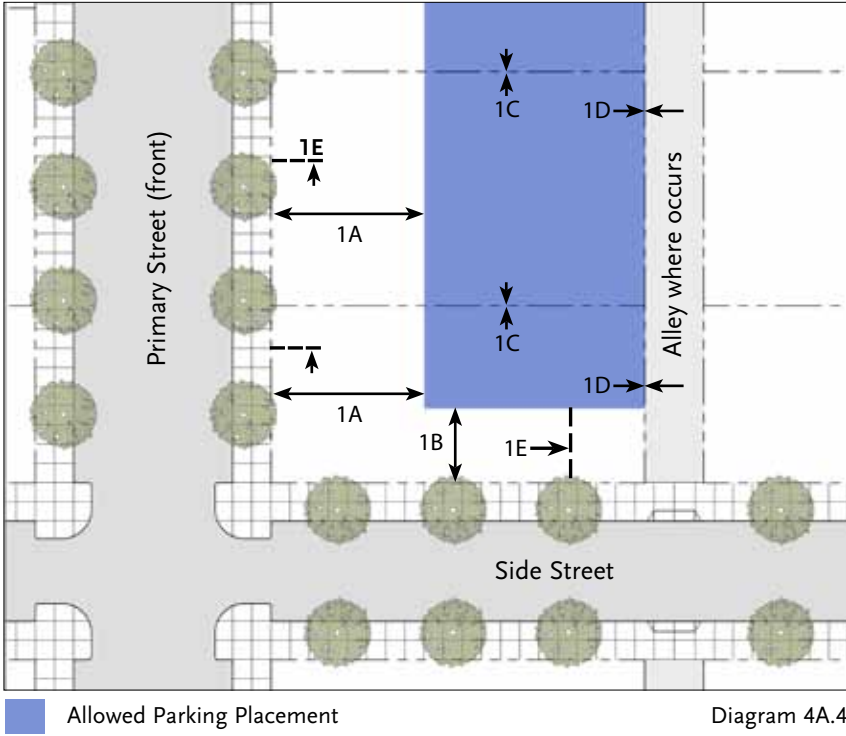


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Services: General	2/1000 [1]	n.a.
Transportation	1/1000 [1]	n.a.
Recreation, Education	2/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4) NEIGHBORHOOD GENERAL PRESERVATION (NG P) STANDARDS

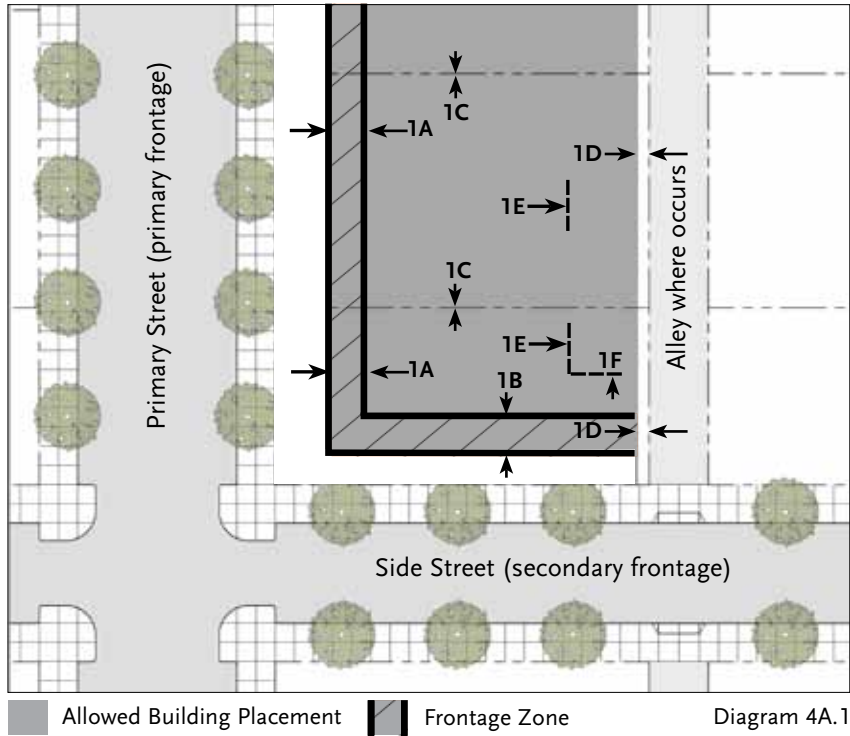
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	15	20	n.a.	n.a.
1B. Side (secondary) street	10	15	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	5 [2]	10
1D. Rear yard - no alley	n.a.	n.a.	20 [2]	no max
- with alley	n.a.	n.a.	20 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		10	no max	
1C. Side yard		5 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Bungalow Court	1	4720	2	26350	Table 5I
Rosewalk	1	6156	2	14500	Table 5J
Duplex, Triplex, Quadplex	1	1875	2	11950	Table 5K
Single Dwelling	1	675	2	12350	Table 5L
Carriage House	1	375	2	600	Table 5M

[1] Based on the allowed range of development potential for the NG P zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	25 - 100	no min	Table 6A
Gallery	25 - 100	no min	Table 6B
Shopfront	75 - 100	30 ft min	Table 6C
Forecourt	25 - 50	no min	Table 6D
^b MIN req'd facade	60	50	

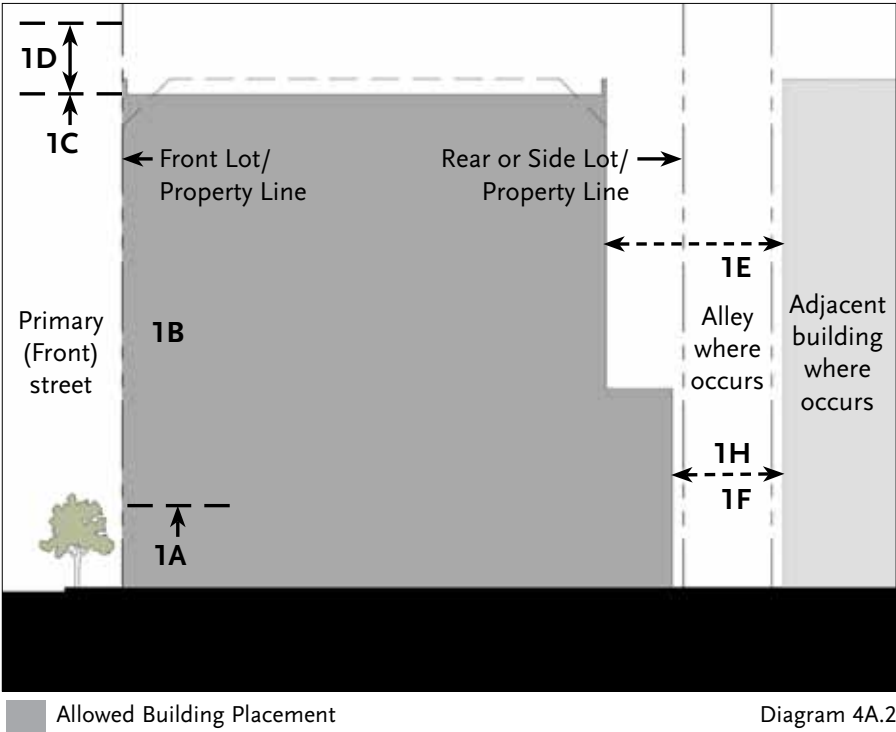
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	9	no max	n.a.
1C. Building Height	0 ft: 1 story	32 ft: 2 stories	match historic along front 1/2
1D. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	1 - 2	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories		25 ft	
1G. Non-res'l > 5 stories		25 ft	
1H. Non-res'l < 4 stories		15 ft	



NEIGHBORHOOD GENERAL PRESERVATION (NG P) STANDARDS, cont'd TABLE 4J

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Balcony	min 10 ft from PL		min 5 ft from PL	min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Porch	min 5 ft from PL		min 5 ft from PL	min 5 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

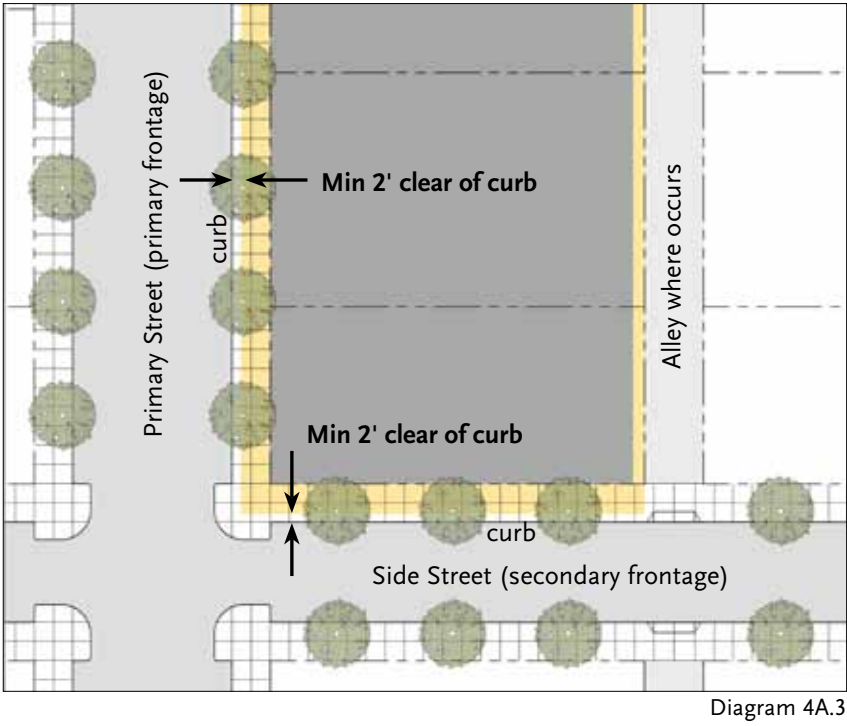
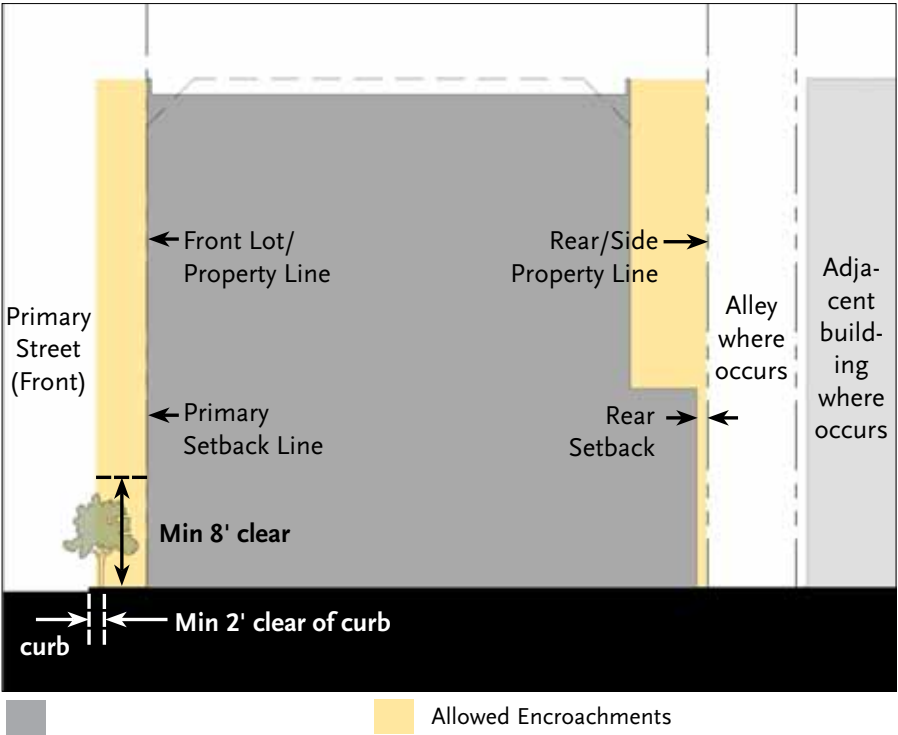


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	At Grade	Subterranean
1A. Primary street	min 50 ft	0 ft
1B. Side street	min 50 ft	0 ft
1C. Side Yard	0 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	0 ft
- no alley	0 ft	0 ft
1E. Driveway access	Primary Street: min 50 ft from street corner Side Street: min 50 ft from street corner	

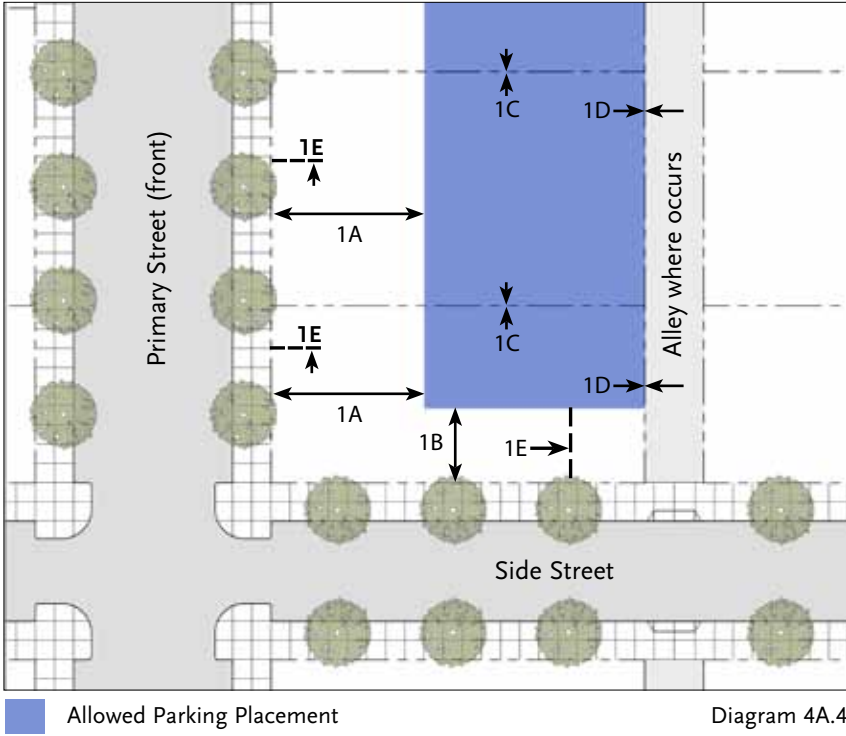


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Services: General	2/1000 [1]	n.a.
Transportation	1/1000 [1]	n.a.
Recreation, Education	2/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4K NEIGHBORHOOD GENERAL REVITALIZATION (NG R) STANDARDS

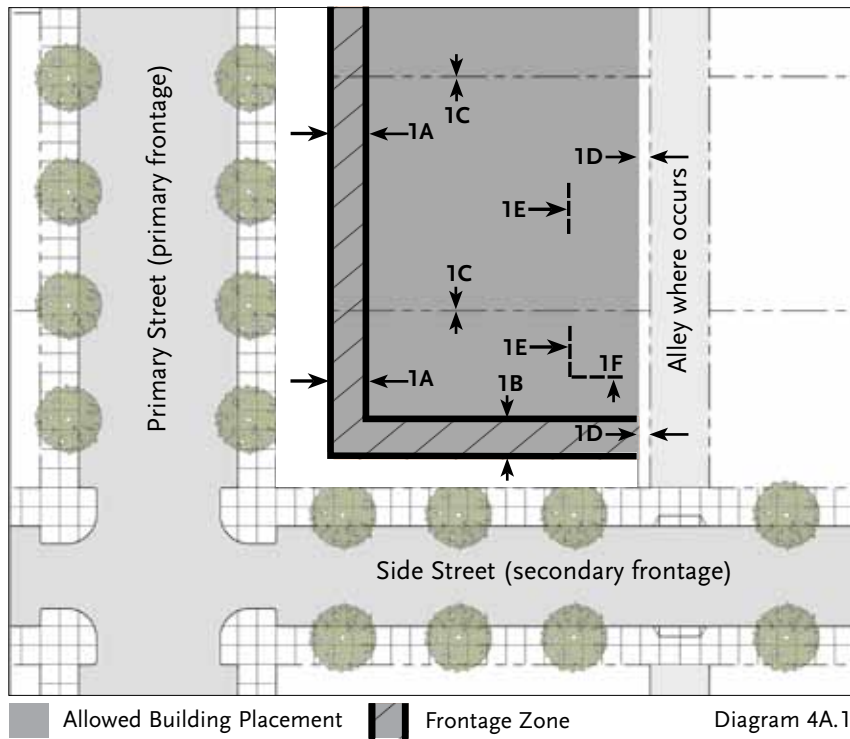
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	15	25	n.a.	n.a.
1B. Side (secondary) street	10	15	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	5 [2]	10
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	15
- with alley	n.a.	n.a.	15 [2]	25
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		50	no max	
1F. Side street		10	no max	
1C. Side yard		5 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Hybrid Court	1	7156	2.5	30780	Table 5E
Court	1	3750	2.5	32063	Table 5F
Bungalow Court	1	5670	2.5	35000	Table 5I
Rosewalk	1	7156	2.5	19813	Table 5J
Duplex, Triplex, Quadplex	1	1425	2.5	15360	Table 5K
Single Dwelling	1	510	2.5	10440	Table 5L
Carriage House	1	375	2.5	600	Table 5M

[1] Based on the allowed range of development potential for the NG R zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Stoop	25 - 100	no min	Table 6F
Porch	50 - 100	no min	Table 6G
Front yard	75 - 100	50 - 100	Table 6H
^b MIN req'd facade	60	50	

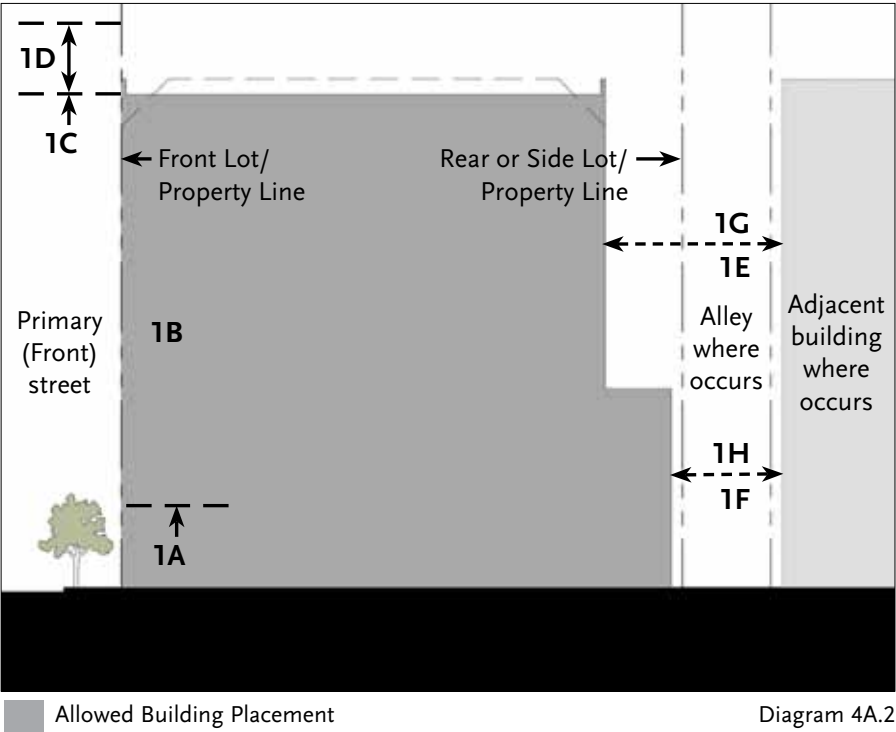
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	9	no max	n.a.
1C. Building Height	0 ft: 1 story	28 ft: 2.5 stories	match historic along front 1/2
1D. Architectural Elements	no min	10 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	1 - 2	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories		25 ft	
1G. Non-res'l > 5 stories		25 ft	
1H. Non-res'l < 4 stories		15 ft	



NEIGHBORHOOD GENERAL REVITALIZATION (NG R) STANDARDS, cont'd TABLE 4K

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Balcony	min 10 ft from PL		min 5 ft from PL	min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Porch	min 5 ft from PL		min 5 ft from PL	min 5 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

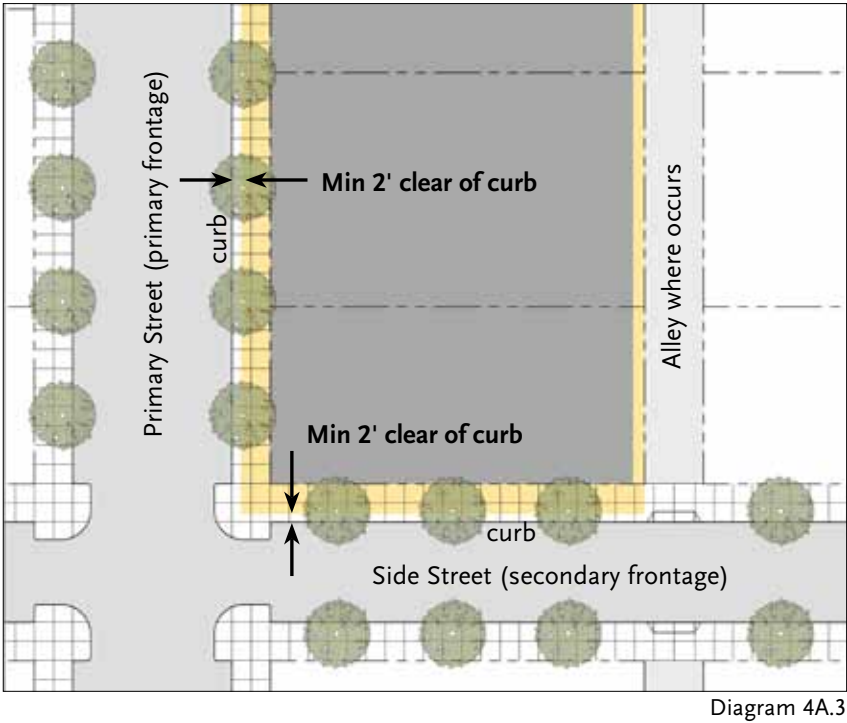
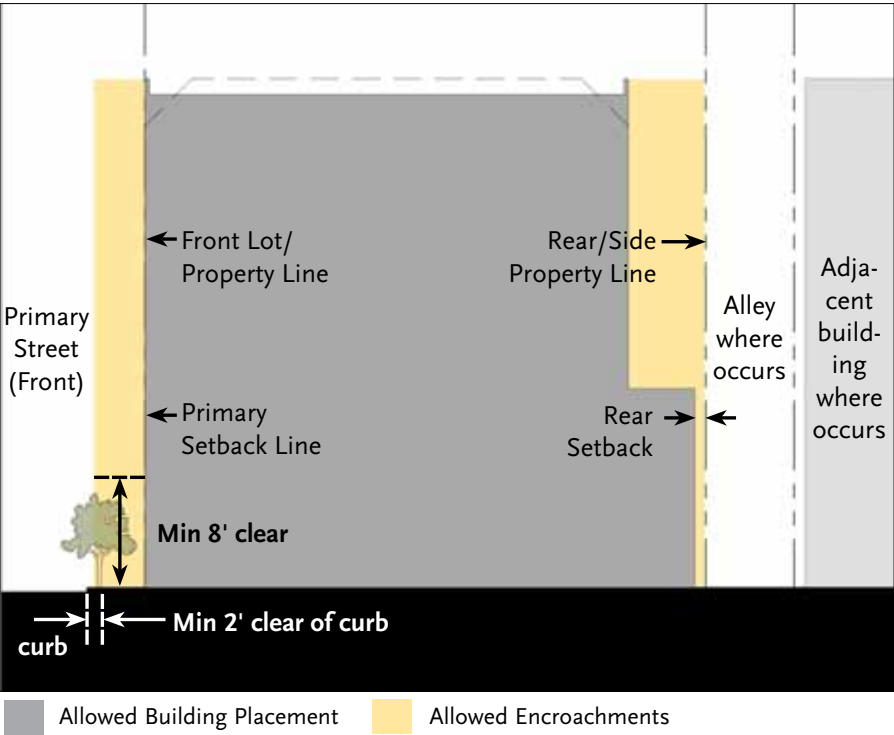


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	At Grade	Subterranean
1A. Primary street	min 50 ft	0 ft
1B. Side street	min 50 ft	0 ft
1C. Side Yard	0 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	0 ft
- no alley	0 ft	0 ft
1E. Driveway access	Primary Street: min 50 ft from street corner Side Street: min 50 ft from street corner	

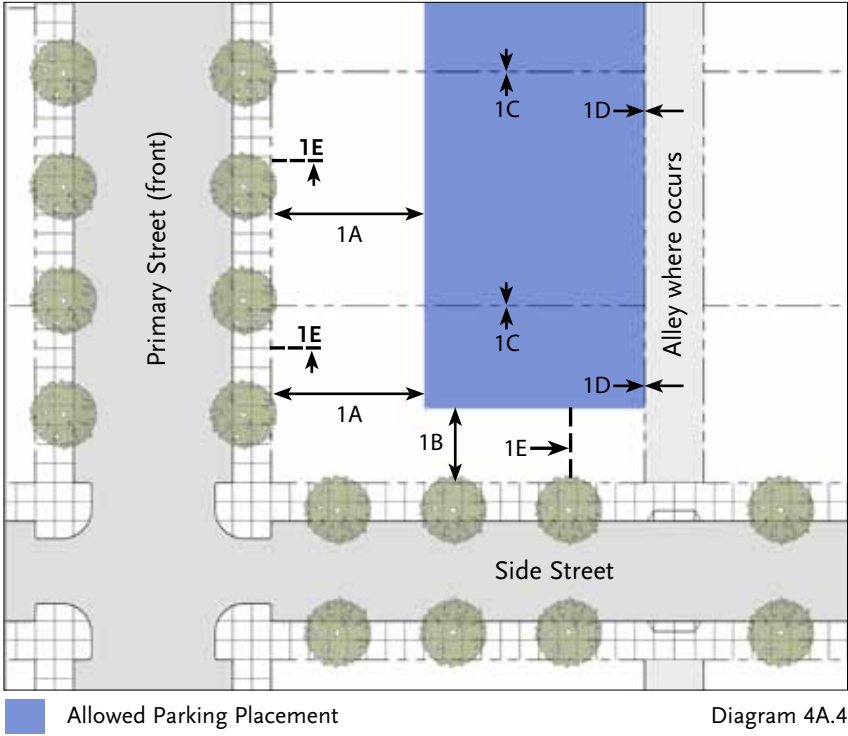


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Services: General	2/1000 [1]	n.a.
Transportation	1/1000 [1]	n.a.
Recreation, Education	2/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4L NEIGHBORHOOD EDGE (NE) STANDARDS

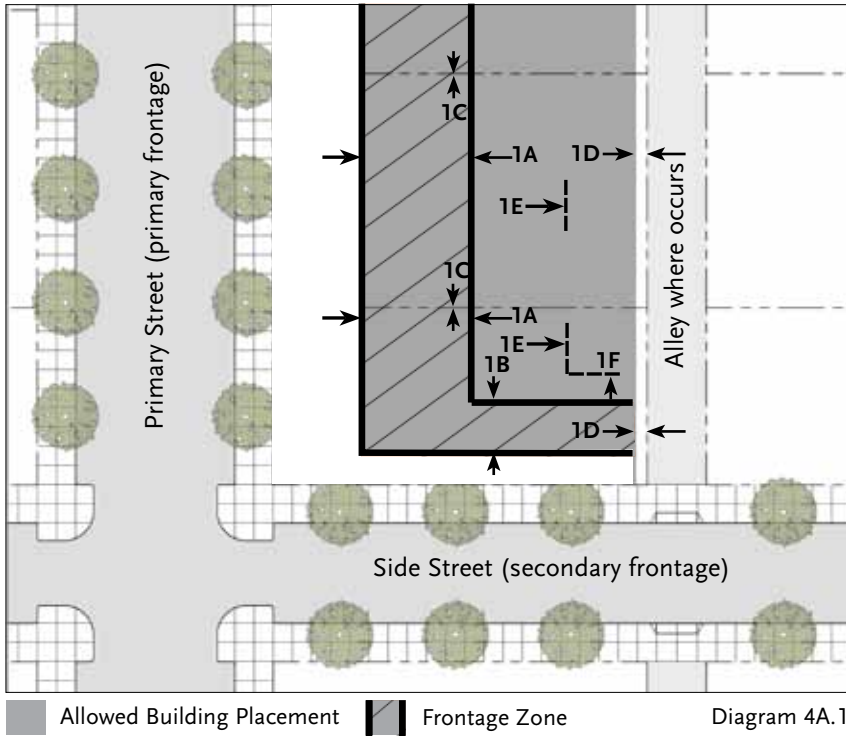
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	25	50	n.a.	n.a.
1B. Side (secondary) street	10	15	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	5	10
1D. Rear yard - no alley	n.a.	n.a.	25	no max
- with alley	n.a.	n.a.	25	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		25	no max	
1F. Side street		10	no max	
1C. Side yard		5	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Court	1	3125	2.5	14000	Table 5F
Single Dwelling	1	1875	2.5	8160	Table 5L
Carriage House	1	375	2.5	600	Table 5M

[1] Based on the allowed range of development potential for the NE zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Porch	25 - 100	no min	Table 6G
Front yard	25 - 100	no min	Table 6H
^b MIN req'd facade	60	50	

[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	9	no max	n.a.
1C. Building Height	0 ft: 1 story	32 ft: 2 stories	match historic along front 1/2
1D. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	1 - 2	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories		25 ft	
1G. Non-res'l > 5 stories		25 ft	
1H. Non-res'l < 4 stories		15 ft	

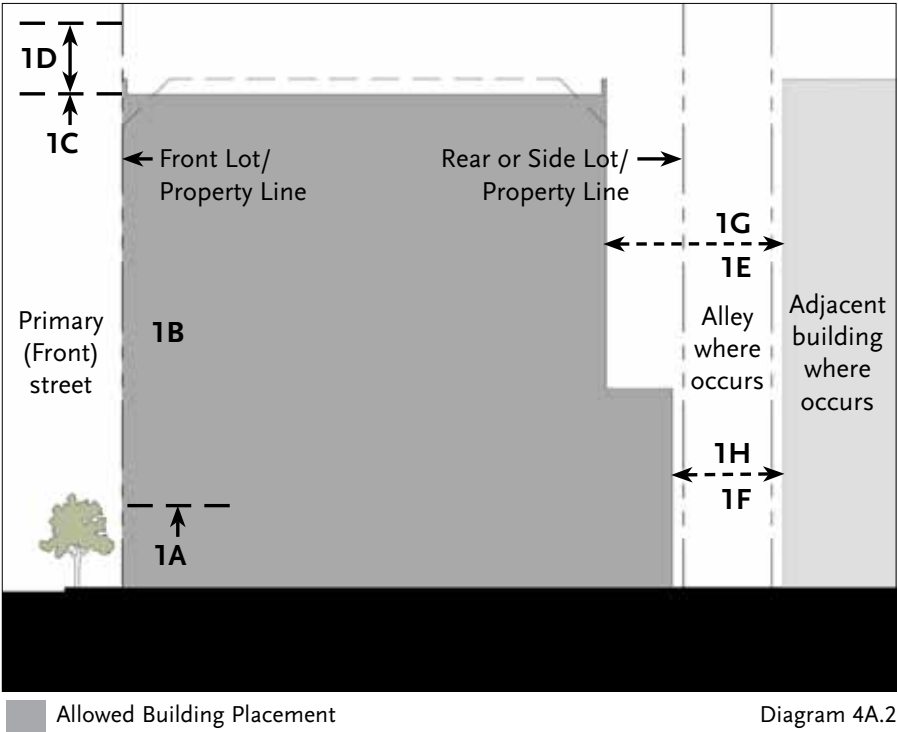


TABLE 4M SPECIAL DISTRICT GENERAL INDUSTRIAL 1 (SD G1) STANDARDS

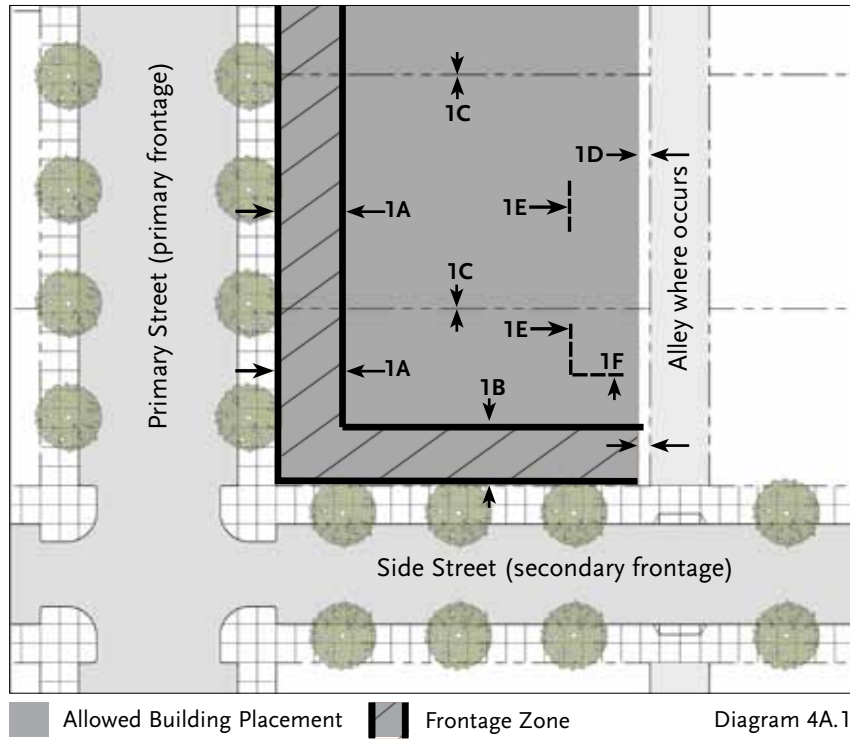
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	20	n.a.	n.a.
1B. Side (secondary) street	0	20	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	10
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		0 [1,2]	no max	
1F. Side street		0 [1,2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	1	5500	3	456000	Table 5B
Flex Shed	1	2563	2	98000	Table 5D
Live-Work	1	1388	3	53925	Table 5G

[1] Based on the allowed range of development potential for the SD G1 zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

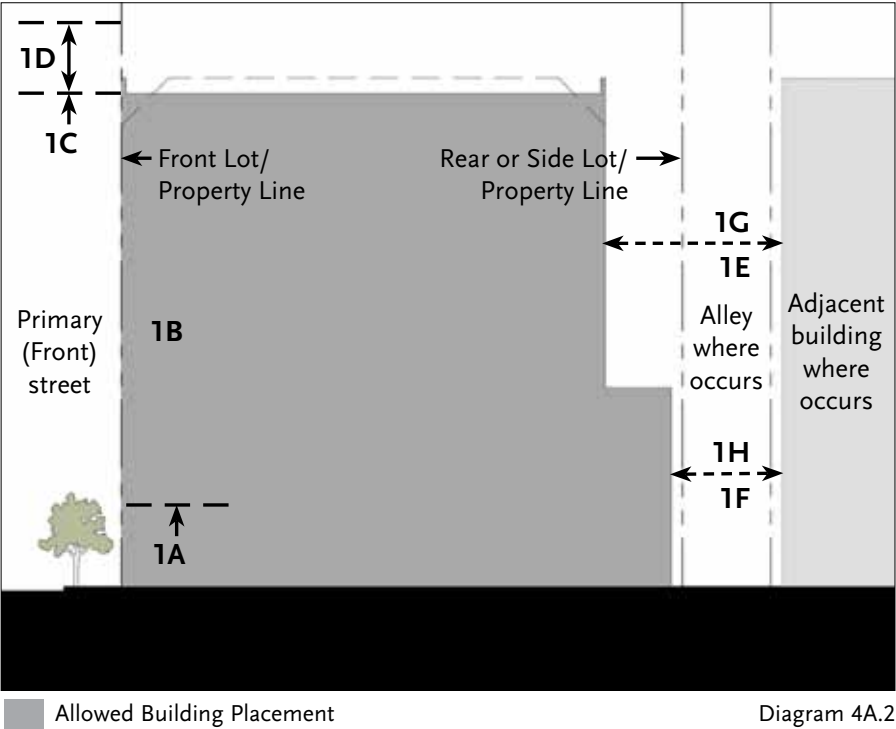
Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Gallery	25 - 100	no min	Table 6B
Shopfront	25 - 100	no min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Loading Dock	25 - 100	no min	Table 6E
Front yard	25 - 100	no min	Table 6H
^b MIN req'd facade	25	25	

[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
. Ground Floor Height	10	no max	match historic if greater
. Upper Floor Height	10 floor to floor	no max	n.a.
. Building Height	15 ft: 1 story	50 ft: 3 stories	match historic along front 1/2
. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
. Residential > 4 stories	2-3 and above	50 ft	match if exstg greater than reqmt
. Residential < 4 stories	1 - 2	25 ft	
. Non-res'l > 5 stories	2-3 and above	25 ft	
. Non-res'l < 4 stories	1 - 2	15 ft	



SPECIAL DISTRICT GENERAL INDUSTRIAL 1 (SD G1) STANDARDS, cont'd TABLE 4M

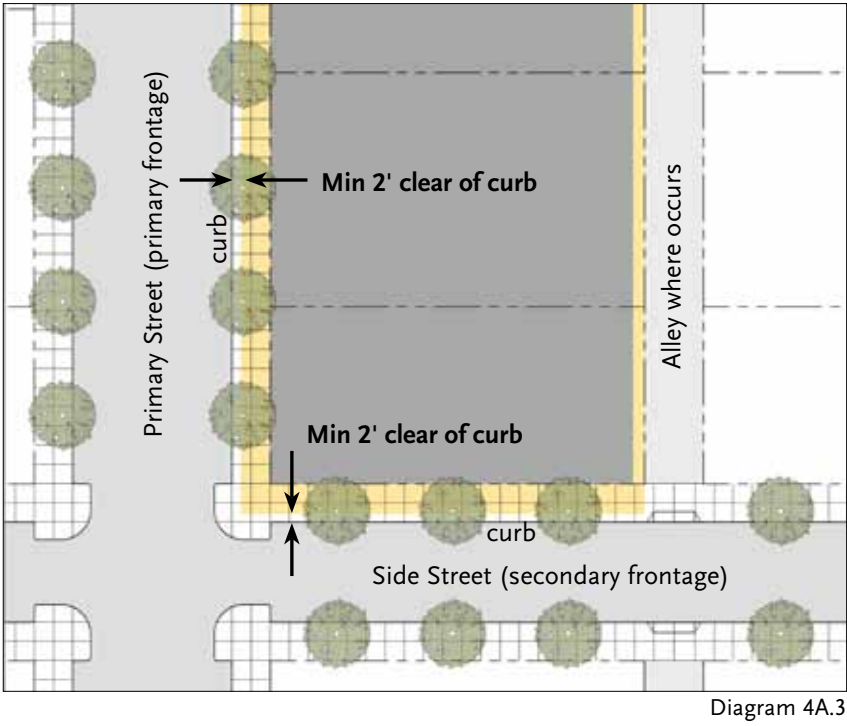
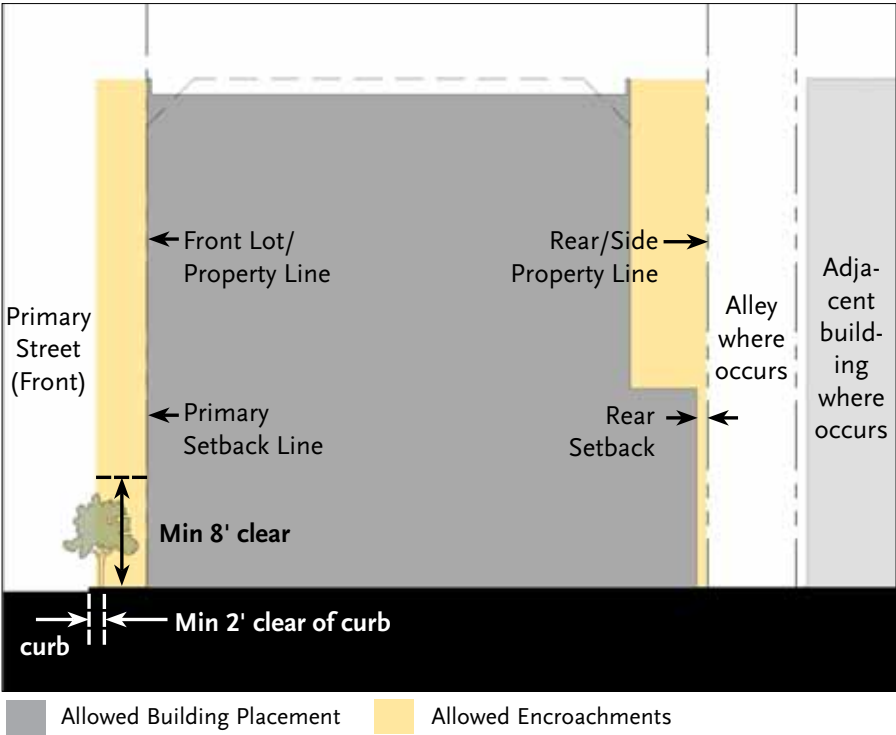
C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

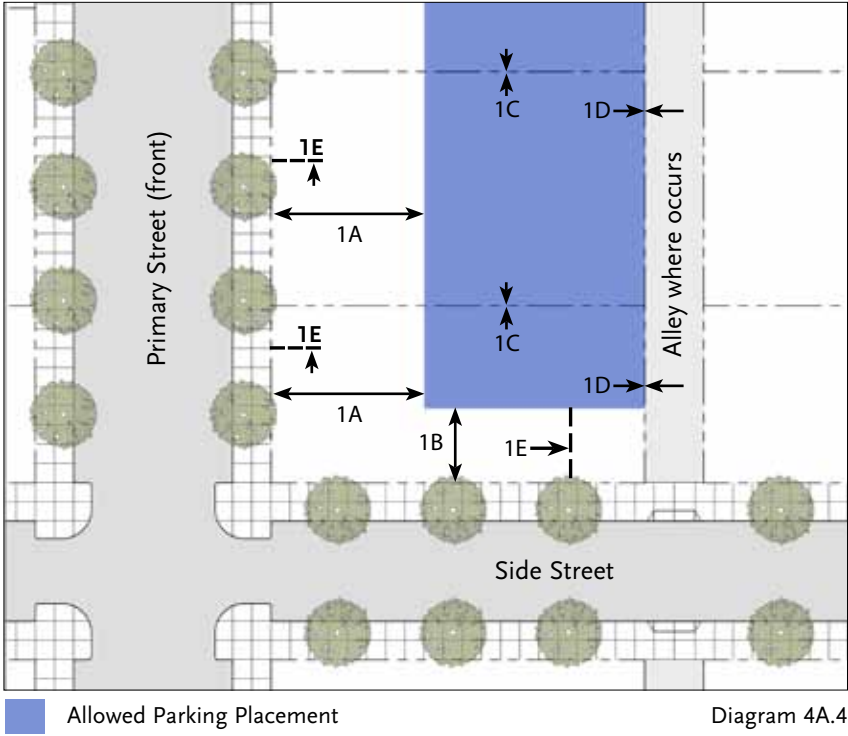


D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	At Grade	Subterranean
1A. Primary street	min 50 ft	0 ft
1B. Side street	min 50 ft	0 ft
1C. Side Yard	min 5 ft	0 ft
1D. Rear Yard - w/ alley	min 4 ft	0 ft
- no alley	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 50 ft from street corner Side Street: min 50 ft from street corner	



2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	3/1000 [1]	n.a.
Restaurant	2/1000 [1]	n.a.
Public Market	2/1000 [1]	n.a.
Services: General	2/1000 [1]	n.a.
Services: Personal	2/1000 [1]	n.a.
Services: Personal, Restricted	2/1000 [1]	n.a.
Services: Business	2/1000 [1]	n.a.
Transportation	1/1000 [1]	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	2/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4N SPECIAL DISTRICT GENERAL INDUSTRIAL 2 (SD G2) STANDARDS

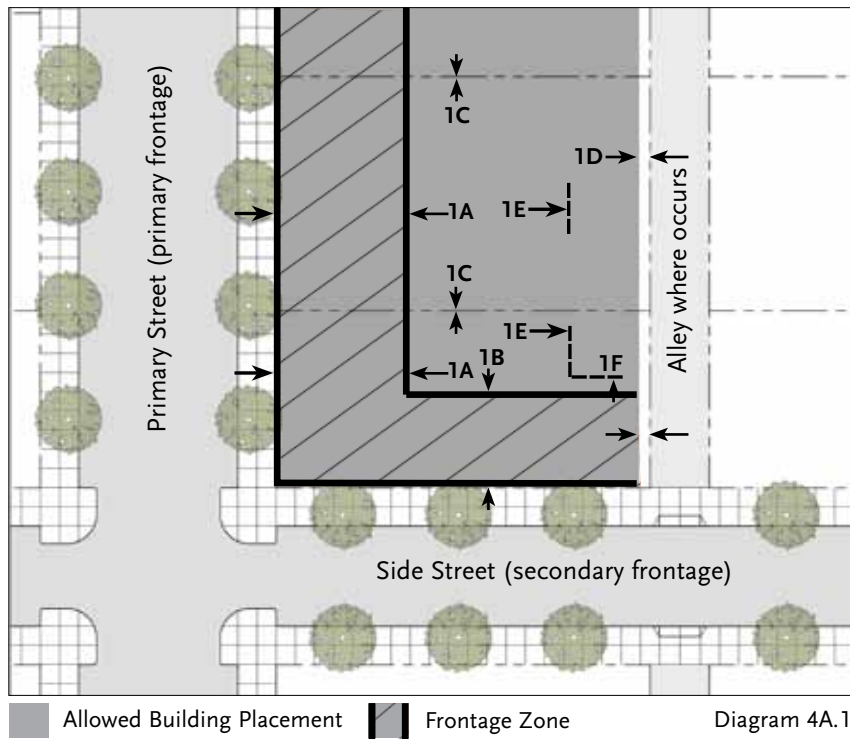
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	100	n.a.	n.a.
1B. Side (secondary) street	0	100	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	10
1D. Rear yard - no alley	n.a.	n.a.	15 [2]	no max
- with alley	n.a.	n.a.	5 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		0 [1,2]	no max	
1F. Side street		0 [1,2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

a. Main buildings shall be designed per the allowed building types identified below:

b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	1	5500	3	456000	Table 5B
Flex Shed	1	2563	2	98000	Table 5D

[1] Based on the allowed range of development potential for the SD G2 zone and Section 5.0

3. PROPERTY FRONTAGE

a. Main buildings and civic buildings shall incorporate only the frontage types identified below;

b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;

c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;

d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Gallery	25 - 100	no min	Table 6B
Shopfront	25 - 100	no min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Loading Dock	25 - 100	no min	Table 6E
Front yard	25 - 100	no min	Table 6H
^b MIN req'd facade	10	10	

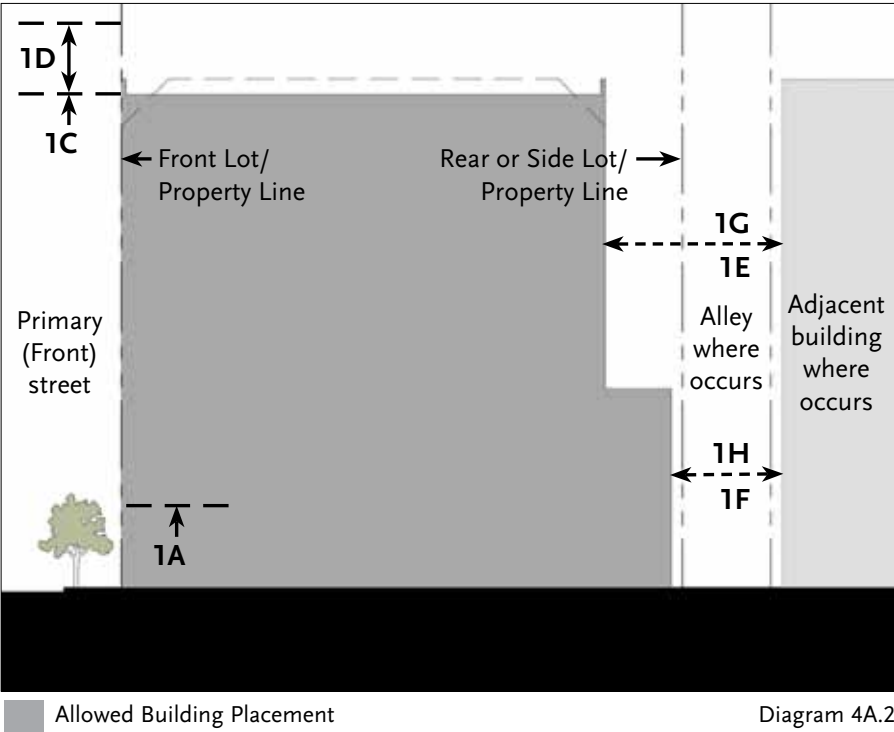
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10 floor to floor	no max	n.a.
1C. Building Height	15 ft: 1 story	50 ft: 3 stories	match historic along front 1/2
1D. Architectural Elements	no min	15 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	2-3 and above	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 2	25 ft	
1G. Non-res'l > 5 stories	2-3 and above	25 ft	
1H. Non-res'l < 4 stories	1 - 2	15 ft	



SPECIAL DISTRICT GENERAL INDUSTRIAL 2 (SD G2) STANDARDS, cont'd TABLE 4N

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

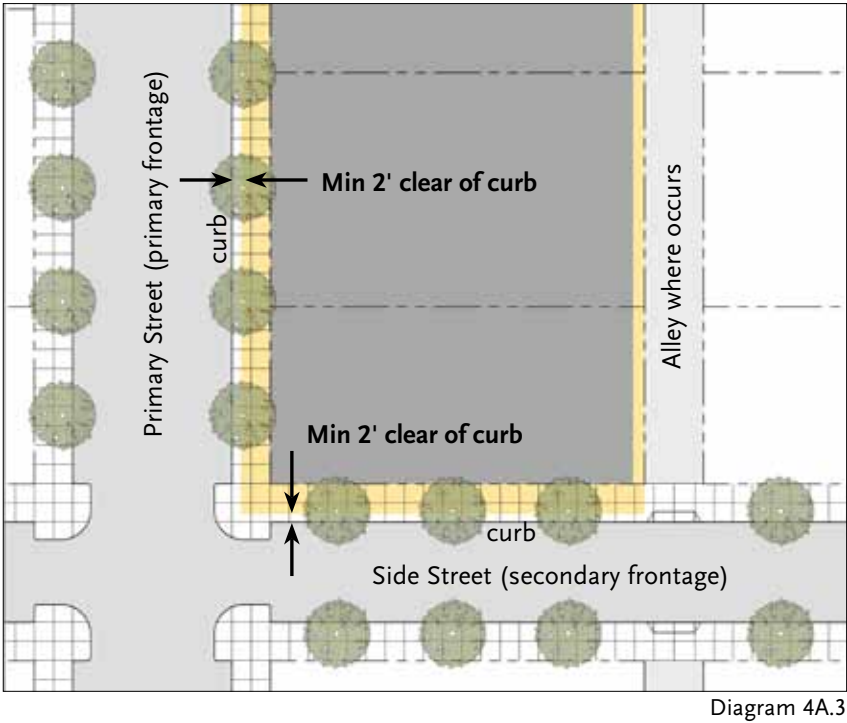
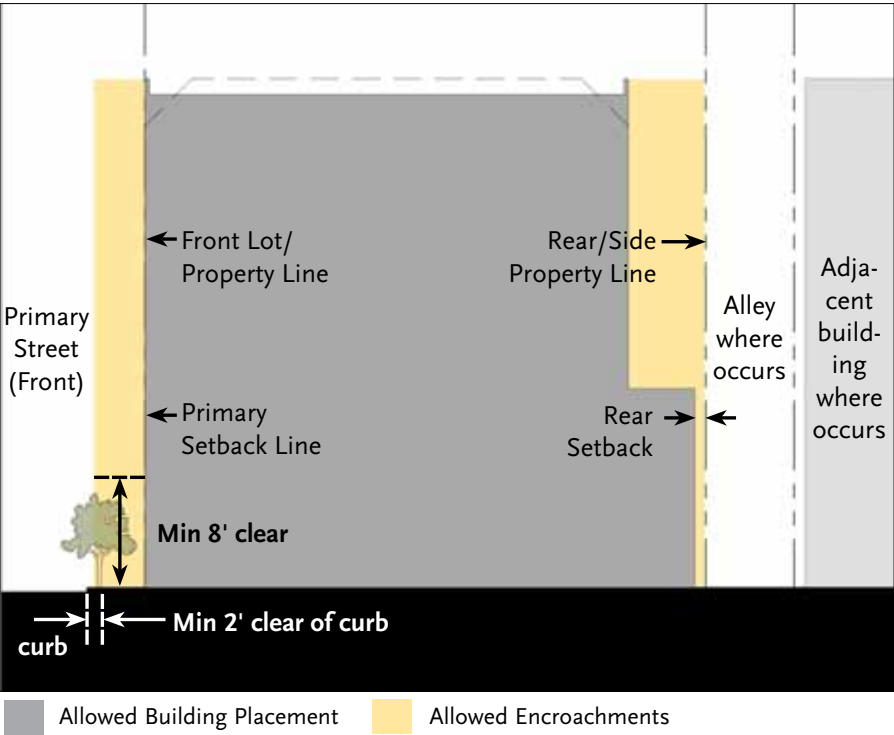


Diagram 4A.3

D. PARKING STANDARDS

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	At Grade	Subterranean
1A. Primary street	min 50 ft	0 ft
1B. Side street	min 50 ft	0 ft
1C. Side Yard	min 5 ft	0 ft
1D. Rear Yard - w/ alley	min 4 ft	0 ft
- no alley	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 50 ft from street corner Side Street: min 50 ft from street corner	

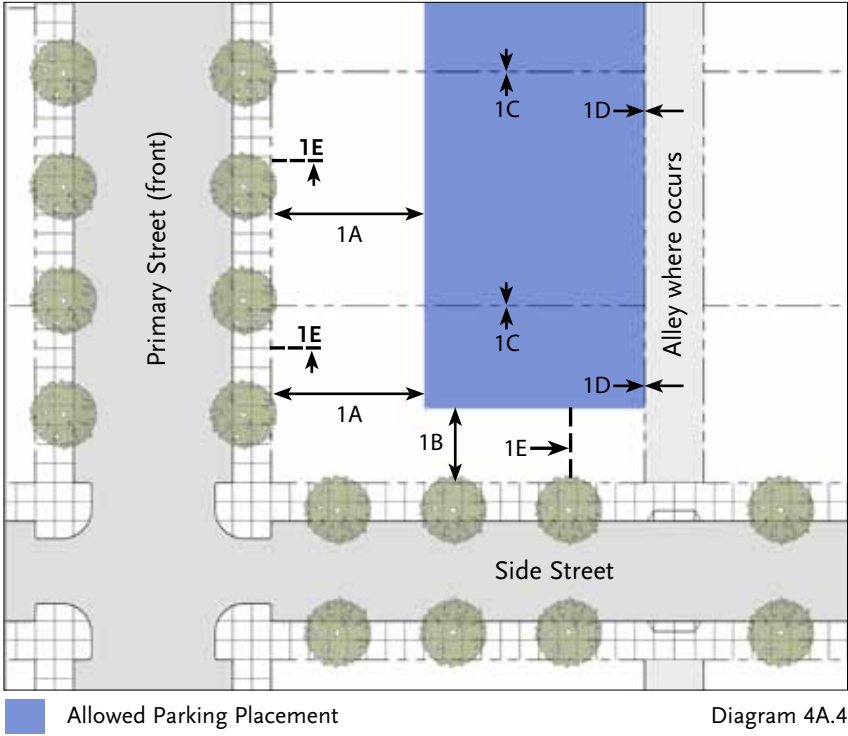


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	3/1000 [1]	n.a.
Restaurant	2/1000 [1]	n.a.
Public Market	2/1000 [1]	n.a.
Services: General	2/1000 [1]	n.a.
Services: Personal	2/1000 [1]	n.a.
Services: Personal, Restricted	2/1000 [1]	n.a.
Services: Business	2/1000 [1]	n.a.
Transportation	1/1000 [1]	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	2/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4O SPECIAL DISTRICT CHANDLER AIRPORT (SD A1) STANDARDS

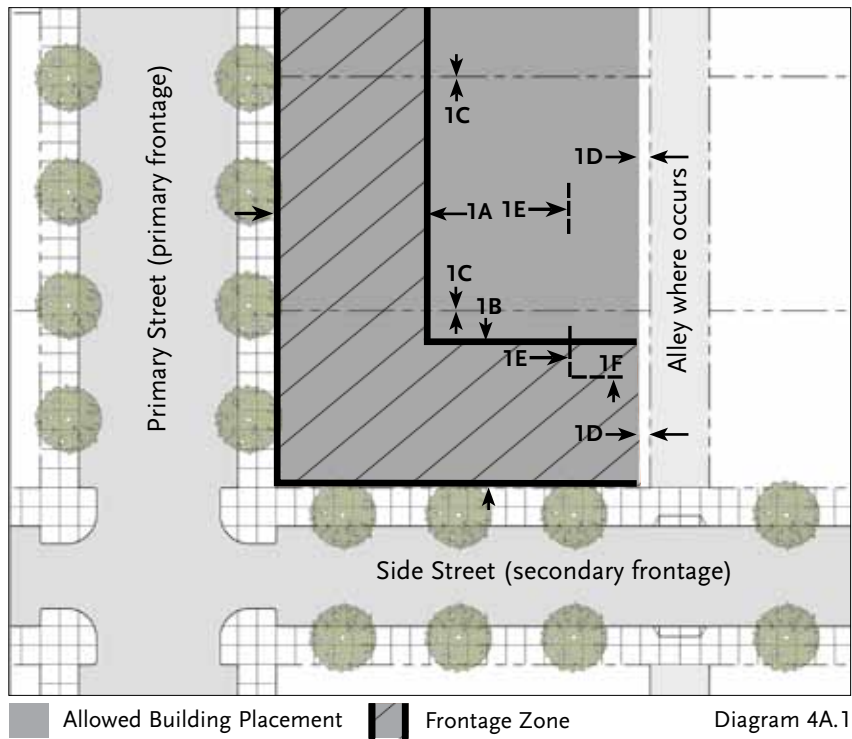
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. [1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	50	n.a.	n.a.
1B. Side (secondary) street	0	50	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	0 [2]	no max
1D. Rear yard - no alley	n.a.	n.a.	10 [2]	no max
- with alley	n.a.	n.a.	10 [2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street		0 [1,2]	no max	
1F. Side street		0 [1,2]	no max	
1C. Side yard		0 [2]	no max	
1D. Rear yard - no alley		5 [2]	no max	
- with alley		5 [2]	no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft [1]	Max Size, Stories	Equivalent Sq. Ft [1]	Refer to DTC Section
Flex Building	1	4950	3	456000	Table 5B
Flex Shed	1	2013	2	98000	Table 5D
Live-Work	1	1088	2.5	44938	Table 5G

[1] Based on the allowed range of development potential for the SD A1 zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types [1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Gallery	25 - 100	no min	Table 6B
Shopfront	25 - 100	no min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Loading Dock	25 - 100	no min	Table 6E
Front yard	25 - 100	no min	Table 6H
^b MIN req'd facade	50	25	

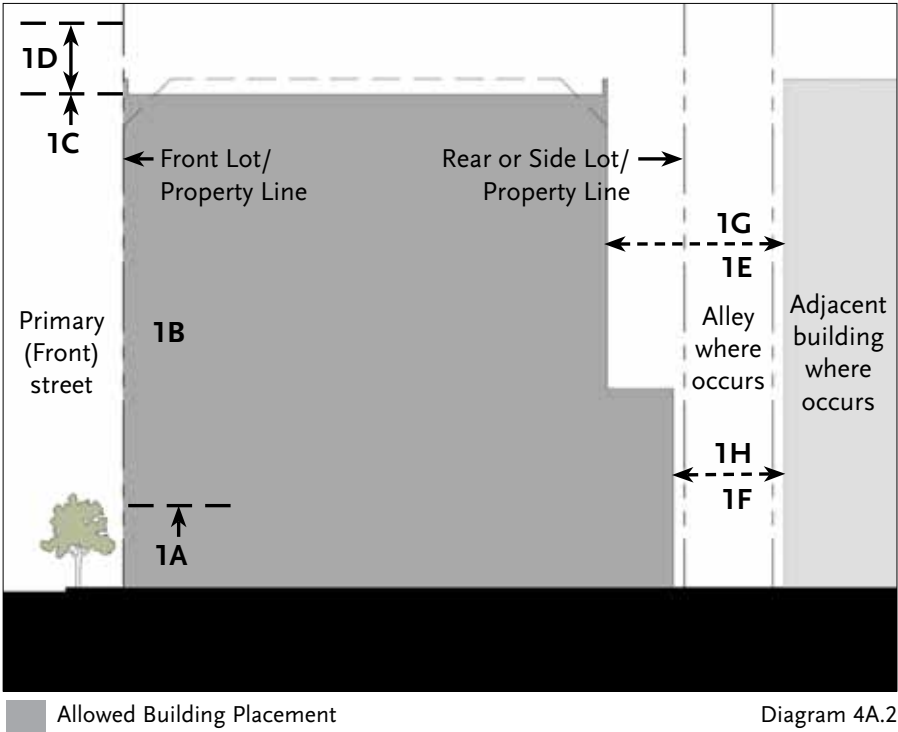
[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.

B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the FMC 12-307 and the following req's.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10 floor to floor	no max	n.a.
1C. Building Height	15 ft: 1 story	65 ft: 3 stories	match historic along front 1/2
1D. Architectural Elements	no min	25 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	2-3	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1	25 ft	
1G. Non-res'l > 5 stories	2-3	25 ft	
1H. Non-res'l < 4 stories	1	15 ft	



SPECIAL DISTRICT CHANDLER AIRPORT (SD A1) STANDARDS, cont'd TABLE 40

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

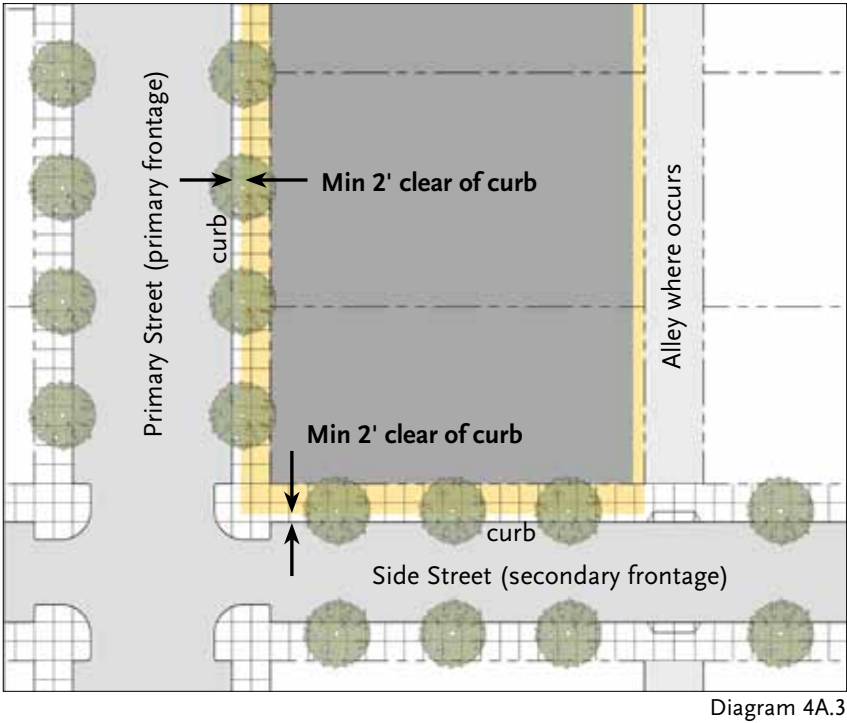
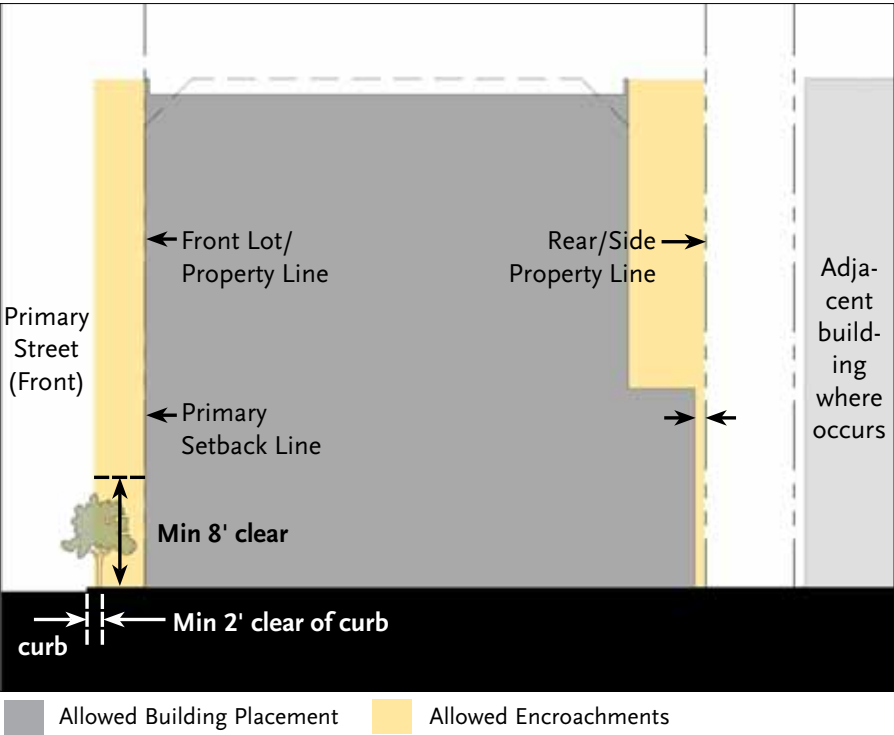


Diagram 4A.3

D. PARKING STANDARDS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	At Grade	Subterranean
1A. Primary street	min 50 ft	0 ft
1B. Side street	min 50 ft	0 ft
1C. Side Yard	min 5 ft	0 ft
1D. Rear Yard - w/ alley	min 4 ft	0 ft
- no alley	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 50 ft from street corner Side Street: min 50 ft from street corner	

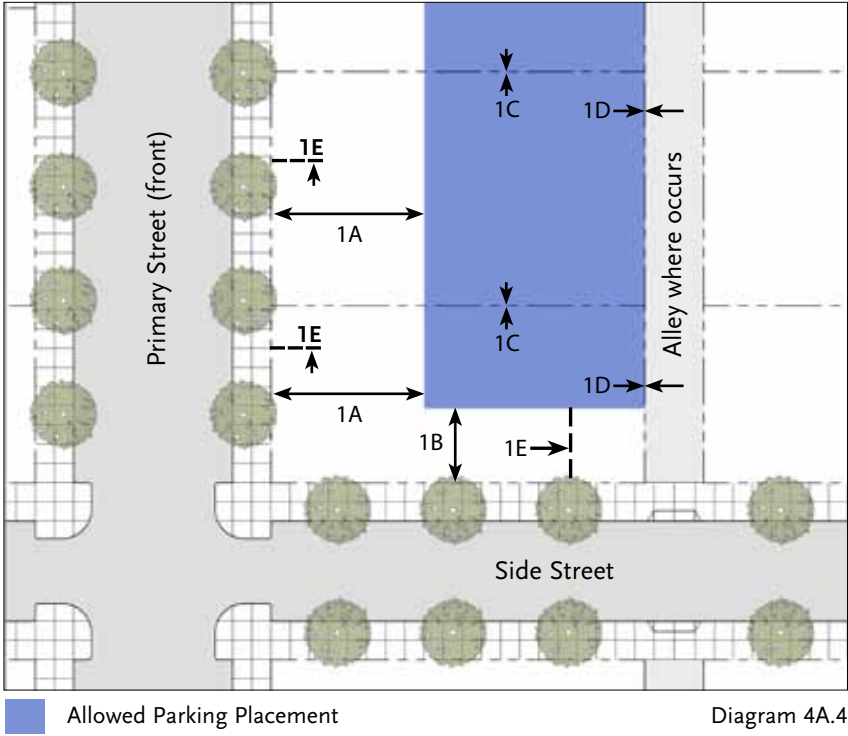


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
b. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	3/1000 [1]	n.a.
Restaurant	2/1000 [1]	n.a.
Public Market	2/1000 [1]	n.a.
Services: General	2/1000 [1]	n.a.
Services: Personal	2/1000 [1]	n.a.
Services: Personal, Restricted	2/1000 [1]	n.a.
Services: Business	2/1000 [1]	n.a.
Transportation	1/1000 [1]	n.a.
Industry, Manufacturing	1/1000 [1]	n.a.
Motor Vehicle-related	1/1000 [1]	n.a.
Recreation, Education	2/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

TABLE 4P SPECIAL DISTRICT CHANDLER HOSPITAL (SD H1) STANDARDS

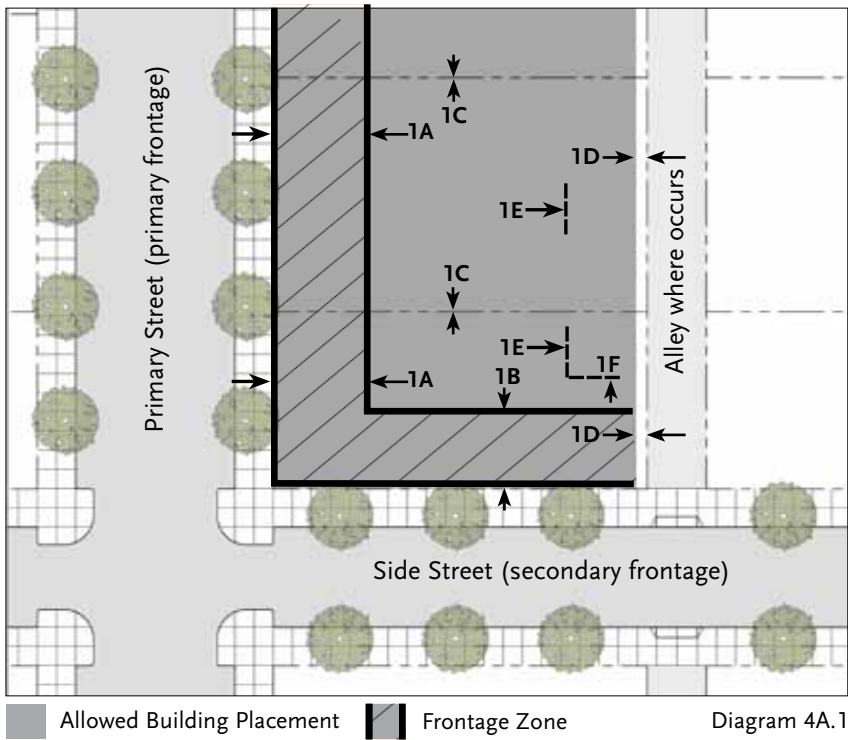
A.BUILDING STANDARDS

1. BUILDING PLACEMENT

a. Buildings shall be located on the lot in compliance with the following requirements and as illustrated in diagram 4A.1 Encroachments into setbacks shall comply with section C.

Main Building Requirements	Frontage Zone: Building facade from P.L. ^[1]		Building Setback from P.L.	
	Min (ft)	Max (ft)	Min (ft)	Max (ft)
1A. Primary street	0	20	n.a.	n.a.
1B. Side (secondary) street	0	15	n.a.	n.a.
1C. Side yard (interior)	n.a.	n.a.	10 ^[2]	no max
1D. Rear yard - no alley	n.a.	n.a.	15 ^[2]	no max
- with alley	n.a.	n.a.	10 ^[2]	no max
Accessory Structure Requirements		Min (ft)	Max (ft)	
1E. Primary street	0 ^[1,2]		no max	
1F. Side street	0 ^[1,2]		no max	
1C. Side yard	0 ^[2]		no max	
1D. Rear yard - no alley	5 ^[2]		no max	
- with alley	5 ^[2]		no max	

[1] These portions of the building are subject to frontage requirements. See section A.3
[2] In compliance with all applicable California Building Code and Fire Code requirements



B.ADJACENCY AND HEIGHT STANDARDS

1. BUILDING ADJACENCY AND HEIGHT

a. Buildings shall comply with the following requirements.

Description	Height in Feet (in compliance with A.2)		
	Min	Max	Historic Bldgs
1A. Ground Floor Height	10	no max	match historic if greater
1B. Upper Floor Height	10 floor to floor	no max	n.a.
1C. Building Height	15 ft: 1 story	110 ft: 10 stories	match historic along front 1/2
1D. Architectural Elements	no min	20 ft	
Adjacency Requirements			
Existing adjacent building(s)	New Building / Building to be Modified		Historic Bldgs
	Stories	Min ft from adjacent bldg	
1E. Residential > 4 stories	5 and above	50 ft	match if exstg greater than reqmt
1F. Residential < 4 stories	1 - 4	25 ft	
1G. Non-res'l > 5 stories	6 and above	25 ft	
1H. Non-res'l < 4 stories	1 - 5	15 ft	

2. BUILDING TYPES

- a. Main buildings shall be designed per the allowed building types identified below:
- b. Property located within the Civic Building/Open Space Overlay in Figure 2 is not required to use the following building types provided that the building is used for civic purposes and complies with all other applicable requirements;

Allowed Building Types	Min Size, Stories	Equivalent Sq. Ft ^[1]	Max Size, Stories	Equivalent Sq. Ft ^[1]	Refer to DTC Section
Flex Building	1	4500	10	285000	Table 5B
Lined Building	1	8625	2	25200	Table 5C
Flex Shed	1	188	2	30100	Table 5D
Hybrid Court	2	6656	2.5	80665	Table 5E
Court	1	6656	5	62466	Table 5F
Live-Work	1	788	3	36900	Table 5G
Rowhouse	1	1703	3	38663	Table 5H
Bungalow Court	1	4245	2.5	30875	Table 5I
Rosewalk	1	5875	2.5	16438	Table 5J
Duplex, Triplex, Quadplex	1	1625	2.5	17160	Table 5K
Single Dwelling	1	460	2.5	14000	Table 5L
Carriage House	1	375	2.5	600	Table 5M

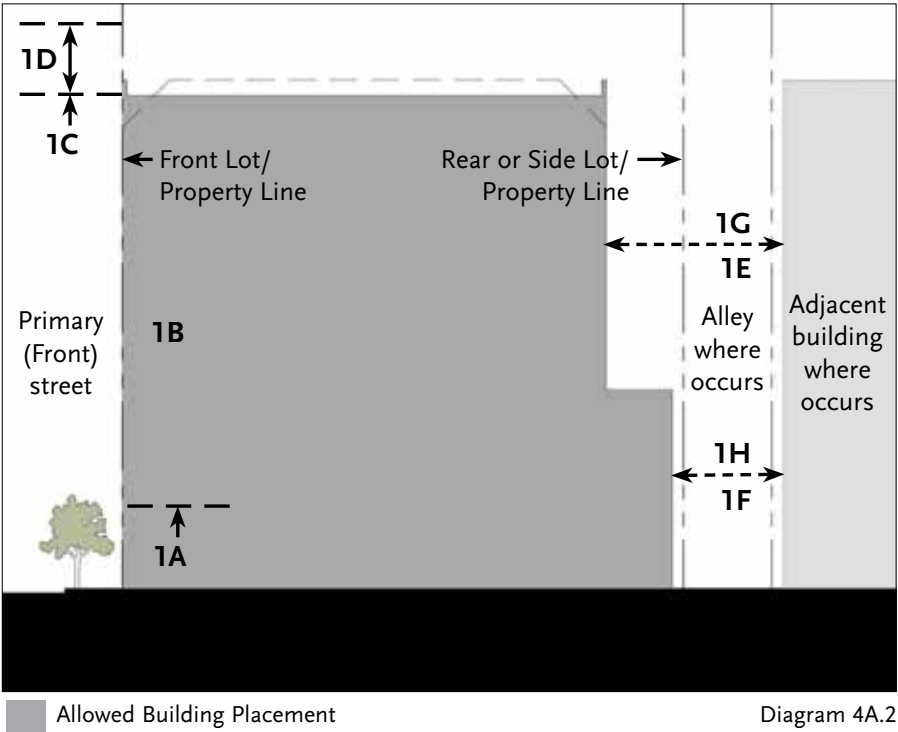
[1] Based on the allowed range of development potential for the SD H1 zone and Section 5.0

3. PROPERTY FRONTAGE

- a. Main buildings and civic buildings shall incorporate only the frontage types identified below;
- b. Main Building Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- c. Accessory Structure Facade. Whether one or multiple frontage types are used on a facade, the minimum percentage of the facade that must utilize the frontage type(s) shall comply with the minimum total identified below;
- d. Property located within the Shopfront Overlay in Figure 2 shall use the Shopfront frontage type as required below:

Allowed Frontage Types ^[1]	% of frontage		Refer to DTC Section for requirements
	primary	secondary	
Arcade	25 - 100	no min	Table 6A
Gallery	25 - 100	no min	Table 6B
Shopfront	25 - 100	no min	Table 6C
Forecourt	25 - 50	no min	Table 6D
Loading Dock	25 - 50	no min	Table 6E
Front yard	25 - 100	no min	Table 6H
^b MIN req'd facade	90	50	

[1] Frontage types may be combined on a building in compliance with the above requirements and the requirements of each type.



SPECIAL DISTRICT CHANDLER HOSPITAL (SD H1) STANDARDS, cont'd TABLE 4P

C. ENCROACHMENT STANDARDS

1. INTO REQUIRED SETBACKS, R.O.W.

- a. Buildings, architectural features and signage may encroach into required setbacks and rights-of-way per the following requirements and as identified in diagram 4A.3:

Description	Horizontal Encroachment into Setback/Yard [1]				Vertical Encroachment Distance
	Front	Side street	Rear Yard	Side Yard	
Arcade, Gallery, Awning	min 2 ft clear of curb		min 5 ft from PL	not allowed	min 8 ft clear
Balcony	4 ft max			min 5 ft from PL	min 8 ft clear
Bay window	ground floor: not allowed upper floors: 4 ft max				min 8 ft clear
Eave	min 2 ft clear of curb		min 3 ft from PL	min 3 ft from PL	min 8 ft clear
Signage	See Section 7.0 for requirements				

[1] In compliance with all applicable California Building Code and Fire Code requirements

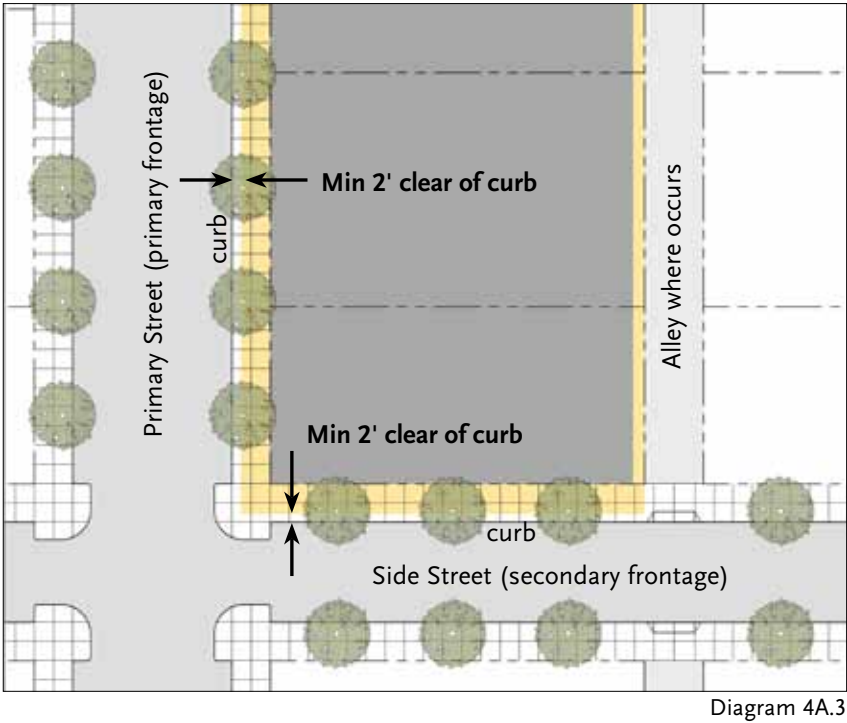
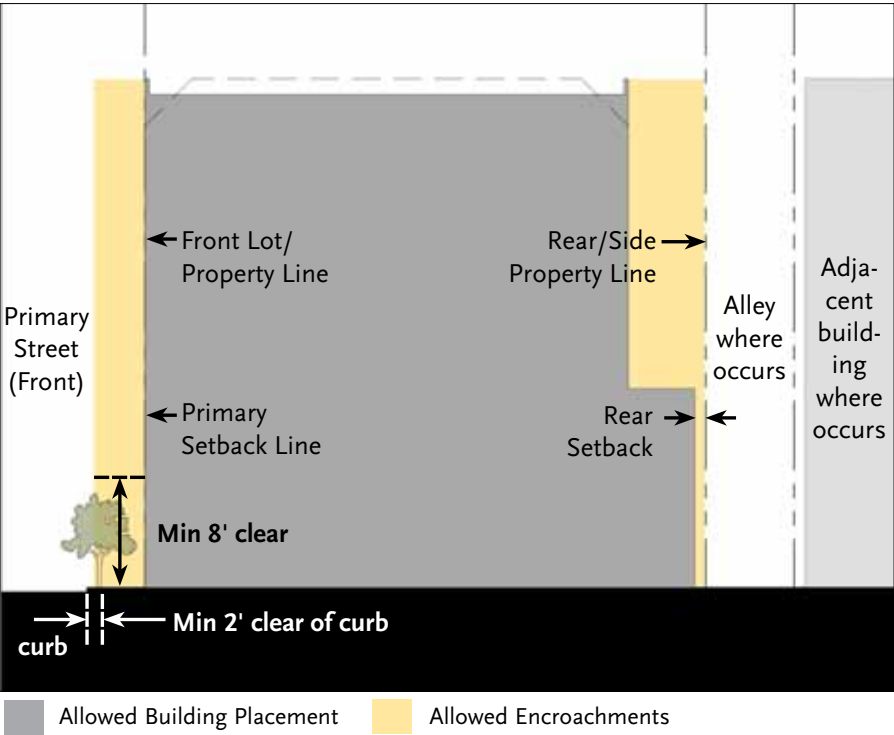


Diagram 4A.3

1. PARKING PLACEMENT AND ACCESS

- a. On-site parking and access shall be located in compliance with the following requirements and per diagram 4A.4.

Setback	Above Grade	At Grade	Subterranean
1A. Primary street	min 20 ft	min 20 ft	0 ft
1B. Side street	min 5 ft	min 5 ft	0 ft
1C. Side Yard	0 ft	min 5 ft	0 ft
1D. Rear Yard - w/ alley	0 ft	min 4 ft	0 ft
- no alley	0 ft	min 5 ft	0 ft
1E. Driveway access	Primary Street: min 150 ft from street corner Side Street: min 50 ft from street corner		

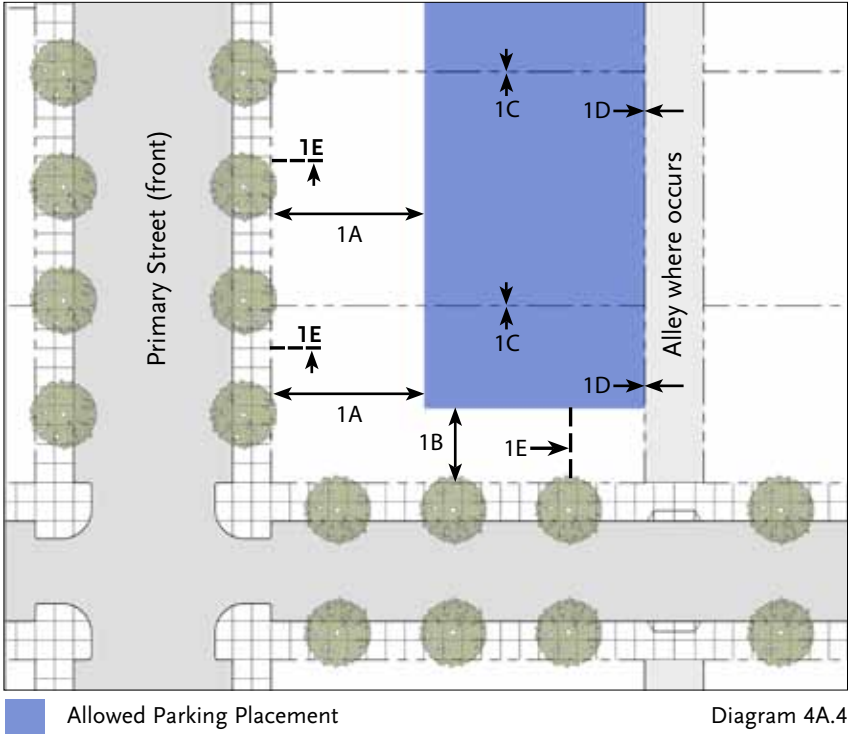


Diagram 4A.4

2. REQUIRED PARKING

- a. All buildings shall comply with the following requirements:
- b. No additional parking is required for the additional story allowed on sites within the Important Intersection/Site Overlay;
- c. Main buildings shall provide parking as identified below:

Required Parking Spaces per Category in Table 3		
	Min	Max
Retail	2/1000 [1]	n.a.
Restaurant	2/1000 [1]	n.a.
Services: General	2/1000 [1]	n.a.
Services: Personal	1/1000 [1]	n.a.
Services: Personal, Restricted	1/1000 [1]	n.a.
Services: Business	1/1000 [1]	n.a.
Transportation	1/1000 [1]	n.a.
Recreation, Education	1/1000 [1]	n.a.
Residential: Lodging	.25/unit	no max
Residential: Live-Work	1/unit	no max
Residential: 2BR or more	1 unit	no max
Residential: 1BR or less	no min	no max

[1] may utilize shared parking lot or garage when land use is within 1,500 feet of shared parking

5.0 BUILDING STANDARDS

5.1. BUILDING STANDARDS

A. Purpose. This Section provides design standards for individual buildings to ensure that proposed development is consistent with the City's goals for building form, physical character, land use, and quality.

B. Applicability. Each building shall be designed in compliance with the applicable general requirements in Section 5.2 and all applicable requirements of the California Building and Fire Codes as amended and adopted by the City. (See Chap. 10, Art. 5 and Chap. 11, Art. 1)

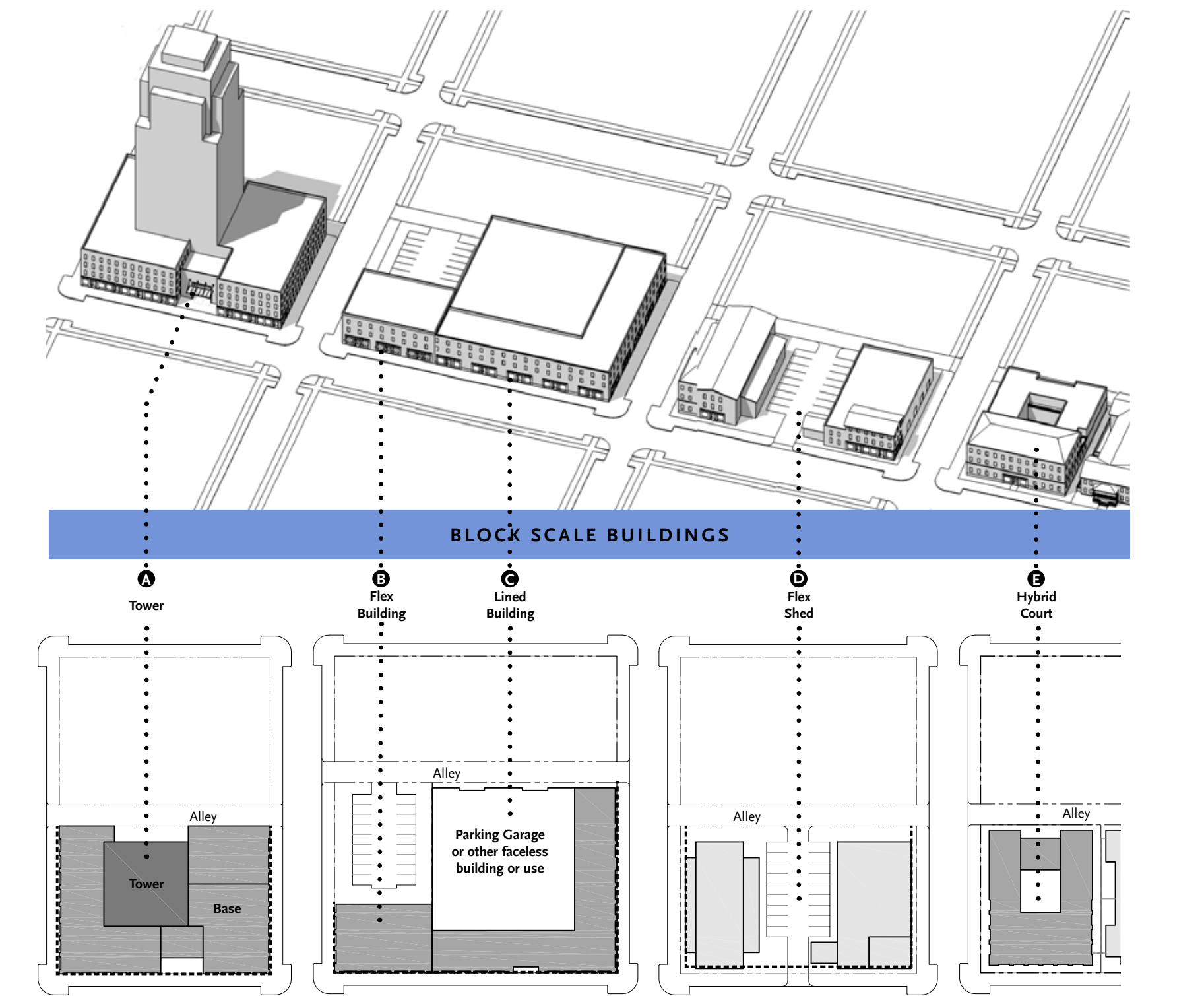
Proposed buildings within the Downtown Code boundaries shall comply with the applicable requirements of the zoning district and overlay identified for the property in Figure 2.

C. Allowed Building Types by Zoning District. Each proposed building or existing building modification shall be designed as one of the building types allowed for the zoning district applicable to the site as identified in Table 5.

D. Design Objectives.

- 1. Support the intended physical environment;
- 2. Generate no more than one main building per individual building site;
- 3. Generate buildings that front the adjacent street or streets;
- 4. Comply with the applicable requirements of the Downtown Code.

DIAGRAM 5A: ALLOWABLE BUILDING TYPES Note: Diagram 5A illustrates the range of allowed building types. See Table 5 for individual requirements.



ALLOWED BUILDING TYPES

TABLE 5

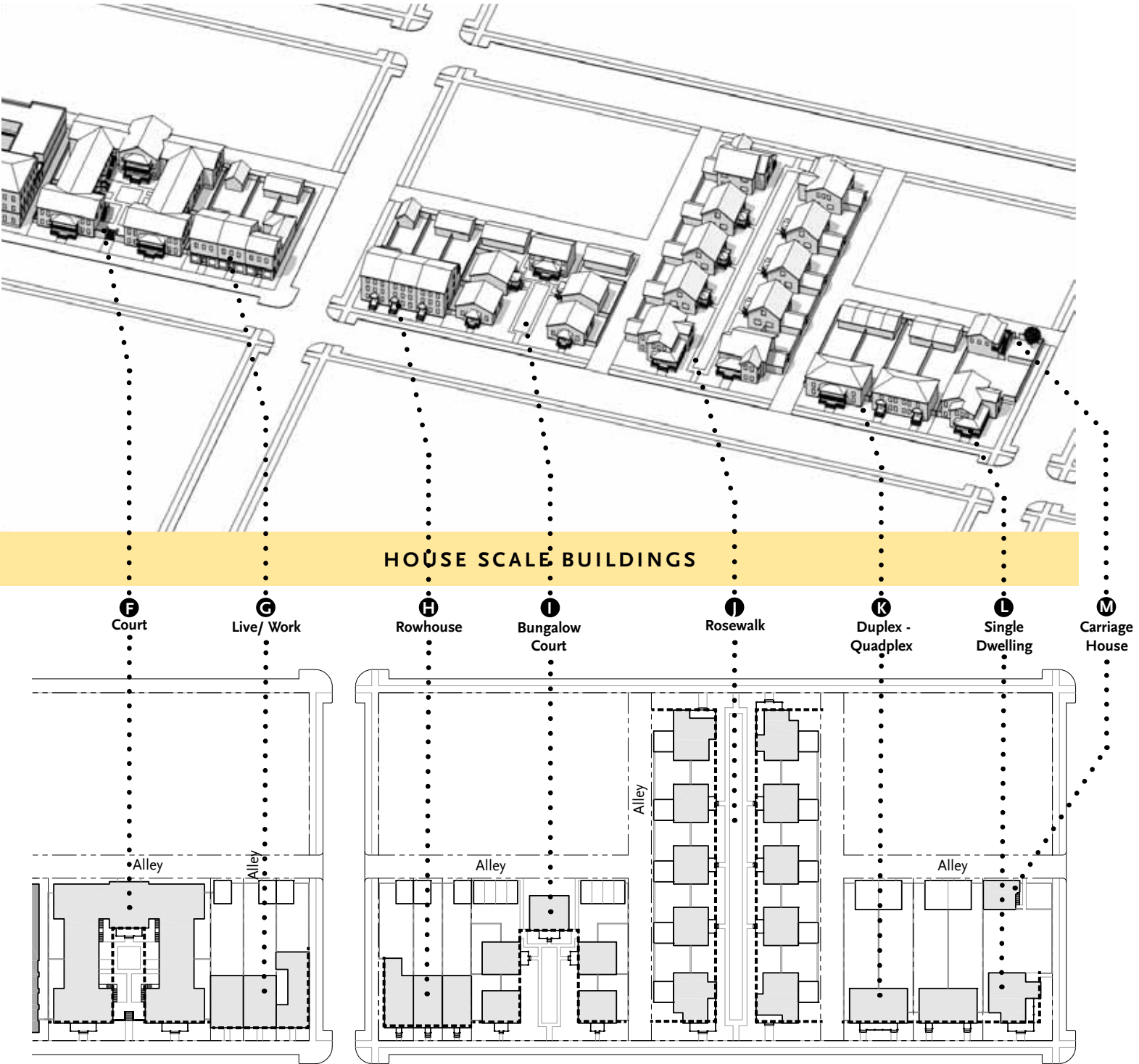
Building Type	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
A. Tower	See Table 5A	See Table 5A	See Table 5A	X	X	X	X	X	X	X	X	X	X	X	X	X
B. Flex Building	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	See Table 5B	X	X	X	X	See Table 5B	See Table 5B	See Table 5B	See Table 5B
C. Lined Building	See Table 5C	See Table 5C	See Table 5C	See Table 5C	See Table 5C	See Table 5C	See Table 5C	X	X	X	X	X	X	X	X	X
D. Flex Shed	X	X	X	See Table 5D	See Table 5D	X	X	See Table 5D	X	X	X	X	See Table 5D	See Table 5D	See Table 5D	See Table 5D
E. Hybrid Court	X	X	See Table 5E	See Table 5E	See Table 5E	See Table 5E	X	See Table 5E	X	X	See Table 5E	X	X	X	See Table 5E	See Table 5E
F. Court	X	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	See Table 5F	X	See Table 5F	See Table 5F	X	X	X	See Table 5F
G. Live/Work	See Table 5G	See Table 5G	X	See Table 5G	See Table 5G	See Table 5G	See Table 5G	See Table 5G	See Table 5G	X	X	X	See Table 5G	X	See Table 5G	See Table 5G
H. Rowhouse	X	See Table 5H	X	See Table 5H	X	X	X	See Table 5H	See Table 5H	X	X	X	X	X	X	See Table 5H
I. Bungalow Court	X	X	X	X	X	X	X	X	See Table 5I	See Table 5I	See Table 5I	X	X	X	X	See Table 5I
J. Rosewalk	X	X	X	X	X	X	X	X	See Table 5J	See Table 5J	See Table 5J	X	X	X	X	See Table 5J
K. Duplex - Quadplex	X	X	X	X	X	X	X	See Table 5K	See Table 5K	See Table 5K	See Table 5K	X	X	X	X	See Table 5K
L. Single Dwelling	X	X	X	X	X	X	X	X	See Table 5L	See Table 5L	See Table 5L	See Table 5L	X	X	X	See Table 5L
M. Carriage House	X	X	X	X	X	X	X	X	See Table 5M	See Table 5M	See Table 5M	See Table 5M	X	X	X	See Table 5M

KEY TO TABLE 5

- X

Building Type not allowed in Zoning District
- See Table 5D

Building Type allowed in Zoning District. See reference for requirements.



5.0 BUILDING STANDARDS

5.2 GENERAL REQUIREMENTS FOR BUILDINGS

The following requirements apply to all buildings subject to the Downtown Code. Standards listed under each building type supplement or supersede those identified in this Section.

A. Building Site Standards.

All buildings shall be designed per the applicable building site width and depth standards to ensure that new buildings and the areas between them are built to the scale and character of surrounding buildings as follows:

- 1. A site may consist of more than one building site in compliance with the applicable building site standards for the building type(s).
- 2. All new or modified building sites shall front a street or open space (public or private) that is in compliance with the standards in Section 1 for the applicable building type.
- 3. A building site shall not contain more than one main building and may contain accessory buildings as allowed by Section 5.0. Each building site is not required to be a legally recorded parcel and may be conceptual or strictly for the purpose of accommodating the corresponding building.
- 4. Projects that are proposed on a site larger than one building and its corresponding lot shall be required to prepare a site plan that shows the distribution of building sites and buildings on the property per the requirements of Section 5.0. The property owner may cause the conceptual lot lines to become permanent, legal lot lines through the tract or parcel map process as applicable.

B. Building Size and Massing Standards.

All buildings shall be designed per the applicable building size and massing standards identified in Subsection 2 for the applicable building type.

- 1. As allowed by Section 1.4B9, the Planning Director may adjust the applicable building size standard by up to the amount specified in Table 1B subject to the required findings.
- 2. Each building may be designed for as many dwellings and/or non-residential square footage as desired while complying with all applicable requirements of the Downtown Code.

C. Pedestrian Access Standards.

- 1. Pedestrian access to main buildings must be provided directly through an allowed frontage type and/or open space from the primary or side street.

D. Permitted Density Standards.

- 1. External stairs are allowed only for the following building types and subject to the requirements of the type: Carriage House, Single Dwelling, Duplex, Rosewalk, Bungalow Court, Court, and Hybrid Court. External stairs may encroach into setback areas.

E. Parking and Service Access Standards.

- 1. For lots with alley access, parking and service areas shall be accessed through the alley.
- 2. For interior lots without alley access, parking and service areas shall be accessed from the front.

- 3. For corner lots without alley access, parking and service areas shall be accessed from the side street as closed to the rear property line as possible. In the case that the side street is the larger street (e.g., carries more traffic) parking and service areas shall be accessed from the smaller street (e.g., the street that carries less traffic).
- 4. Entrances to parking lots, garages, subterranean garages and/or driveways shall be located per the zoning district requirements in Section 4.0 'Development Standards', as close as possible to the side/rear of each lot so as not to interfere with or detract from the facades along the front and side frontages.
- 5. Services (utility access, above-ground equipment, and trash enclosures) shall be accessed through the alley when an alley is present. When an alley is not present, services shall be located in sideyards or in the rear of the lot and shall be screened from view of the street.

F. Parking Location Standards.

- 1. On-site parking shall be located per the applicable requirements of the zoning district.
- 2. On-site parking may be shared as allowed in the zoning district.

G. Service Location Standards.

- 1. Rooftop equipment shall be incorporated into the design of the roof and/or screened by a parapet that is architecturally integral to the building.
- 2. Utility access, above-ground equipment and trash enclosures shall be located in side yards or at the rear of the property when accessible by an alley.

H. Open Space and Landscape Standards.

- 1. Each building shall comply with the applicable requirements in Subsection 7 for the applicable building type.
- 2. All required yards shall be landscaped, properly maintained, and be provided with automatic irrigation systems.
- 3. Open spaces located over garages shall provide design elements such as seating areas, fountains, outdoor fireplaces, gardens, and/or rooftop bars to accommodate their use as outdoor rooms.
- 4. All trees in tree wells shall be provided with automatic irrigation systems.

I. Storage Standards.

- 1. Buildings with 3 or more dwellings shall provide enclosed storage area of at least 50 square feet per dwelling. The storage area may be within the dwelling or within the parking area provided that the storage area does not interfere with required access or a required yard.

J. Frontage Standards.

All lot lines bordering a street (public or private) or public open space are subject to frontage standards in Section 6.0 as follows:

- 1. Entrance doors, and public rooms such as living rooms and dining rooms shall be oriented toward the street and/or on-site open space.

5.0 BUILDING STANDARDS

- 2. Service rooms shall be oriented away from the street and on-site open space.
- 3. Building facades shall be designed in compliance with the requirements for front and side street facades in Section A.3 of the applicable zoning district development standards.

K. Sustainable Stormwater Standards

- 1. Each building shall comply with the applicable City requirements.
- 2. Stormwater shall be collected and reused to the extent possible, as determined by the Planning Director or designee through any of the following as applicable to the site and its context:
 - i. Rain gardens
 - ii. Pervious paving systems
 - iii. Flow-through or infiltration planters
 - iv. Hollywood driveways
 - v. Disconnected downspouts
 - vi. Rain barrels
 - vii. Cisterns

5.3 REQUIRED FINDINGS

The City shall approve applications involving Section 5.0 only if it is found that:

- 1. The application is in conformance with Table 5 and the applicable requirements for the zoning district(s) identified in Figure 2.
- 2. The application meets the minimum requirements for building placement and building size, as allowed to be adjusted by 1.4B.9;
- 3. The proposed design / modification does not disrupt or detract from the general pattern of conforming buildings on the same block face and of the block face across the street;
- 4. The proposed design / modification does not cause vehicular access conflicts with adjacent property; and
- 5. The proposed design / modification does not create an incompatible situation such as overlooking of a rear yard.

TABLE 5A TOWER (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Tower standards shall comply with all applicable requirements of Table 5A for the identified zoning district.

B. Description and Intent: A building organized around a central core. The first four floors of this building type are expressed as a base that defines the streetscape. This allows for pedestrian-scale mid-rise buildings to define the street frontage with tall, thin towers or slabs extending higher, ensuring that the massing of tall buildings is in the spirit of Downtown's historic towers, as well as diminishing shadows on the street and on adjacent properties.

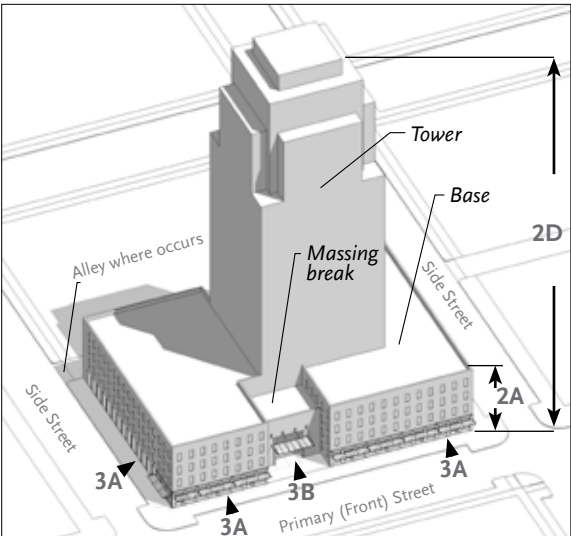
C. Lot and Building Requirements: Each Tower building shall comply with the requirements of Table 5A.

D. Lot and Building Configuration: Each Tower building may be designed and configured on its site in any manner consistent with the requirements of Table 5A. Examples of configurations are shown in Diagram 5A.

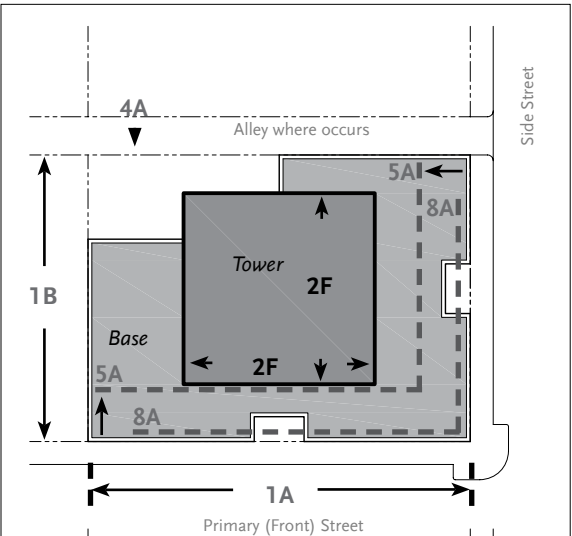
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	400 max			NOT ALLOWED												
B. Depth (ft)	150 max															
2. Building Size and Massing																
A. Base Height (stories)	2 - 4	4 max	4 max	NOT APPLICABLE												
B. Base Length (ft)	400 max, but if over 200 feet, must provide 30 ft x 30 ft massing break															
C. Base Width (ft)	150 max															
D. Tower Height (stories)	15 max	10 max	10 max													
E. Tower Length (ft)	200 max															
F. Tower Width (ft)	120 max															
3. Pedestrian Access																
A. Ground Floor	direct access from sidewalk			NOT APPLICABLE												
B. Upper Floors	direct access from street level lobby															
4. Parking and Service Access																
A. Lot with alley	from alley			NOT APPLICABLE												
B. Lot with-out alley	via driveway located as close to side yard property line as possible															
C. Corner lot without alley	from side street via driveway located as close to side yard property line as possible															
5. Parking Location																
A. Required parking	subterranean, ground and second floor: min 30 ft from primary property line			NOT APPLICABLE												
	upper floors: allowed to all setbacks															
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley			NOT APPLICABLE												
B. Lot with-out alley	as close to side yard and/or rear yard property line as possible															
7. Open Space and Landscape (required for residential uses only)																
A. Balcony	50 sq ft min in lieu of or in addition to shared open space			NOT APPLICABLE												
B. Shared	3,500 sf min. if balconies not provided; may be provided on roof															
8. Frontage																
A. Base	90% min. along primary street, side street, and open space frontages per allowed frontage types per Section 6.0			NOT APPLICABLE												
B. Tower	along a public street or open space: per Section 10.0 General Standards															

TOWER TABLE 5A

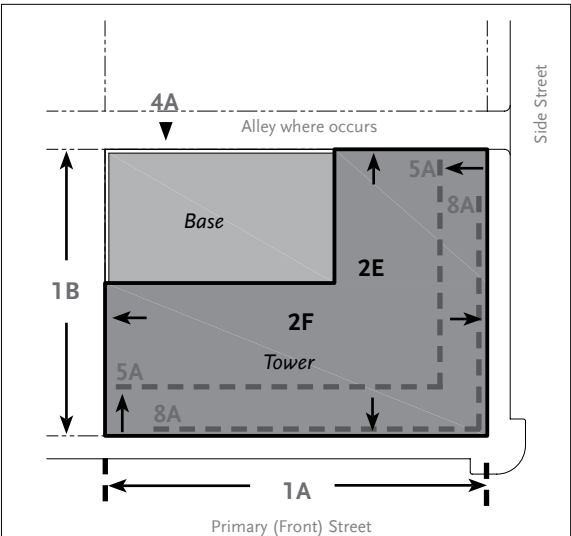
DIAGRAM 5A



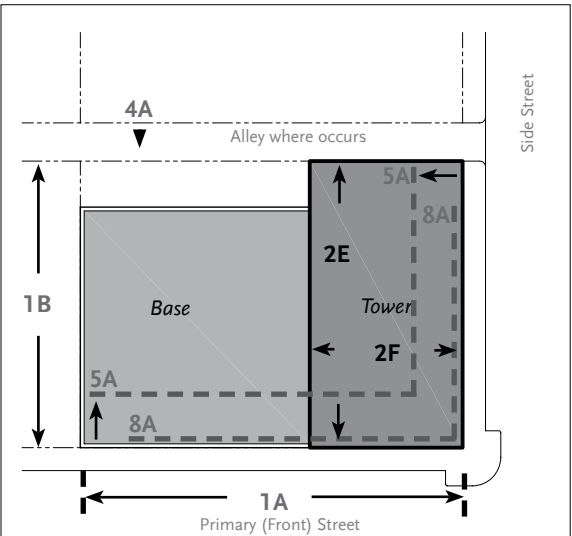
Illustrative Massing Diagram



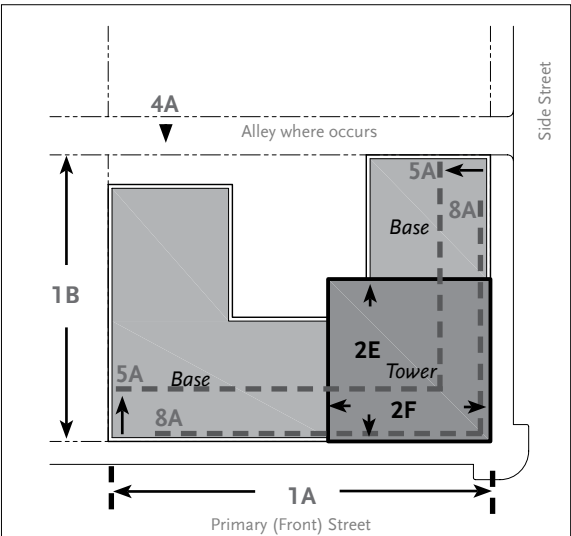
A central tower sits on a base



An L-shaped tower sits towards the front of the site



A linear tower sits towards the front of the site



A narrow tower site at the corner of the site



Lofts above ground floor retail create a pedestrian-scaled podium base for the tower



Towers sit on podiums set back from the street in order to reduce the presence of buildings at the street and allow sunlight to reach the public realm



The corner tower with shopfront wings as the base create a prominent street presence

TABLE 5B FLEX BUILDING (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Flex-Building standards shall comply with all applicable requirements of Table 5B for the identified zoning district.

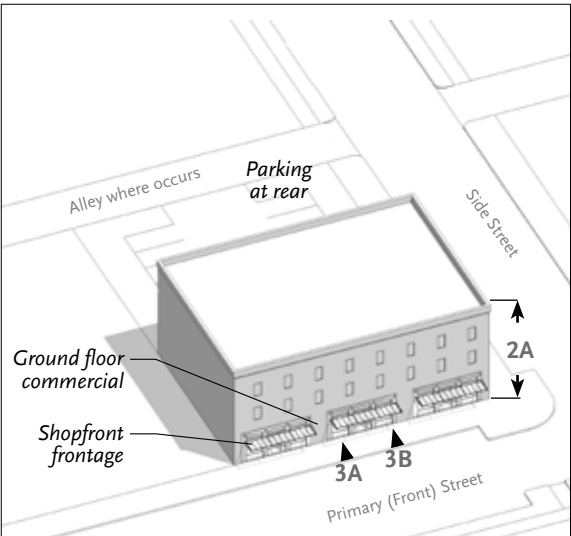
B. Description and Intent: A building type designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. Second floor units may be directly accessed from the street through a stair; upper floors are accessed through a street level lobby.
- C. Lot and Building Requirements:** Each Lined Flex-building shall comply with the requirements of Table 5B.

D. Lot and Building Configuration: Each Lined Flex-building may be designed and configured on its site in any manner consistent with the requirements of Table 5B. Examples of configurations are shown in Diagram 5B.

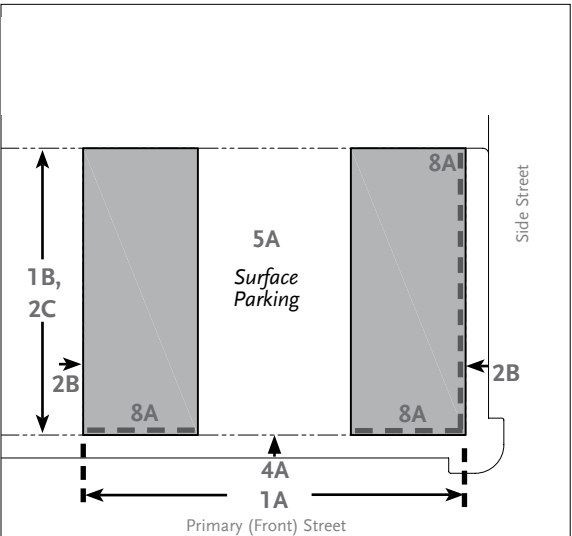
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	400 max			200 max			100 max	200 max	NOT APPLICABLE				no max	no max	no max	200 max
B. Depth (ft)	150 max												no max	no max	no max	150 max
2. Building Size and Massing																
A. Height (stories)	2-5	5 max		3 max	5 max	5 max	3 max	3 max	NOT APPLICABLE				3 max	3 max	3 max	3 max
B. Length along front (ft)	400 max, but if over 200 feet, must provide 30 ft x 30 ft massing break			200 max			100 max	200 max					no max	no max	no max	200 max
C. Length along side yard (ft)	150 max			150 max			125 max	125 max					no max	no max	no max	125 max
3. Pedestrian Access																
A. Ground Floor	direct access from sidewalk								NOT APPLICABLE				direct access from sidewalk, anywhere on site		direct access from sidewalk	
B. Upper Floors	direct access from street level lobby														direct access from street level lobby	
4. Parking and Service Access																
A. Lot with alley	from alley								NOT APPLICABLE				from alley			
B. Lot without alley	via driveway located as close to side yard property line as possible												via driveway located as close to side yard property line as possible			
C. Corner lot without alley	from side street via driveway located as close to side yard property line as possible															
5. Parking Location																
A. At Grade	rear, tuck under per Section 4.0 Development Standards							side, rear, tuck under	NOT APPLICABLE				front, side, rear, tuck under		rear, tuck under	
B. Upper Flrs	allowed						not allowed	allowed					allowed, per Section 10.0 General Standards		not allowed	
C. Roof	allowed, per Section 10.0															
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley								NOT APPLICABLE				adjacent to alley			
B. Lot without alley	as close to side yard and/or rear yard property line as possible												not required		as close to side yard and/or rear yard property line as possible	
7. Open Space and Landscape (required for residential uses only)																
A. Balcony	50 sq ft min in lieu of or in addition to shared open space								NOT APPLICABLE				not required			
B. Shared	1,600 sf min. if balconies not provided; may be provided on roof															
8. Frontage																
A. Ground Floor	along a public street or open space: per allowed frontage types: per Section 6.0								NOT APPLICABLE							
B. Upper Floors	along a public street or open space: per Section 10.0 General Standards															

FLEX BUILDING TABLE 5C

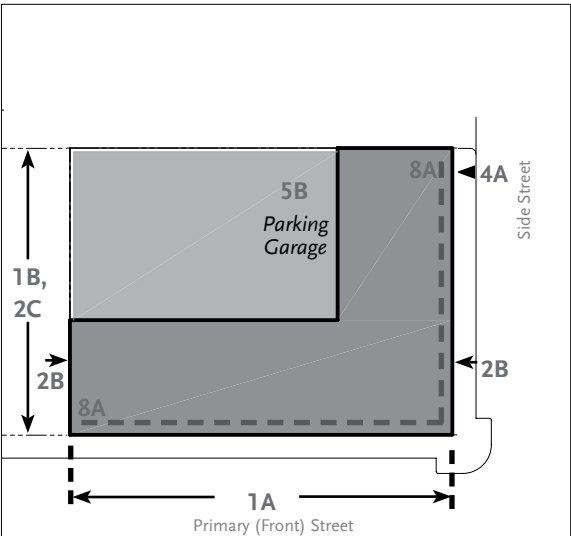
DIAGRAM 5B



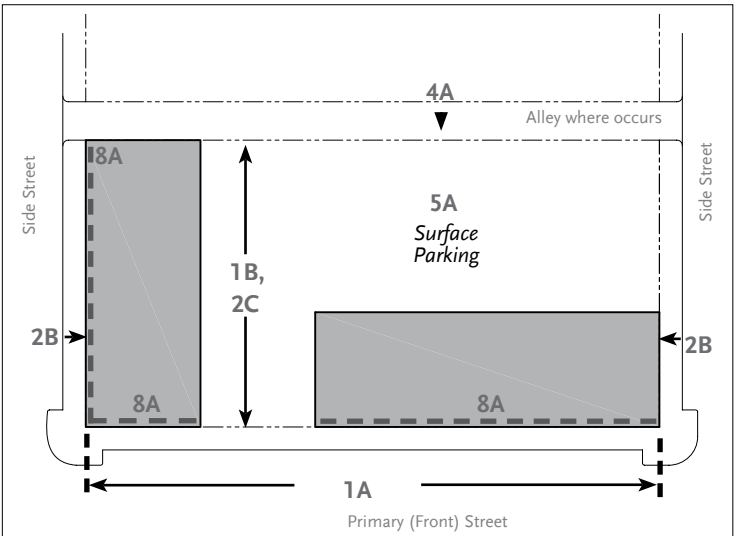
Illustrative Massing Diagram



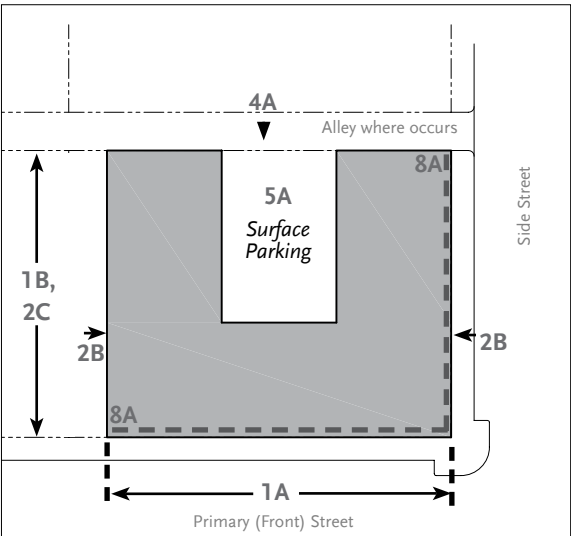
Two buildings with surface parking located between them.



An L-shaped massing with subterranean parking accessed from side



Two buildings front the street while providing surface parking



A U-shaped massing with subterranean parking accessed from alley



Lofts with balconies sit atop a grocery store



Parking is accessed through the building and placed at the rear



Stacked dwelling units with balconies and large fenestrations sit atop the ground floor retail

TABLE 5C LINED BUILDING (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Lined Building standards shall comply with all applicable requirements of Table 5C for the identified zoning district.

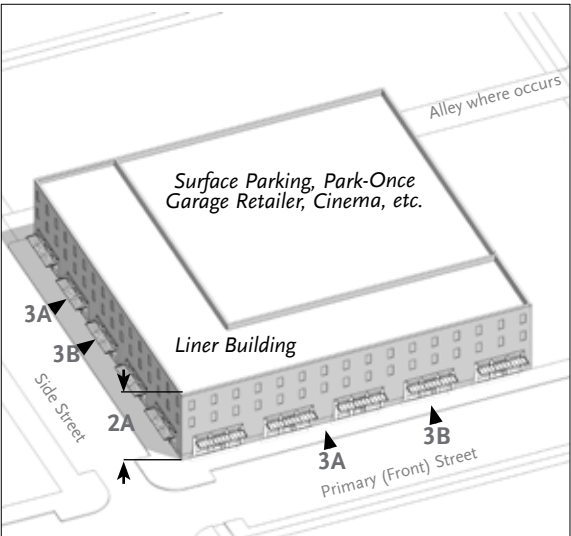
B. Description and Intent: A building that conceals a public (Park-Once) garage or other large scale faceless building, (such as a movie theater, or "big box" store) designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. The access corridor, if applicable, is included in the minimum depth.
- C. Lot and Building Requirements:** Each Lined Building shall comply with the requirements of Table 5C.

D. Lot and Building Configuration: Each Lined Building may be designed and configured on its site in any manner consistent with the requirements of Table 5C. Examples of configurations are shown in Diagram 5C.

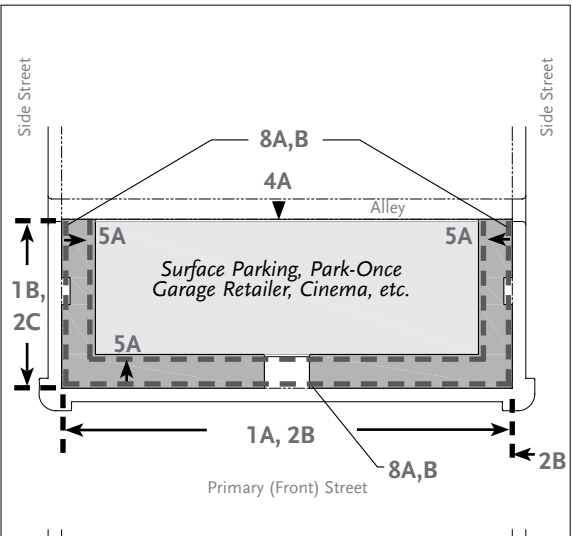
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	400 max			200 max			100 max	NOT APPLICABLE								
B. Depth (ft)	150 max															
2. Building Size and Massing																
A. Height (stories)	2-5	5 max		3 max	5 max	5 max	3 max	NOT APPLICABLE								
B. Length along front (ft)	400 max, but if over 200 feet, must provide 30 ft x 30 ft massing break			200 max			100 max									
C. Length along side yard (ft)	150 max			150 max			125 max									
3. Pedestrian Access																
A. Ground Floor	direct access from sidewalk							NOT APPLICABLE								
B. Upper Floors	direct access from street level lobby															
4. Parking and Service Access																
A. Lot with alley	from alley							NOT APPLICABLE								
B. Lot without alley	via driveway located as close to side yard property line as possible															
C. Corner lot without alley	from side street via driveway located as close to side yard property line as possible															
5. Parking Location																
A. At Grade	min 30 ft from primary property line							NOT APPLICABLE								
B. Upper Flrs	allowed to all setbacks						not allowed									
C. Roof	allowed to all setbacks						allowed, per Section 10.0									
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley							NOT APPLICABLE								
B. Lot without alley	as close to side yard and/or rear yard property line as possible															
7. Open Space and Landscape																
A. Balcony	not required							NOT APPLICABLE								
B. Shared	not required															
8. Frontage																
A. Ground Floor	along a public street or open space: per allowed frontage types: per Section 6.0							NOT APPLICABLE								
B. Upper Floors	along a public street or open space: per Section 10.0 General Standards															

LINED BUILDING TABLE 5B

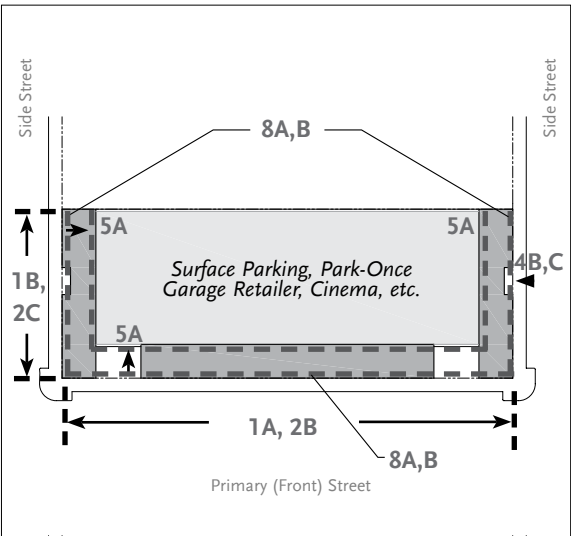
DIAGRAM 5C



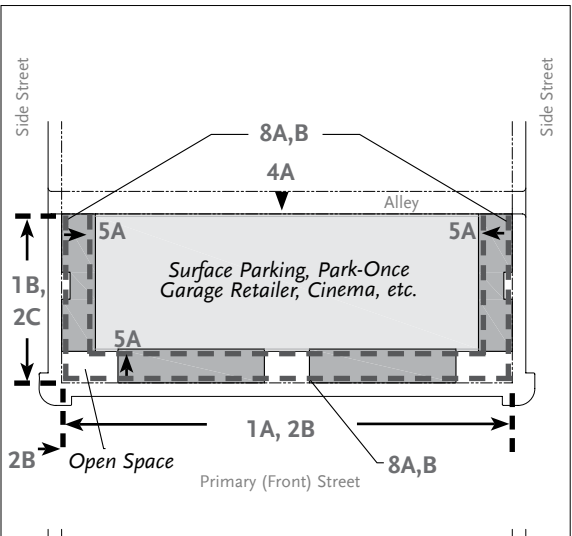
Illustrative Massing Diagram



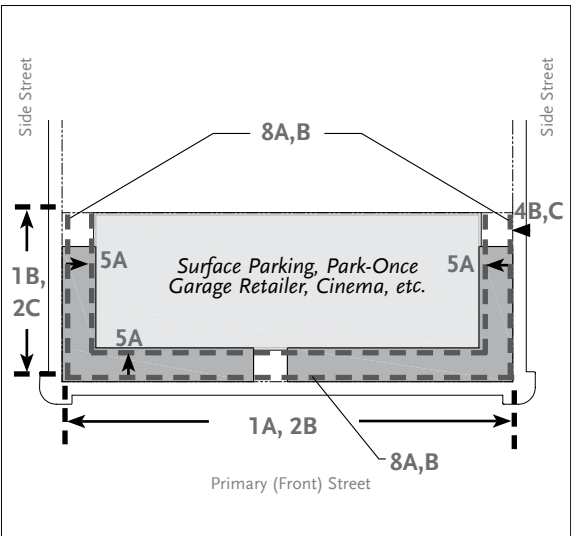
Automobile access to parking garage from the rear alley



Automobile access to parking garage from side streets with no alley



Automobile access to parking garage from the rear alley



Automobile access to parking garage from side streets with no alley



A lobby and elevator provide access from the street to the multi-story parking garage and upper floors of the retail liner



Housing and retail uses line and disguise a multi-story garage



Office and retail uses line and disguise a multi-story garage



The "black box" functions of Fresno's Warners Theater is lined with retail uses

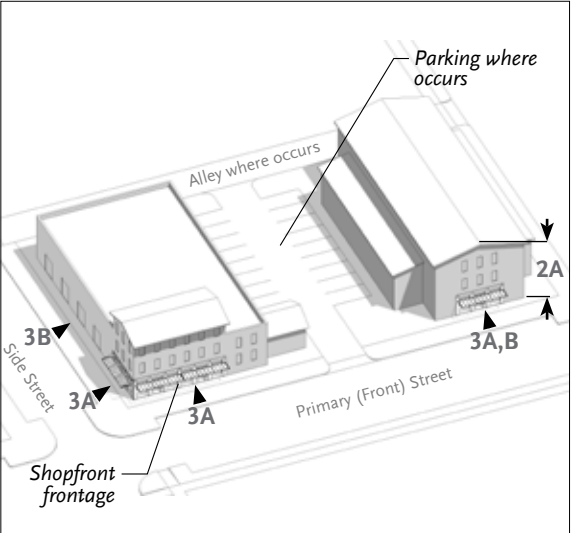
TABLE 5D FLEX SHED (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Flex Shed standards shall comply with all applicable requirements of Table 5D for the identified zoning district.
- B. Description and Intent:** A building designed for occupancy primarily by light manufacturing, workshop, and warehouse uses. Flex Shed buildings may also accommodate residential uses provided that ground floor residential uses do not exceed 20% of the total ground floor area. One hundred percent of upper floor areas may be occupied by residential uses. This building type also accommodates the large loading and/or staging area requirements that light manufacturing and warehouse uses might need as well as support areas and parking to be located either to the side or the rear of the building in order to ensure that buildings front the sidewalk and street.
- C. Lot and Building Requirements:** Each Flex Shed building shall comply with the requirements of Table 5D.
- D. Lot and Building Configuration:** Each Flex Shed building may be designed and configured on its site in any manner consistent with the requirements of Table 5D. Examples of configurations are shown in Diagram 5D.

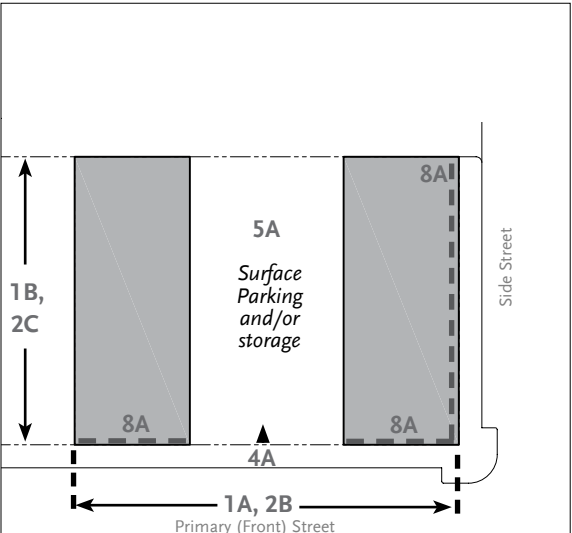
Standard	Zoning District																
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H	
1. Lot Size																	
A. Width (ft)	NOT APPLICABLE			200 max	NOT APPLICABLE	200 max	NOT APPLICABLE			no max			200 max				
B. Depth (ft)				65-150		50 min											
2. Building Size and Massing																	
A. Height (stories)	NOT APPLICABLE			2 max	NOT APPLICABLE	2 max	NOT APPLICABLE			2 max							
B. Length along front (ft)				150 max		150 max										no max	150 max
C. Length along side yard (ft)				150 max		100 max				no max	100 max						
3. Pedestrian Access																	
A. Ground Floor	NOT APPLICABLE			direct access from sidewalk	NOT APPLICABLE	direct access from sidewalk	NOT APPLICABLE			direct access from sidewalk or anywhere on site			same as CT zone				
B. Upper Floors				direct access from street level or exterior stair		direct access from street level or exterior stair										same as CT zone	
4. Parking and Service Access																	
A. Lot with alley	NOT APPLICABLE			from alley	NOT APPLICABLE	from alley	NOT APPLICABLE			from alley							
B. Lot without alley				via driveway, max 20 ft wide, located as close to side yard property line as possible		same as CT zone										via drive-way, max 20 ft wide, located as close to side yard property line as possible	
C. Corner lot without alley				from side street via driveway located as close to side yard property line as possible		same as CT zone											
5. Parking Location																	
A. At Grade	NOT APPLICABLE			rear, tuck under per Section 4.0 Development Standards	NOT APPLICABLE	same as CT zone	NOT APPLICABLE			front, side, rear, tuck under per Section 4.0 Development Standards			side, rear				
B. Upper Flrs				allowed		allowed										allowed	not allowed
C. Roof				allowed, per Section 10.0		allowed, per Section 10.0										allowed, per Section 10.0	
6. Service Location (dry utilities, above ground equipment, trash containers)																	
A. Lot with alley	NOT APPLICABLE			adjacent to alley	NOT APPLICABLE	adjacent to alley	NOT APPLICABLE			adjacent to alley							
B. Lot without alley				as close to side yard and/or rear yard property line as possible		as close to side yard and/or rear yard property line as possible										as close to side yard and/or rear yard property line as possible	
7. Open Space																	
A. Balcony	NOT APPLICABLE			not required	NOT APPLICABLE	not required	NOT APPLICABLE			not required							
B. Shared				not required		not required											
9. Frontage																	
A. Ground Floor	NOT APPLICABLE			along a public street or open space: per allowed frontage types: per Section 6.0	NOT APPLICABLE		NOT APPLICABLE			same as CT zone			same as CT zone				
B. Upper Floors				along a public street or open space: per Section 10.0 General Standards												same as CT zone	same as CT zone

FLEX SHED TABLE 5D

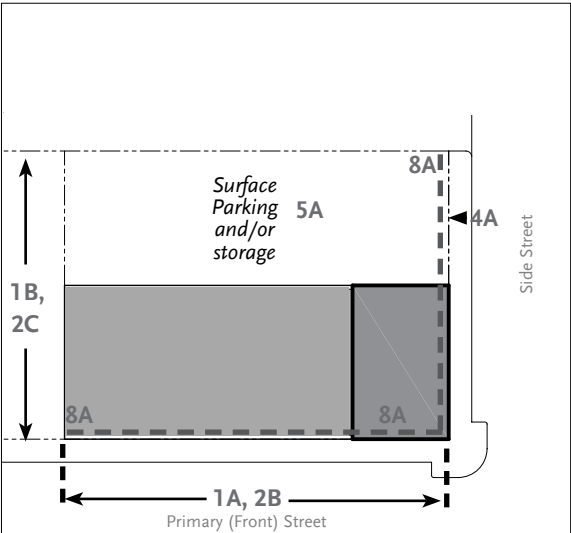
DIAGRAM 5D



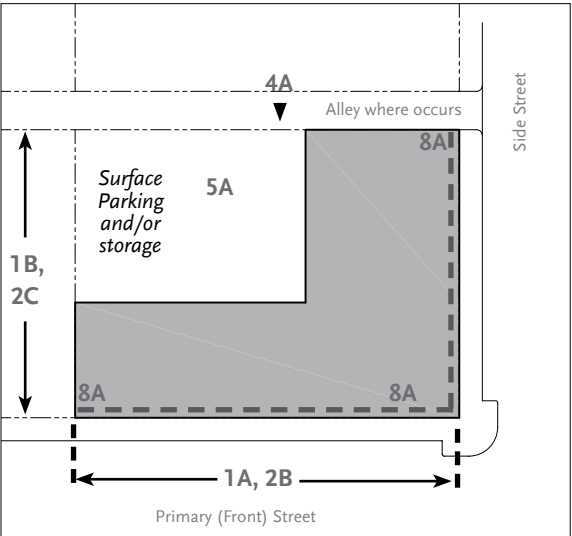
Illustrative Massing Diagram



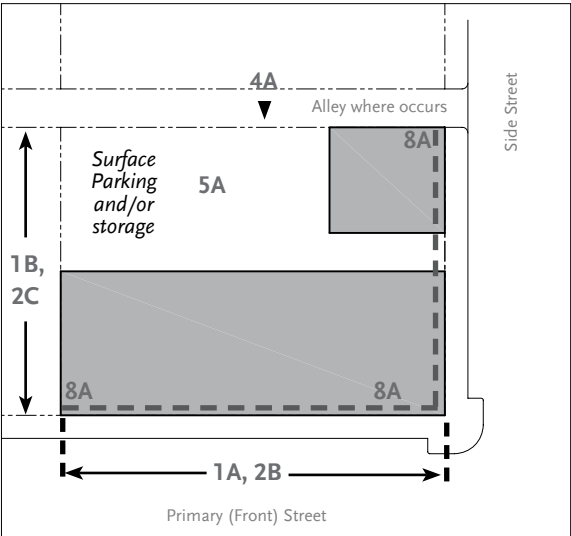
Buildings front the street with parking in between, accessed from the primary street



The building sits at the corner with parking accessed from the side street



A large building fronts the street with parking at rear



Buildings front the street with parking at rear



Habitable commercial space is placed at the front while warehouse operations are placed at the rear



On-site storage and parking is accessed via driveway and placed behind the building



Shopfront frontages are provided when the building is brought to the sidewalk



Opaque fenestrations and landscape face the side street, creating a desirable streetscape

TABLE 5E HYBRID COURT (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Hybrid Court standards shall comply with all applicable requirements of Table 5E for the identified zoning district.

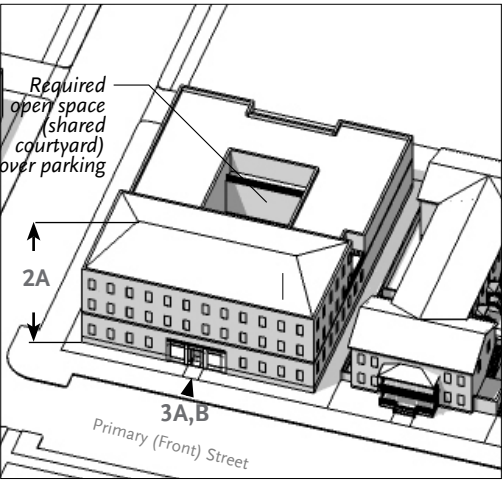
B. Description and Intent: A building type characterized by on-site parking within a common, engaged garage. Liner spaces at least 30 feet in depth – occupied by residential or commercial uses – are required to surround the garage on all frontages, with direct access to those liner uses from the public way. Access to upper floors is provided by a lobby/stair/elevator/corridor system, walk-up to a court atop the garage, or a combination of these two.
- C. Lot and Building Requirements:** Each Court building shall comply with the requirements of Table 5E.

D. Lot and Building Configuration: Each Hybrid Court building may be designed and configured on its site in any manner consistent with the requirements of Table 5E. Examples of configurations are shown in Diagram 5E.

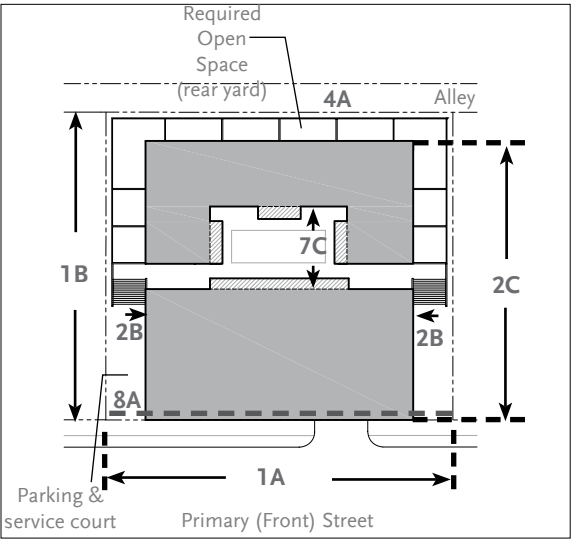
Standard	Zoning District																
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H	
1. Lot Size																	
A. Width (ft)		150-200	150-200	125-200	125-200	125-200	125-150	125-200	125-150		100-150	NOT APPLICABLE				150-200	
B. Depth (ft)		150-200	150-200	125-200	125-200	125-200	125-150	125-150	125-150		100-150					150-200	
2. Building Size and Massing																	
A. Height (stories)		2-5	5 max	3 max	5 max	5 max	3 max	3 max	2.5 max		2.5 max	NOT APPLICABLE				5 max	
B. Length along front (ft)		200 max	200 max	200 max	200 max	200 max	130 max	130 max	105-130		90-190					200 max	
C. Length along side yard (ft)																	
3. Pedestrian Access																	
A. Ground Floor		direct access from Street or Courtyard										same as NG zone	NOT APPLICABLE				same as NG zone
B. Upper Floors		direct access from Street or Courtyard															
4. Parking and Service Access																	
A. Lot with alley		from alley										from alley	NOT APPLICABLE				from alley
B. Lot without alley		via driveway, max 16 ft wide, located as close to side yard property line as possible	via driveway, max 12 ft wide, located as close to side yard property line as possible								same as NG zone	same as NG zone					
C. Corner lot without alley		from side street via driveway max 16 ft wide	from side street via driveway max 12 ft wide								same as NG zone	same as NG zone					
5. Parking Location																	
A. At Grade		Rear, Tuck Under, Parking Garage										Rear, Tuck Under, Parking Garage	NOT APPLICABLE				Rear, Tuck Under, Parking Garage
B. Upper Flrs		not allowed										not allowed					not allowed
C. Roof																	
6. Service Location (dry utilities, above ground equipment, trash containers)																	
A. Lot with alley		adjacent to alley										same as NG zone	NOT APPLICABLE				same as NG zone
B. Lot without alley		as close to side yard and/or rear yard property line as possible															
7. Open Space and Landscape																	
A. Balcony		min 6 ft deep if provided										same as NG zone	NOT APPLICABLE				same as NG zone
B. Shared (% of lot area)		min 20%	min 20%	min 15%	min 15%	min 15%	min 15%	min 15%	min 15%		min 15%	min 20%					
C. Court Size		min 35 ft	min 35 ft	min 30 ft	min 30 ft	min 25 ft	min 25 ft	min 25 ft	min 25 ft		min 20 ft	min 35 ft					
8. Frontage																	
A. Ground Floor		along a public street or open space: per allowed frontage types: per Section 6.0										same as NG zone	NOT APPLICABLE				same as NG zone
B. Upper Floors		along a public street or open space: per Section 10.0 General Standards															

HYBRID COURT TABLE 5E

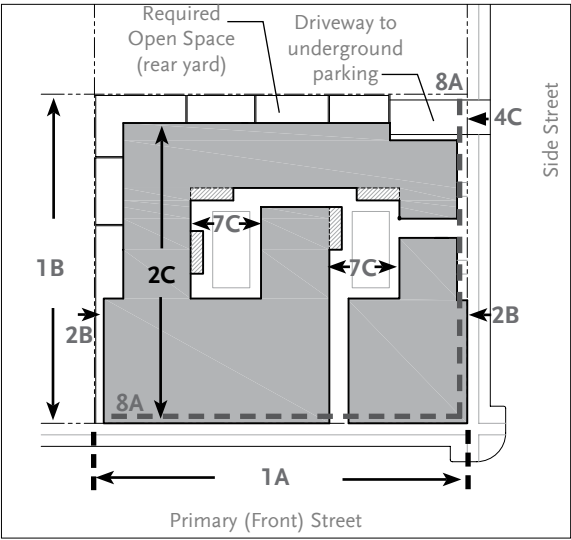
DIAGRAM 5E



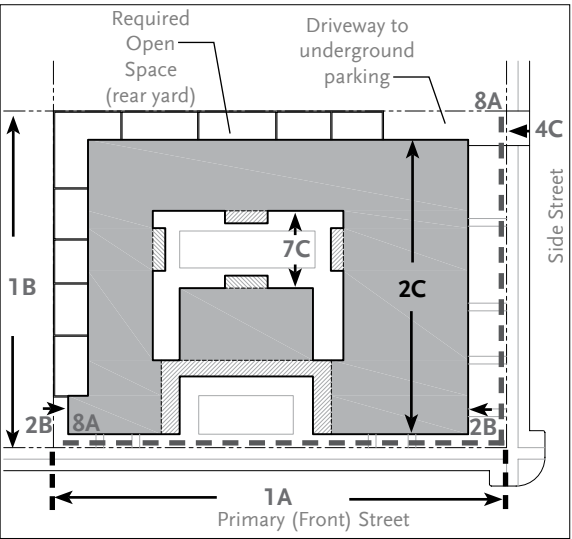
Illustrative Massing Diagram



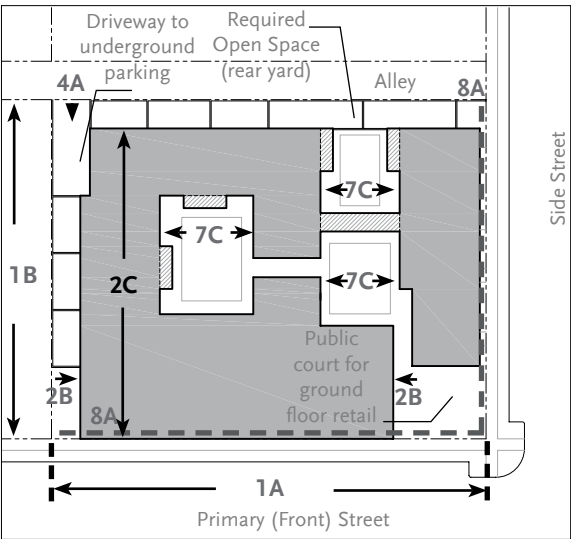
Mid block condition with underground parking accessed from primary street



Corner lot condition with underground parking accessed from side street



Corner lot condition with underground parking accessed from side street



Corner lot condition with underground parking accessed from side street



A hybrid court building with varied massing and ground floor units that are entered directly from the adjacent sidewalk.



Double loaded dwelling units front the primary street while courtyard housing and underground parking sits at the side and rear of the lot



The internal courtyard of the hybrid court building shown at above left. Access to the street is through the arched passageway.

TABLE 5F COURT (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Court standards shall comply with all applicable requirements of Table 5F for the identified zoning district.

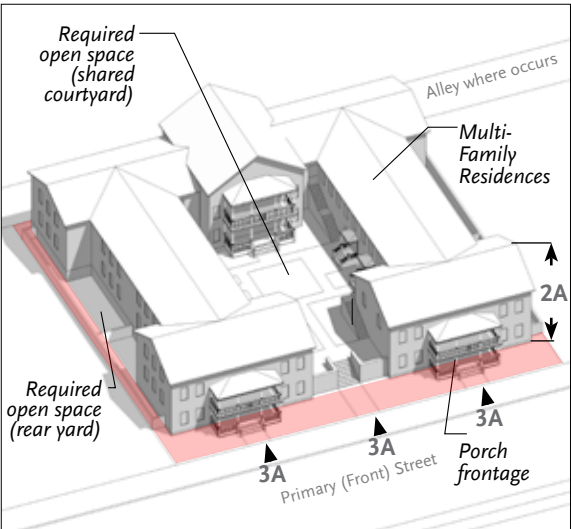
B. Description and Intent: A group of dwelling units arranged to share one or more common courtyards. The courtyard is intended to be a semi-public outdoor room that is an extension of the public realm. Court buildings may accommodate ground floor commercial/flex uses in either a live-work configuration or as solely commercial/retail space in qualifying zones facing the primary street.
- C. Lot and Building Requirements:** Each Court building shall comply with the requirements of Table 5F.

D. Lot and Building Configuration: Each Court building may be designed and configured on its site in any manner consistent with the requirements of Table 5F. Examples of configurations are shown in Diagram 5F.

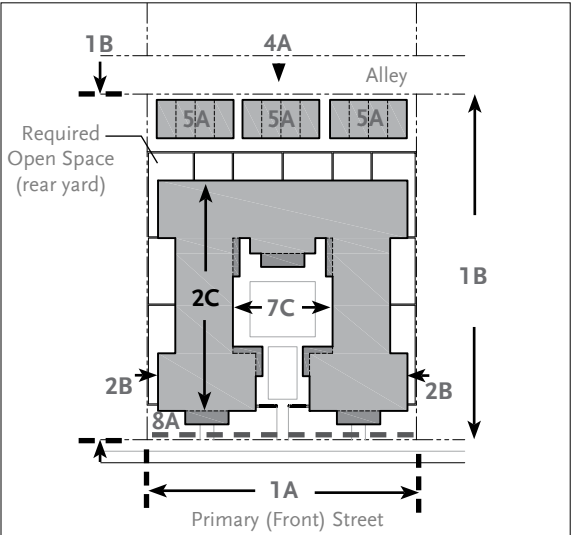
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)		125-200					125-150	125-200	125-150		100-150	125-200	NOT APPLICABLE		125-150	
B. Depth (ft)		125-150									100-150				125-150	
2. Building Size and Massing																
A. Height (stories)		2-5	5 max	3 max	5 max	5 max	3 max	3 max	2.5 max		2.5 max	2.5 max	NOT APPLICABLE		5 max	
B. Length along front (ft)		200 max	190 max	200 max	200 max	200 max	150 max	180 max	130 max		130 max	180 max			150 max	
C. Length along side yard (ft)		140 max	140 max	140 max	140 max	140 max	120 max	120 max	120 max		120 max	140 max			120 max	
3. Pedestrian Access																
A. Ground Floor		direct access from Street or Courtyard									same as NG zone	same as NG zone	NOT APPLICABLE		same as NG zone	
B. Upper Floors		SA from Street or Courtyard														
4. Parking and Service Access																
A. Lot with alley		from alley									from alley	from alley	NOT APPLICABLE		from alley	
B. Lot without alley		via driveway, max 16 ft wide, located as close to side yard property line as possible	via driveway, max 12 ft wide, located as close to side yard property line as possible							same as NG zone	from alley	same as NG zone				
C. Corner lot without alley		from side street via driveway max 16 ft wide	from side street via driveway max 12 ft wide							same as NG zone	from alley	same as NG zone				
5. Parking Location																
A. At Grade		rear, tuck under									rear, tuck under	rear	NOT APPLICABLE		rear, tuck under	
B. Upper Flrs		not allowed									not allowed				not allowed	
C. Roof																
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley		adjacent to alley									same as NG zone	same as NG zone	NOT APPLICABLE		same as NG zone	
B. Lot without alley		as close to side yard and/or rear yard property line as possible														
7. Open Space and Landscape																
A. Balcony		min 6 ft deep if provided									same as NG zone	same as NG zone	NOT APPLICABLE		same as NG zone	
B. Shared		min 20%	min 20%	min 15%	min 15%	min 15%	min 15%	min 15%	min 15%		min 15%	min 20%			min 20%	
C. Court Size		min 35 ft	min 35 ft	min 30 ft	min 30 ft	min 25 ft	min 25 ft	min 25 ft	min 25 ft		min 20 ft	min 30 ft			min 35 ft	
8. Frontage																
A. Ground Floor		along a public street or open space: per allowed frontage types: per Section 6.0									same as NG zone	same as NG zone	NOT APPLICABLE		same as NG zone	
B. Upper Floors		along a public street or open space: per Section 10.0 General Standards														

COURT TABLE 5E

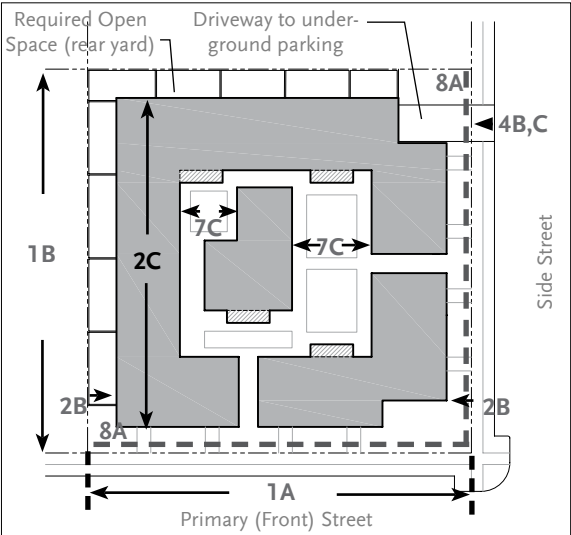
DIAGRAM 5F



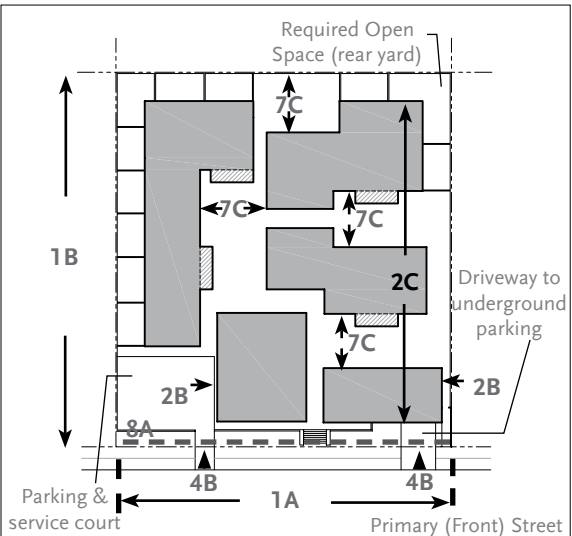
Illustrative Massing Diagram



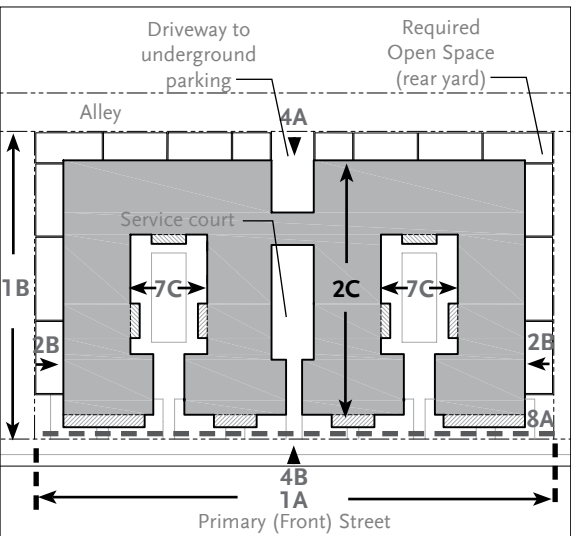
Mid block condition with garage parking accessed from alley



Corner lot condition with underground parking accessed from side street



Mid block condition with underground parking and a service court accessed from primary street



Mid block condition with underground parking accessed from alley



Lush landscape and a fountain are common characteristics of a shared courtyard



Courtyards create outdoor gathering spaces for residents



Direct walk-up access is provided from the shared courtyard



This courtyard building fronts both streets and provides a court internally while parking is accessed from the side street at the rear

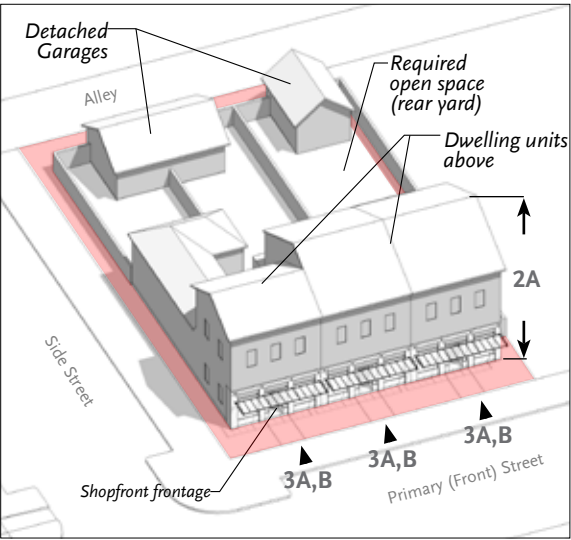
TABLE 5G LIVE/WORK (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Live/Work standards shall comply with all applicable requirements of Table 5G for the identified zoning district.
- B. Description and Intent:** An integrated residence and working space, occupied and utilized by a single household. At a minimum, an array of at least 5 units is required, with the interior designed or structurally modified to accommodate joint residential occupancy and work activity. The primary building sits at the front of the property, with the garage at the rear, separated from the primary building by a rear yard. The work space is accessed directly from the primary street, and the living space at the rear or above is accessed directly
- or indirectly from the working space. Live/Works are prohibited on a lot without alley access, since garages must be located and accessed from the rear of the lot.
- C. Lot and Building Requirements.** Each Live/Work building shall comply with the requirements of Table 5G.
- D. Lot and Building Configuration.** Each Live/Work building may be designed and configured on its site in any manner consistent with the requirements of Table 5G. Examples of configurations are shown in Diagram 5G.

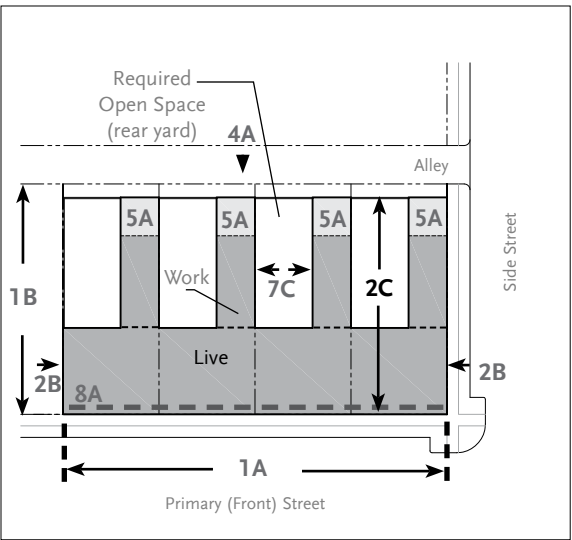
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	50 - 200	50 - 200		50 - 200	50 - 200	50 - 200	50 - 150	50 - 150	50 - 125	NOT APPLICABLE			50 - 200		50 -150	50 - 125
B. Depth (ft)	95 - 150	95 - 150		95 - 150	95 - 150	95 - 150	95 - 150	95 - 150	95 - 150				95 min		95 min	95-150
2. Building Size and Massing																
A. Height (stories)	2-3	3 max		3 max	3 max	3 max	3 max	3 max	2.5 max	NOT APPLICABLE			3 max		2.5 max	3 max
B. Length along front (ft)	200 max	200 max		200 max	200 max	200 max	150 max	150 max	115 max				200 max		150 max	125 max
C. Length along side yard (ft)	100 max	100 max		100 max	100 max	100 max	80 max	80 max	80 max				100 max		100 max	80 max
3. Pedestrian Access																
A. Work Space	direct access from sidewalk		direct access from sidewalk						NOT APPLICABLE			same as NG zone		direct access from sidewalk		
B. Living Space	direct access from sidewalk or anywhere on site		direct access from sidewalk or anywhere on site									same as NG zone		direct access from sidewalk or anywhere on site		
4. Parking and Service Access																
A. Lot with alley	from alley		from alley						NOT APPLICABLE			same as NG zone		from alley		
B. Lot with-out alley	not allowed		not allowed									not allowed		not allowed		
C. Corner lot without alley	not allowed		not allowed									not allowed		not allowed		
5. Parking Location																
A. At Grade	rear		rear				side, rear	rear	NOT APPLICABLE			side, rear, tuck under		front, side, rear, tuck under	rear	
B. Upper Flrs	not allowed		not allowed									not allowed		not allowed		
C. Roof	per Section 10.0		per Section 10.0					not allowed				per Section 10.0		per Section 10.0		
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	adjacent to alley		adjacent to alley						NOT APPLICABLE			same as NG		adjacent to alley		
B. Lot with-out alley	not allowed		not allowed									not allowed		not allowed		
7. Open Space and Landscape																
A. Rear Yard (% of lot area)	min 15%		min 15%				min 15%		NOT APPLICABLE			same as NG		min 15%		
B. Location	rear		side, rear									front, side, rear		rear		
C. Size	min 10 ft		min 15 ft	min 10 ft			min 10 ft	same as NG zone					min 15 ft			
8. Frontage																
A. Ground Floor	same as NG zone		along a public street or open space: per allowed frontage types: per Section 6.0						NOT APPLICABLE			same as NG zone		same as NG zone		
B. Upper Floors	same as NG zone		along a public street or open space: per Section 10.0 General Standards									same as NG zone		same as NG zone		

LIVE/WORK TABLE 5G

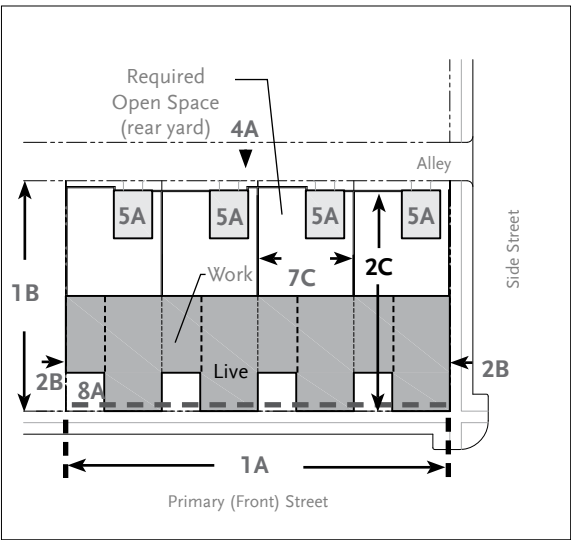
DIAGRAM 5G



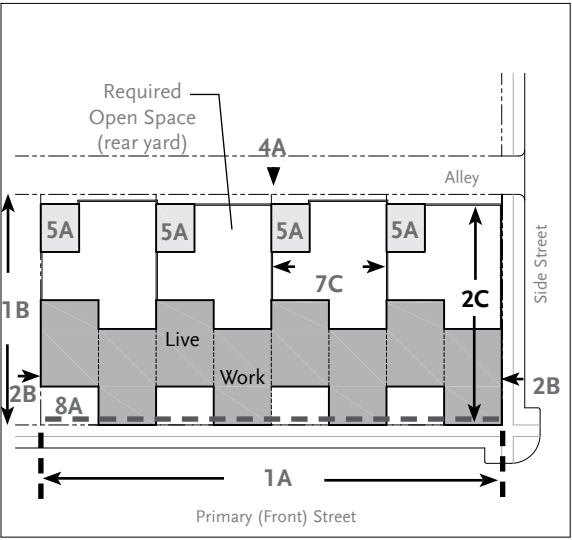
Illustrative Massing Diagram



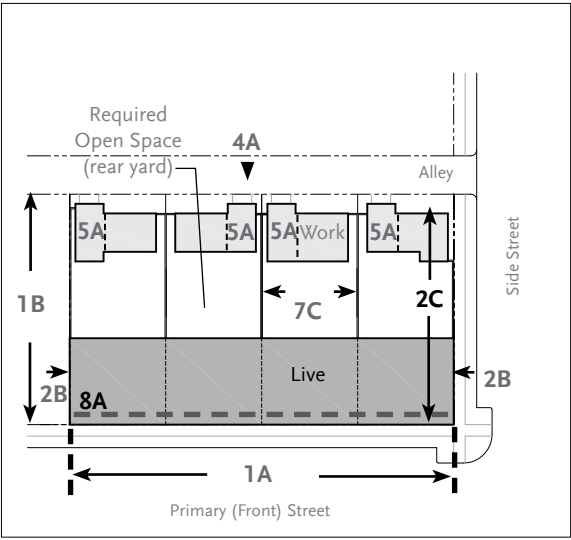
Ground floor work space with housing above



Forecourts separate the live and work entries



Living space is setback from the work space



Work spaces in carriage houses



The living spaces of this traditional live/work building are accessed by a separate entrance



The upper floor living spaces of this live/work building are accessed through the ground floor work spaces



The living space of this live/work unit is located above the ground floor work space

TABLE 5H ROWHOUSE (BLOCK-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Rowhouse standards shall comply with all applicable requirements of Table 5H for the identified zoning district.

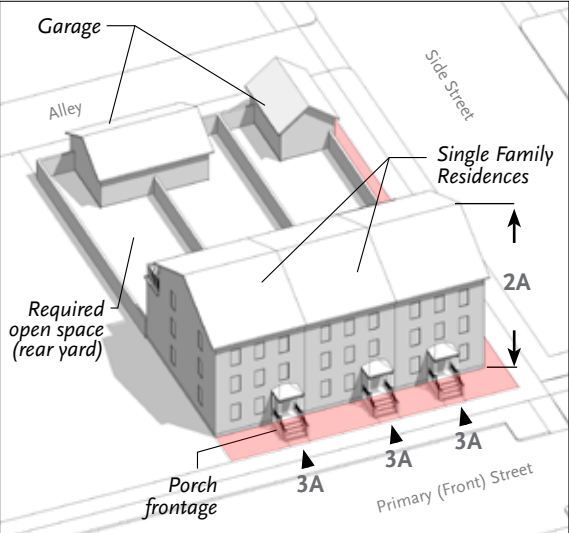
B. Description and Intent: A building comprised of five or more attached two- or three-story dwelling units arrayed side by side, with the ground floor raised above grade in order to provide privacy for ground floor rooms. The primary building sits at the front of the property, with the garage at the rear, separated from the primary building by a rear yard. The front elevation and massing of each Rowhouse building may be either symmetrical or asymmetrical, repetitive or unique in disposition, as long as the delineation of each individual unit is evident. Each dwelling unit is directly accessed
- from the front yard/street. Rowhouses are prohibited on a lot without alley access, since garages must be located and accessed from the rear of the lot.
- C. Lot and Building Requirements:** Each Rowhouse building shall comply with the requirements of Table 5H.

D. Lot and Building Configuration: Each Rowhouse building may be designed and configured on its site in any manner consistent with the requirements of Table 5H. Examples of configurations are shown in Diagram 5H.

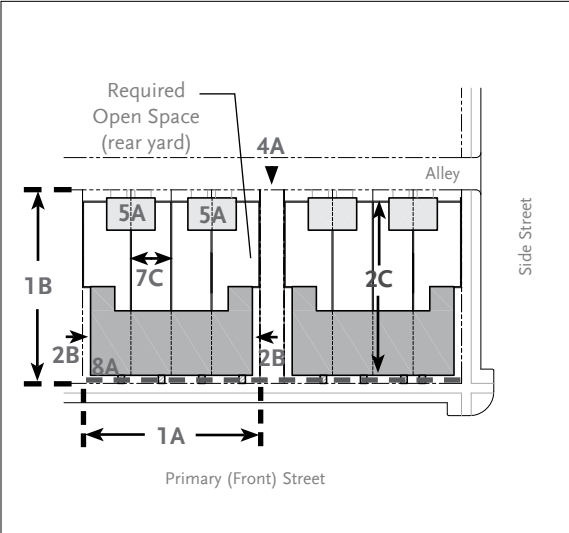
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)		70-200		70-150	NOT APPLICABLE			70-150	70-125	NOT APPLICABLE						70-125
B. Depth (ft)		95-150		95-150				95-150	95-150	NOT APPLICABLE						95-150
2. Building Size and Massing																
A. Height (stories)		2-3		3 max	NOT APPLICABLE			3 max	2.5 max	NOT APPLICABLE						3 max
B. Length along front (ft)		200 max		150 max				125 max	125 max	NOT APPLICABLE						125 max
C. Length along side yard (ft)		80 max		80 max			80 max	80 max	NOT APPLICABLE						80 max	
3. Pedestrian Access																
A. Ground Floor		same as NG zone		same as NG zone	NOT APPLICABLE			direct access from sidewalk	NOT APPLICABLE						same as NG zone	
B. Upper Floors		same as NG zone		same as NG zone				direct access from sidewalk	NOT APPLICABLE						same as NG zone	
4. Parking and Service Access																
A. Lot with alley		from alley		from alley	NOT APPLICABLE			from alley	NOT APPLICABLE						from alley	
B. Lot with-out alley		not allowed		not allowed				not allowed	NOT APPLICABLE						not allowed	
C. Corner lot without alley		not allowed		not allowed				not allowed	NOT APPLICABLE						not allowed	
5. Parking Location																
A. At Grade		rear		rear	NOT APPLICABLE			rear	NOT APPLICABLE						rear	
B. Upper Flrs		not allowed		not allowed				not allowed	NOT APPLICABLE						not allowed	
C. Roof											NOT APPLICABLE					
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley		adjacent to alley		adjacent to alley	NOT APPLICABLE			adjacent to alley	NOT APPLICABLE						adjacent to alley	
B. Lot with-out alley		not allowed		not allowed				not allowed	NOT APPLICABLE						not allowed	
7. Open Space and Landscape																
A. Yard		min 15%		min 15%	NOT APPLICABLE			min 15%	NOT APPLICABLE						min 15%	
B. Location		rear		rear				rear	NOT APPLICABLE						rear	
C. Size		min 10 ft		min 10 ft				min 10 ft	NOT APPLICABLE						min 10 ft	
8. Frontage																
A. Ground Floor		same as NG zone		same as NG zone	NOT APPLICABLE			along a public street or open space: per allowed frontage types: per Section 6.0	NOT APPLICABLE						same as NG zone	
B. Upper Floors		same as NG zone		same as NG zone				along a public street or open space: per Section 10.0 General Standards	NOT APPLICABLE						same as NG zone	

ROWHOUSE TABLE 5H

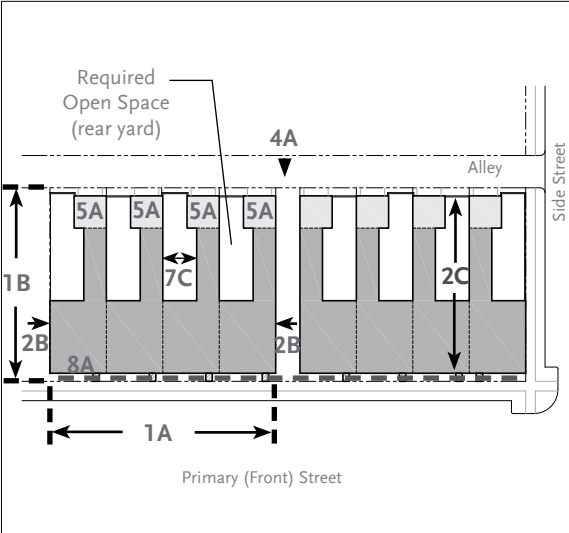
DIAGRAM 5H



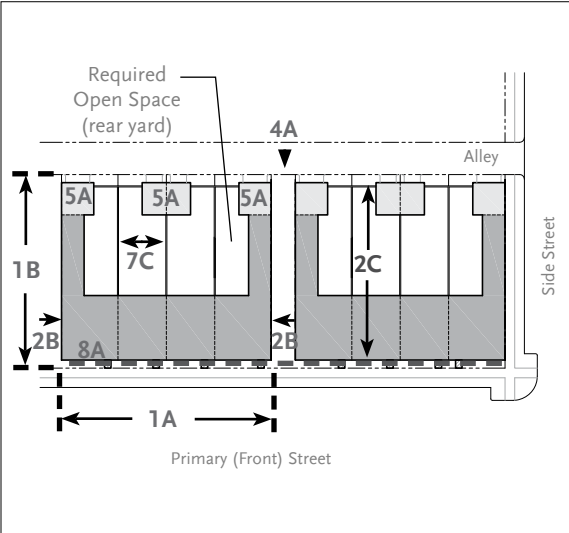
Illustrative Massing Diagram



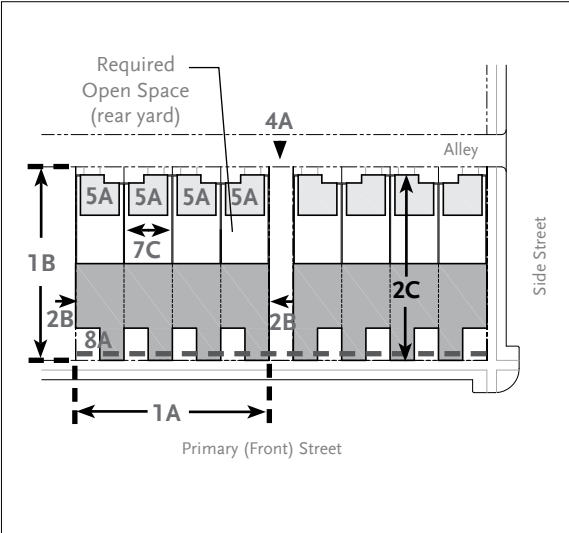
Detached garages and stoops with pedestrian passage



Attached garages and stoops with pedestrian passage



Corner units front the side street



Carriages houses above detached garages



Two story contemporary rowhouses with second story balconies



Rowhouses are contained within one building massing and are delineated by the composition of entrance doors and fenestrations at the ground floor



The traditional rowhouse as it's known, with shallow setbacks, raised stoops, and two story massing that is attached and repeated



The ground floor is raised to provide privacy from pedestrian traffic on the street

TABLE 5I BUNGALOW COURT (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Bungalow Court standards shall comply with all applicable requirements of Table 5I for the identified zoning district.

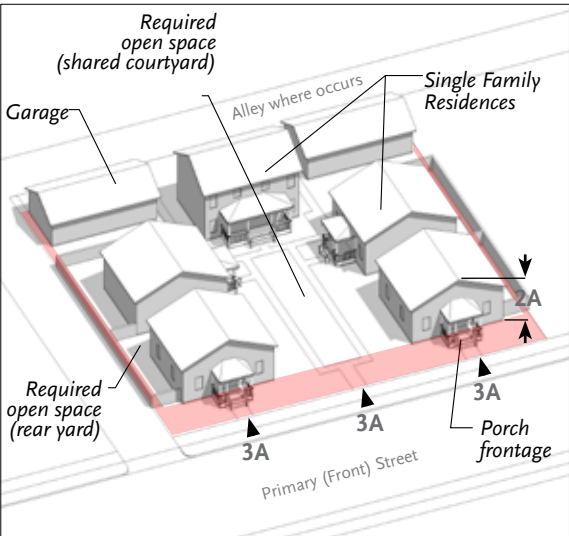
B. Description and Intent: Four or more Single Dwellings arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or fronting street. The courtyard is wholly open to the street and parking is placed in the rear of the lot or behind each unit. Bungalow courts are prohibited on corner lots that do not have alley access.
- C. Lot and Building Requirements:** Each Bungalow Court building shall comply with the requirements of Table 5I.

D. Lot and Building Configuration: Each Bungalow Court building may be designed and configured on its site in any manner consistent with the requirements of Table 5I. Examples of configurations are shown in Diagram 5I.

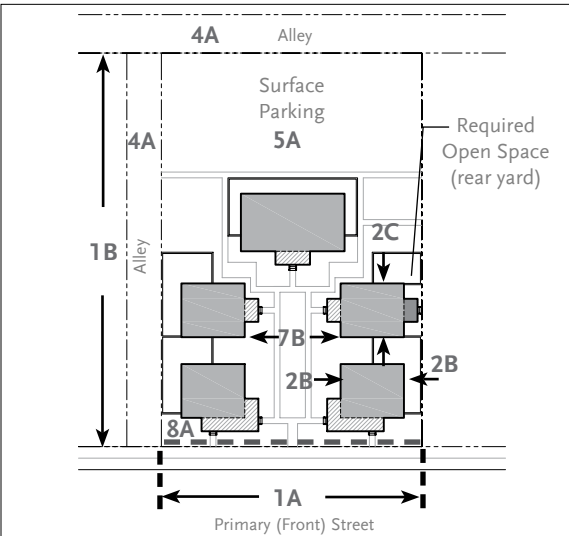
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	NOT APPLICABLE								120-180	120-180	120-180	NOT APPLICABLE				120-180
B. Depth (ft)									120-150	120-150	120-150					120-150
2. Building Size and Massing																
A. Height (stories)	NOT APPLICABLE								2 max	2 max	2.5 max	NOT APPLICABLE				2.5 max
B. Length along frontage (ft)									40 max	40 max	40 max					40 max
C. Length along side yard (ft)									40 max	40 max	40 max					40 max
3. Pedestrian Access																
A. Ground Floor	NOT APPLICABLE								direct access from Street or Courtyard			NOT APPLICABLE				same as NG zone
B. Upper Floors									direct access from Street or Courtyard							
4. Parking and Service Access																
A. Lot with alley	NOT APPLICABLE								from alley			NOT APPLICABLE				from alley
B. Lot without alley									via driveway, max 12 ft wide, located as close to side yard property line as possible							same as NG zone
C. Corner lot without alley									from side street via driveway max 12 ft wide							same as NG zone
5. Parking Location																
A. At Grade	NOT APPLICABLE								rear, tuck under			NOT APPLICABLE				same as NG zone
B. Upper Flrs									not allowed							not allowed
C. Roof									not allowed							
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	NOT APPLICABLE								adjacent to alley			NOT APPLICABLE				same as NG zone
B. Lot without alley									as close to side yard and/or rear yard property line as possible							same as NG zone
7. Open Space and Landscape																
A. Balcony	NOT APPLICABLE								min 6 ft deep if provided			NOT APPLICABLE				same as NG zone
B. Shared									min 20%	min 20%	min 15%					min 25%
									min 25 ft	min 25 ft	min 20 ft					min 30 ft
8. Frontage																
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0			NOT APPLICABLE				same as NG zone
B. Upper Floors									along a public street or open space: per Section 10.0 General Standards							same as NG zone

BUNGALOW COURT TABLE 51

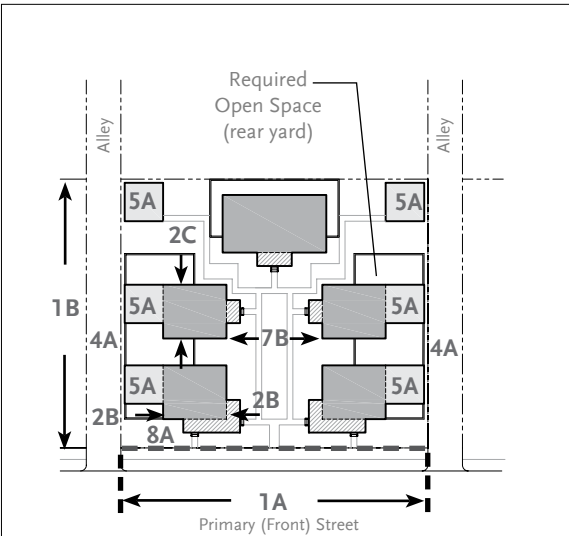
DIAGRAM 51



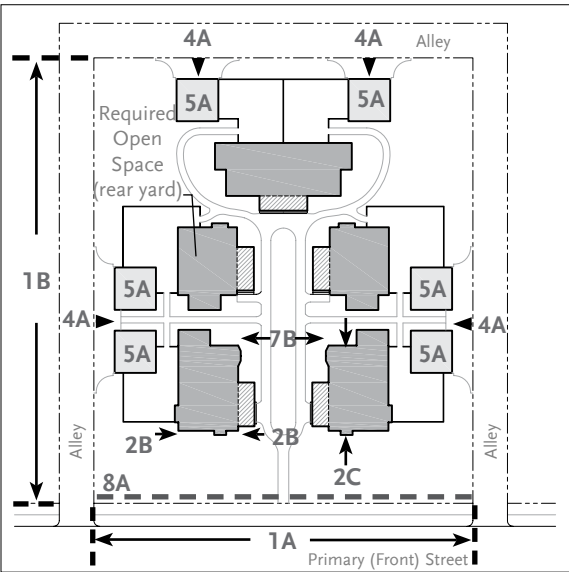
Illustrative Massing Diagram



Mid block condition with Surface parking at the rear accessed by alleys



Mid block condition with attached garages accessed by side alleys



Mid block condition with internal alleys accessing detached garages



A low wall and entrance gate create the separation between the public realm and semi-private court shared by the residences



Dwelling units face and are accessed directly from the shared court



Ample landscape and shade trees provide much appreciated shade in the hot Fresno climate



The shared court is open to the street and windows face the street

TABLE 5J ROSEWALK (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Rosewalk standards shall comply with all applicable requirements of Table 5J for the identified zoning district.

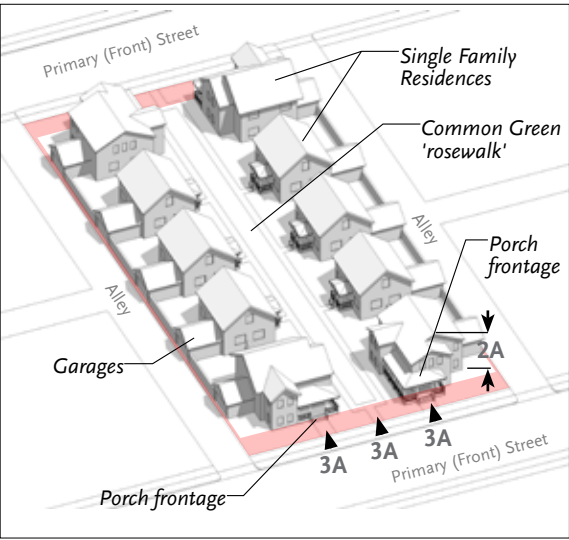
B. Description and Intent: Six or more Single Dwellings arranged linearly along either side of a common green. Having the same right-of-way width as a narrow neighborhood street, the Rosewalk (in contrast to the Bungalow Court) must connect two parallel streets. Pedestrian access to the building entrances are accessed from the common green and/or primary street. Rosewalks are prohibited on corner lots.
- C. Lot and Building Requirements:** Each Rosewalk building shall comply with the requirements of Table 5J.

D. Lot and Building Configuration: Each Rosewalk building may be designed and configured on its site in any manner consistent with the requirements of Table 5J. Examples of configurations are shown in Diagram 5J.

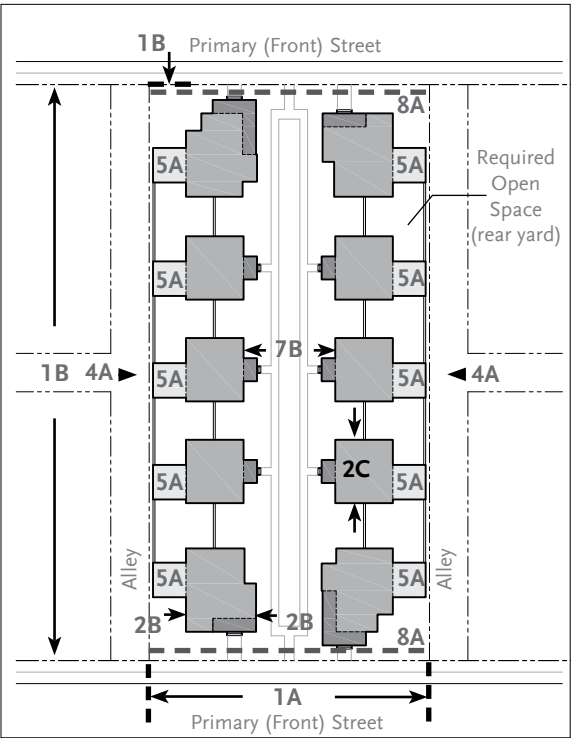
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	NOT APPLICABLE								125-150	125-150	125-150	NOT APPLICABLE				125-150
B. Depth (ft)									125-150	125-150	125-150					125-150
2. Building Size and Massing																
A. Height (stories)	NOT APPLICABLE								2 max	2 max	2.5 max	NOT APPLICABLE				2.5 max
B. Length along front-age (ft)									40 max	40 max	40 max					40 max
C. Length along side yard (ft)									40 max	40 max	40 max					40 max
3. Pedestrian Access																
A. Ground Floor	NOT APPLICABLE								direct access from Street or Courtyard			NOT APPLICABLE				same as NG zone
B. Upper Floors									direct access from Street or Courtyard							
4. Parking and Service Access																
A. Lot with alley	NOT APPLICABLE								from alley			NOT APPLICABLE				from alley
B. Lot without alley									via driveway, max 12 ft wide, located as close to side yard property line as possible							same as NG zone
C. Corner lot without alley									from side street via driveway max 12 ft wide							same as NG zone
5. Parking Location																
A. At Grade	NOT APPLICABLE								rear, tuck under			NOT APPLICABLE				same as NG zone
B. Upper Flrs									not allowed							not allowed
C. Roof									not allowed							
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	NOT APPLICABLE								adjacent to alley			NOT APPLICABLE				same as NG zone
B. Lot without alley									as close to side yard and/or rear yard property line as possible							same as NG zone
7. Open Space and Landscape																
A. Balcony	NOT APPLICABLE								min 6 ft deep if provided			NOT APPLICABLE				same as NG zone
B. Shared									min 20%	min 20%	min 15%					min 25%
									min 25 ft	min 25 ft	min 20 ft					min 30 ft
8. Frontage																
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0			NOT APPLICABLE				same as NG zone
B. Upper Floors									along a public street or open space: per Section 10.0 General Standards							same as NG zone

ROSEWALK TABLE 5J

DIAGRAM 5J



Illustrative Massing Diagram



Mid block condition with side alleys accessing attached garages



Placing sidewalks along the edge provides a central green



This rosewalk provides mid-block pedestrian access to the beach and is fronted by two story single dwellings



Entrances and porches are seen facing the rosewalk



A wide rosewalk provides ample open space between streets

TABLE 5K DUPLEX, TRIPLEX, QUADPLEX 'DUPLEX' (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Duplex standards shall comply with all applicable requirements of Table 5K for the identified zoning district.

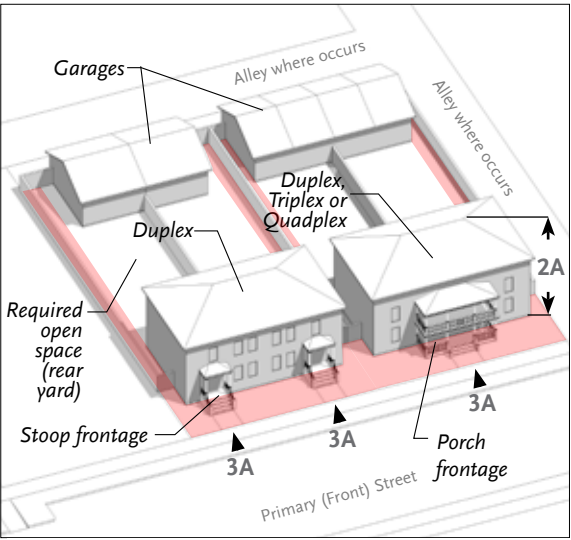
B. Description and Intent: Duplexes, triplexes, and quadplexes are buildings surrounded on all four sides by setbacks (front yard, side yard, rear yard) and share similar setbacks, massing, scale, and frontage types as surrounding buildings. Duplexes, triplexes, and quadplexes may contain dwelling units and/or commercial uses as allowed by Table 3 (Land Use Standards).
- C. Lot and Building Requirements:** Each Duplex building shall comply with the requirements of Table 5K.

D. Lot and Building Configuration: Each Duplex building may be designed and configured on its site in any manner consistent with the requirements of Table 5K. Examples of configurations are shown in Diagram 5K.

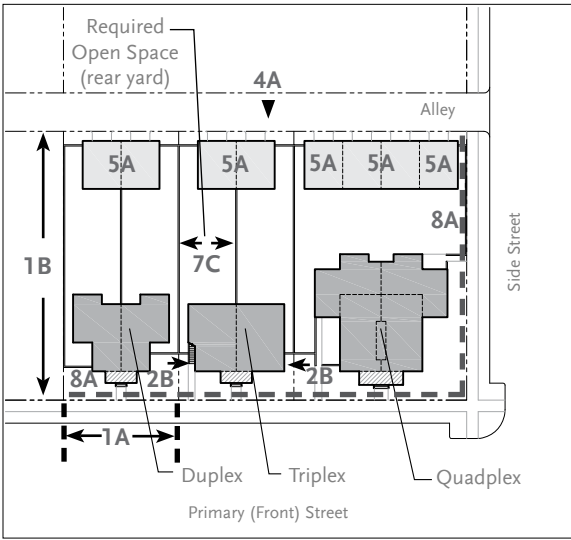
Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
1. Lot Size																
A. Width (ft)	NOT APPLICABLE							50-100	50-100	50-100	50-100	NOT APPLICABLE				50-120
B. Depth (ft)								95 min	95 min	125 min	95 min					95 min
2. Building Size and Massing																
A. Height (stories)	NOT APPLICABLE							3	2 max	2 max	2.5 max	NOT APPLICABLE				2.5 max
B. Length along front-age (ft)								40-80	40-80	40-80	40-80					40-80
C. Length along side-yard (ft)								80 max	80 max	80 max	80 max					80 max
3. Pedestrian Access																
A. Ground Floor	NOT APPLICABLE							direct access from Street or Side Yard				NOT APPLICABLE				same as NG zone
B. Upper Floors								direct access from Street or Side Yard								
4. Parking and Service Access																
A. Lot with alley	NOT APPLICABLE							from alley				NOT APPLICABLE				from alley
B. Lot without alley								via driveway, max 12 ft wide, located as close to side yard property line as possible								same as NG zone
C. Corner lot without alley								from side street via driveway max 12 ft wide								same as NG zone
5. Parking Location																
A. At Grade	NOT APPLICABLE							Rear, tuck under				NOT APPLICABLE				same as NG zone
B. Upper Flrs								not allowed								not allowed
C. Roof								not allowed								
6. Service Location (dry utilities, above ground equipment, trash containers)																
A. Lot with alley	NOT APPLICABLE							adjacent to alley				NOT APPLICABLE				same as NG zone
B. Lot without alley								as close to side yard and/or rear yard property line as possible								same as NG zone
7. Open Space and Landscape																
A. Balcony	NOT APPLICABLE							min 6 ft deep if provided				NOT APPLICABLE				same as NG zone
B. Shared								min 10%	min 10%	min 15%	min 10%					min 15%
C. Size								min 10 ft	min 10 ft	min 20 ft	min 15 ft					min 25 ft
8. Frontage																
A. Ground Floor	NOT APPLICABLE							along a public street or open space: per allowed frontage types: per Section 6.0				NOT APPLICABLE				same as NG zone
B. Upper Floors								along a public street or open space: per Section 10.0 General Standards								same as NG zone

DUPLEX. TRIPLEX, QUADPLEX (DUPLEX) TABLE 5K

DIAGRAM 5K



Illustrative Massing Diagram



Corner and mid-block condition with parking access fro the alley



Private porches and balconies are provided for each unit that face the street



The quadplex fronts both streets on a corner lot with entries and fenestrations



This duplex shows stacked dwelling units with parking placed at the rear



Quadplexes as house-type forms line the residential street

TABLE 5L SINGLE DWELLING (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Single Dwelling standards shall comply with all applicable requirements of Table 5L for the identified zoning district.

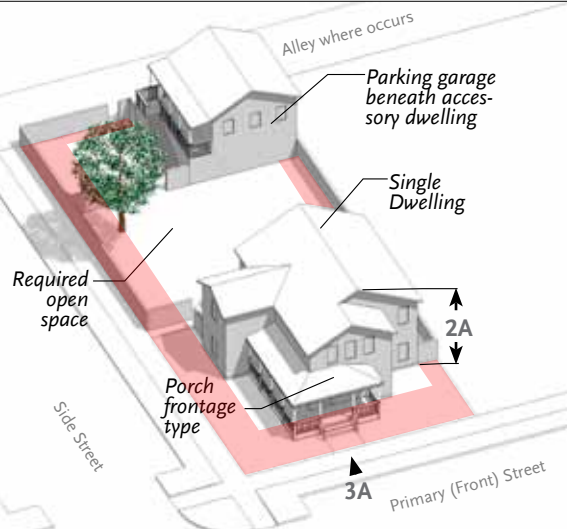
B. Description and Intent: A building that is surrounded on all four sides by setbacks (front yard, side yards, rear yard) and shares similar setbacks, massing, scale, and frontage types as surrounding houses. Single Dwellings may contain dwelling units or commercial uses as allowed by Table 3.
- C. Lot and Building Requirements:** Each Single Dwelling building shall comply with the requirements of Table 5L.

D. Lot and Building Configuration: Each Single Dwelling building may be designed and configured on its site in any manner consistent with the requirements of Table 5L. Examples of configurations are shown in Diagram 5L.

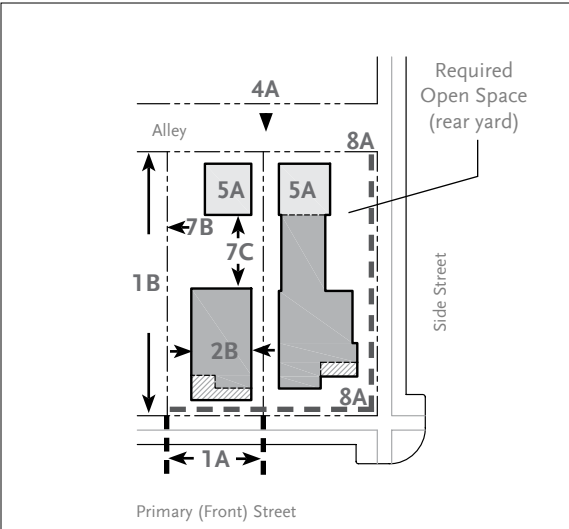
Standard	Zoning District																		
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H			
1. Lot Size																			
A. Width (ft)	NOT APPLICABLE								35-75	35-100	35-75	50 min	NOT APPLICABLE			35-75			
B. Depth (ft)									95 min	125 min	95 min	125 min				95 min			
2. Building Size and Massing																			
A. Height (stories)	NOT APPLICABLE								2 max	2 max	2.5 max	2.5 max	NOT APPLICABLE			2.5 max			
B. Length along frontage (ft)									25-60	25-80	25-60	30-100				25-60			
C. Length along side-yard (ft)																	80 max	80 max	80 max
3. Pedestrian Access																			
A. Ground Floor	NOT APPLICABLE								direct access from Street				NOT APPLICABLE			same as NG zone			
B. Upper Floors									direct access from Street										
4. Parking and Service Access																			
A. Lot with alley	NOT APPLICABLE								from alley				NOT APPLICABLE			from alley			
B. Lot without alley									via driveway, max 12 ft wide, located as close to side yard property line as possible							same as NG zone			
C. Corner lot without alley									from Side Street via driveway max 12 ft wide							same as NG zone			
5. Parking Location																			
A. At Grade	NOT APPLICABLE								rear, tuck under			rear	NOT APPLICABLE			same as NG zone			
B. Upper Flrs									not allowed							not allowed			
C. Roof																			
6. Service Location (dry utilities, above ground equipment, trash containers)																			
A. Lot with alley	NOT APPLICABLE								adjacent to alley				NOT APPLICABLE			same as NG zone			
B. Lot without alley									as close to side yard and/or rear yard property line as possible							same as NG zone			
7. Open Space and Landscape																			
A. Balcony	NOT APPLICABLE								min 6 ft deep if provided				NOT APPLICABLE			same as NG zone			
B. Rear Yard (% of lot)									min 20%	min 20%	min 20%	min 30%				same as NG zone			
C. Rear Yard (min. dimension)									min 15 ft	min 20 ft	min 15 ft	min 25 ft				min 18 ft			
8. Frontage																			
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0				NOT APPLICABLE			same as NG zone			
B. Upper Floors									along a public street or open space: per Section 10.0 General Standards							same as NG zone			

SINGLE DWELLING TABLE 5L

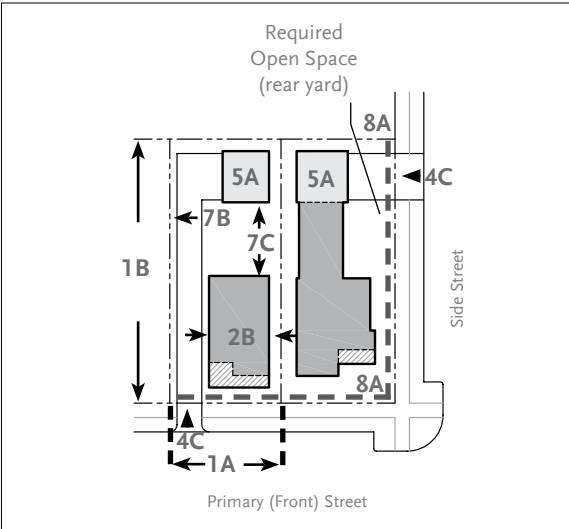
DIAGRAM 5L



Illustrative Axonometric Diagram



Driveways accessing parking garages from primary and side streets



Alley access to parking garages



A stoop and entrance directly from the street



Parking is placed in the rear of the lot and accessed from the side through a porte cochere



A large wide raised porch provides comfortable outdoor space



A commercial use occupies an existing single dwelling

TABLE 5M CARRIAGE HOUSE (HOUSE-SCALE BUILDING)

- A. Requirements.** Buildings designed per the Carriage House standards shall comply with all applicable requirements of Table 5M for the identified zoning district.

B. Description and Intent: An attached or detached residence, also known as a ‘granny flat,’ which provides complete independent living facilities for one or more persons and which is located or established on the same lot on which a Single Dwelling is located. Carriage Houses may be used for office uses, as a bonus room, or may contain permanent provisions for living, sleeping, eating, cooking, and sanitation. Carriage houses may be located above a garage (2-stories) or adjacent to a garage (1-story).
- C. Lot and Building Requirements:** Each Carriage House building shall comply with the requirements of Table 5M.

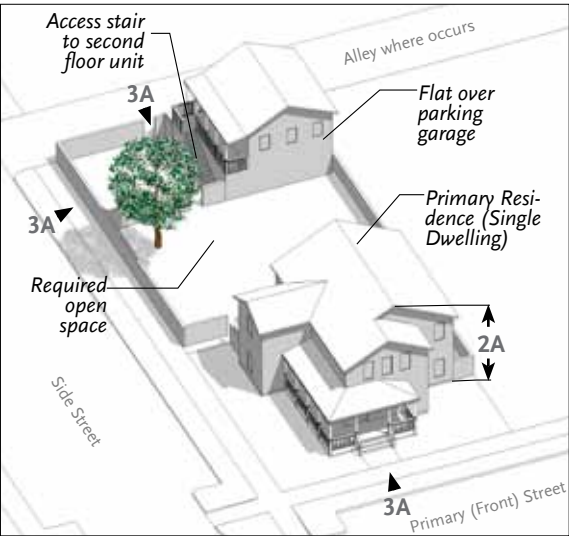
D. Lot and Building Configuration: Each Carriage House building may be designed and configured on its site in any manner consistent with the requirements of Table 5M. Examples of configurations are shown in Diagram 5M.

Standard	Zoning District																	
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H		
1. Lot Size (of primary building)																		
A. Width (ft)	NOT APPLICABLE								35-75	35-100	35-75	50 min	NOT APPLICABLE			same as NG zone		
B. Depth (ft)									95 min	125 min	95 min	125 min						
2. Building Size and Massing																		
A. Height (stories)	NOT APPLICABLE								2 max ⁽¹⁾	2 max ⁽¹⁾	2.5 max ⁽¹⁾	2.5 max ⁽¹⁾	NOT APPLICABLE			2.5 max ⁽¹⁾		
B. Length along frontage (ft)									20-40	20-50	20-40	50 max				25-50		
3. Pedestrian Access																		
A. Ground Floor	NOT APPLICABLE								direct access from Street, Rear Yard, or alley				NOT APPLICABLE			same as NG zone		
B. Upper Floors									direct access from Street, Rear Yard, or alley									
4. Parking and Service Access																		
A. Lot with alley	NOT APPLICABLE								from alley				NOT APPLICABLE			same as NG zone		
B. Lot without alley									via driveway, max 12 ft wide, located as close to side yard property line as possible									
C. Corner lot without alley									from Side Street via driveway max 12 ft wide									
5. Parking Location																		
A. At Grade	NOT APPLICABLE								rear, tuck under		rear	NOT APPLICABLE			same as NG zone			
B. Upper Flrs									not allowed						not allowed		not allowed	
C. Roof																		
6. Service Location (dry utilities, above ground equipment, trash containers)																		
A. Lot with alley	NOT APPLICABLE								adjacent to alley				NOT APPLICABLE			same as NG zone		
B. Lot without alley									as close to side yard and/or rear yard property line as possible							same as NG zone		
7. Open Space and Landscape																		
A. Balcony	NOT APPLICABLE								min 6 ft deep, if provided				NOT APPLICABLE			same as NG zone		
B. Yard (area)									150 sf min.							same as NG zone		
C. Yard (min. dimension)									10 ft							same as NG zone		
8. Frontage																		
A. Ground Floor	NOT APPLICABLE								along a public street or open space: per allowed frontage types: per Section 6.0; 1-story units must provide window facing alley				NOT APPLICABLE			same as NG zone		
B. Upper Floors									along a public street or open space: per Section 10.0 General Standards; must provide windows facing alley							same as NG zone		

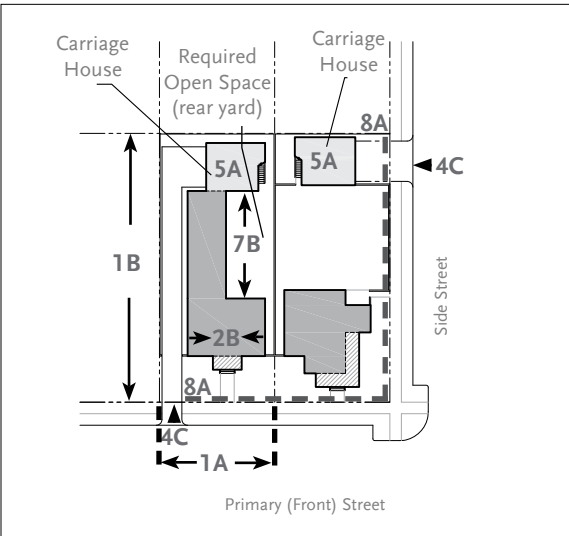
(1) 2-story carriage houses are permitted on lots where the primary building is 1-story

CARRIAGE HOUSE TABLE 5M

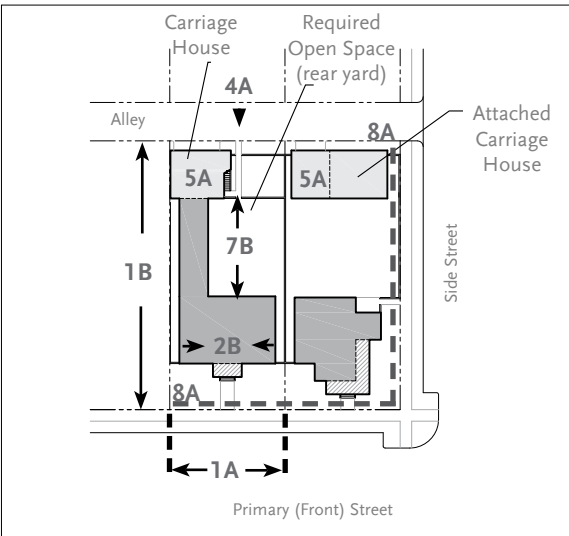
DIAGRAM 5M



Illustrative Massing Diagram



Mid-block and corner carriage houses with no alley



Mid-block and corner carriage houses with alley



These carriage houses provide a variety of massing and landscaping making the alley pedestrian friendly



A carriage house that is accessed from the side



The carriage house is accessed from the rear and parking is provided on the side of the garage



Several carriage houses provide eyes on the alley

6.0 FRONTAGE STANDARDS

6.1. FRONTAGE STANDARDS

6.1A. Purpose. This Section provides design standards for individual lot and building frontages to ensure that proposed development is consistent with the City's goals for building form, physical character, land use activity and quality.

6.1B. Applicability. The frontage of each lot and building shall be designed in compliance with the applicable general requirements in Section 6.2 and all applicable requirements of the California Building and Fire Codes.

Proposed buildings within the Downtown Code boundaries shall comply with the applicable requirements of the zoning district and overlay identified for the property in Figure 2.

6.1C. Allowed Frontage Types by Zoning District. Each proposed lot and building or existing lot and building to be modified shall be designed as one of the frontage types allowed for the zoning district applicable to the site as identified in Table 6.

6.1D. Design Objectives. Frontages shall be designed and maintained to:

1. Support the intended physical environment;
2. Support active and continuous pedestrian-oriented environments;
3. Provide a physical transition between the public right-of-way and the lot that shapes the public realm per the intended physical environment of the zoning district;
4. Express creativity in frontage design per the allowed frontage types in Table 6.

ALLOWED FRONTAGE TYPES																TABLE 6
Type	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
A. Arcade	See Table 6A	See Table 6A	See Table 6A	See Table 6A	See Table 6A	See Table 6A	See Table 6A	X	X	X	X	X	X	X	X	See Table 6A
B. Gallery	See Table 6B	See Table 6B	See Table 6B	See Table 6B	See Table 6B	See Table 6B	See Table 6B	X	X	X	X	X	See Table 6B	See Table 6B	See Table 6B	See Table 6B
C. Shopfront	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	See Table 6C	X	X	X	X	See Table 6C	See Table 6C	See Table 6C	See Table 6C
D. Forecourt	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	See Table 6D	X	X	X	X	See Table 6D	See Table 6D	See Table 6D	See Table 6D
E. Loading Dock	X	See Table 6E	X	See Table 6E	See Table 6E	X	X	X	X	X	X	X	See Table 6E	See Table 6E	See Table 6E	See Table 6E
F. Stoop	X	See Table 6F	X	See Table 6F	See Table 6F	X	X	See Table 6F	See Table 6F	See Table 6F	See Table 6F	X	X	X	X	X
G. Porch	X	X	X	X	X	X	X	See Table 6G	See Table 6G	See Table 6G	See Table 6G	See Table 6G	X	X	X	
H. Front Yard	X	X	X	X	X	X	X	See Table 6H	See Table 6H	See Table 6H	See Table 6H	See Table 6H	See Table 6H	See Table 6H	See Table 6H	See Table 6H
KEY TO TABLE 6																
X	Frontage Type not allowed in Zoning District															
See Table 6D	Frontage Type allowed in Zoning District. See reference for requirements.															



A. Arcade



B. Gallery



C. Shopfront



D. Forecourt



E. Loading Dock



F. Stoop



G. Porch



H. Front yard

6.0 FRONTAGE STANDARDS

6.2 GENERAL REQUIREMENTS FOR FRONTAGES

The following requirements apply to all lots and buildings subject to the Downtown Code. Standards listed under each frontage type supplement or supersede those identified in this section.

A. Non-Residential Frontage Standards.

All lots and buildings shall be designed per the applicable frontage standards of Section 6.0 to ensure that new buildings and their adjacent frontages are built to the scale and character of surrounding buildings as follows:

1. All lot lines bordering a street (public or private) or public open space are subject to frontage standards as identified in the applicable zoning district.
2. Building facades shall be designed in compliance with the requirements for front and side street facades in Section A.3 of the applicable zoning district development standards.
3. Access to buildings shall be in compliance with all applicable ADA requirements. The design and placement of accessible ramps shall be consistent and compatible with the design of the rest of the building and the applicable frontage type(s) on the building.
3. Frontage types may be combined as identified in Section A.3 of the applicable zoning district development standards.
4. Awnings, signs and other such attachments to buildings shall be located at least 8 feet above the adjacent sidewalk and may project for the width of the sidewalk to a maximum encroachment of within 2 feet of the curb.
5. Awnings shall only cover storefronts and openings so as to not cover the entire facade. Awnings may cover multiple openings as allowed in Table 6A.
6. All storefronts shall provide clear views of merchandise displays within the shop space and/or maintained and lighted merchandise display(s) within a display zone of at least four feet in depth from the glass.
7. A physical transition shall be provided between the glazing of the storefront and the adjacent sidewalk except if the glazing itself terminates directly at the grade. Where a bulkhead is applied to transition between the opening(s) and the adjacent grade, the bulkhead shall be between 10 inches and 36 inches tall (aluminum storefront or spandrel panel may not substitute for a bulkhead).
8. The term "clear" means that the identified area is free of encroachments other than signs, light fixtures, sidewalk dining and allowed furnishings, and outdoor display of merchandise.
9. Corner buildings shall be designed having two front facades with one of the two facades, or the corner, containing the primary building entry.
10. Planter boxes, containers or vine pockets may be located adjacent to shopfronts. Such landscape areas shall be clear of required ADA access along any public sidewalk and shall be connected to automatic irrigation.

B. Residential Frontage Standards.

All buildings shall be designed per the applicable frontage standards of Section 6.0 to ensure that new buildings and their adjacent frontages are built to the scale and character of surrounding buildings as follows:

1. All lot lines bordering a street (public or private) or public open space are subject to frontage standards as identified in the applicable zoning district.
2. Building facades shall be designed in compliance with the requirements for front and side street facades in Section A.3 of the applicable zoning district development standards.
3. Frontage types may be combined as identified in Section A.3 of the applicable zoning district development standards.
4. Entrance doors, and public rooms such as living rooms and dining rooms shall be oriented toward the street and on-site open space.
5. Service rooms shall be oriented away from the street and on-site open space.
6. Corner buildings shall be designed having two front facades with one of the two facades containing the primary building entry.
7. Porches and Stoops shall not be enclosed except that porches may utilize screens between the structural members of the porch.

C. Industrial Frontage Standards.

All lots and buildings shall be designed per the applicable frontage standards of Section 6.0 to ensure that new buildings and their adjacent frontages are built to the scale and character of surrounding buildings as follows:

1. All lot lines bordering a street (public or private) or public open space are subject to frontage standards as identified in the applicable zoning district.
2. As identified in Section A.3 of the applicable zoning district development standards, industrial buildings are allowed to use frontage types that may be set back from the sidewalk as specified.
3. Frontage types may be combined as identified in Section A.3 of the applicable zoning district development standards.

D. 'A' and 'B' Grid Standards.

As specified in Section 9.0, certain streets are identified as 'B'-grid streets. Such streets may have less frontage requirements as identified in the applicable zoning district.

6.0 FRONTAGE STANDARDS

E. Multiple Frontage Types.

A building may utilize multiple frontage types as follows:

- 1. Each utilized frontage type must be an allowed frontage type in the applicable zoning district.
- 2. Each frontage type shall be in compliance with the requirements for minimum and maximum facade length along primary and side street frontage lines in the applicable zoning district.
- 3. As allowed in the applicable zoning district, within mixed-use areas, residential frontage types such as stoops, porches and front yards may be used on side streets.
- 4. As allowed in the applicable zoning district, within residential areas, certain commercial frontage types such as gallery and forecourt may be used on either the primary or side street frontage.

6.3 REQUIRED FINDINGS

Each application involving Section 6.0 shall require consistency with the following findings in order to be approved:

- 1. The application is in conformance with Table 6 and the applicable frontage type requirements;
- 2. The application is in conformance with the intent of the zoning district in which the frontage is located;
- 3. The application is in conformance with Sections A 'Building Placement', B 'Adjacency and Height' and, C 'Encroachment' of the applicable zoning district standards;
- 4. The proposed frontage design does not disrupt or detract from the general intended pattern for frontages on the subject block face.

TABLE 6A ARCADE

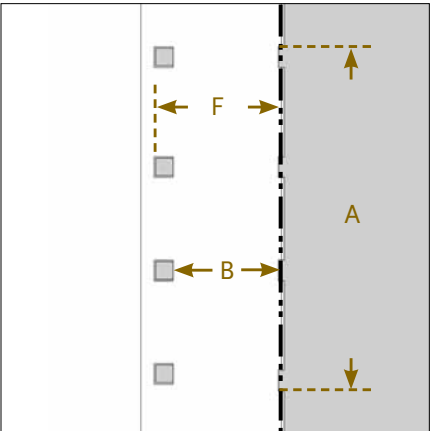


A. Description and Intent: Arcade frontages are composed of a building with ground floor facades which align with the property line, and upper floors which project over the property line to cover the sidewalk. A colonnade structurally and visually supports the building mass which encroaches into the public right-of-way. Arcades contain ground-floor storefronts, making them ideal for retail use as the arcade shelters the pedestrian and shades the storefront glass, preventing glare that might obscure views of merchandise. As allowed, the arcade also provides habitable space over the sidewalk creating a very urban street character.

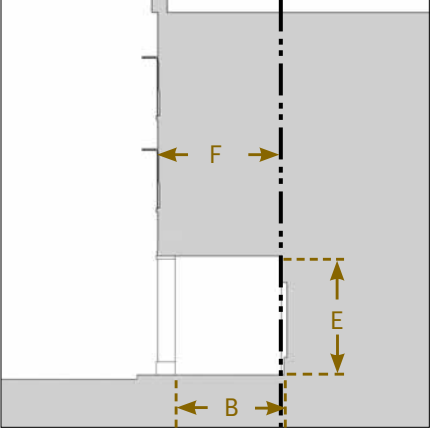
Landscaping is not required. Vines may be located at the arcade columns and shall be planted on grade in vine pockets located between the columns and street curb. Planter boxes or pots may be placed in between columns to provide enclosure for such uses as cafe seating provided that adequate pedestrian access is maintained.

As allowed by Table 7 for the applicable zoning district, signage is located within the storefront and / or hanging from the arcade ceiling. Canopies and awnings are not allowed.

B. Design Standards.



Plan Diagram 6A.1



Section Diagram 6A.2

- 1. Arcades shall comply with the size requirements of Table 6A to be large enough in dimension to allow passage along the sidewalk without impediments both horizontally and vertically.
- 2. Arcades shall be combined with the Shopfront frontage type (Table 6C).
- 3. Arcades may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit.
- 4. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
- 5. Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to disembark.
- 6. Arcades shall comply with Section 6.2A, General Requirements, as applicable.

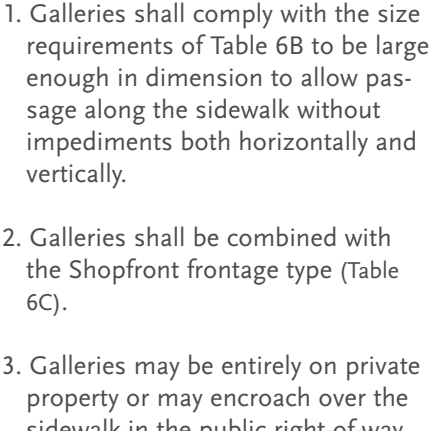


A. Description and Intent: A Gallery is a roof or deck projecting from the facade of a building, supported by columns located just behind the curb of the street. Galleries shelter the sidewalk with a roof or unenclosed, accessible, outdoor space making them ideal for retail use. Galleries may be one-, two-, or up to three stories in height as allowed by the zoning district, functioning as covered or uncovered porches at the second and third floors. Railing on top of the gallery is only required if the gallery roof is accessible as a deck.

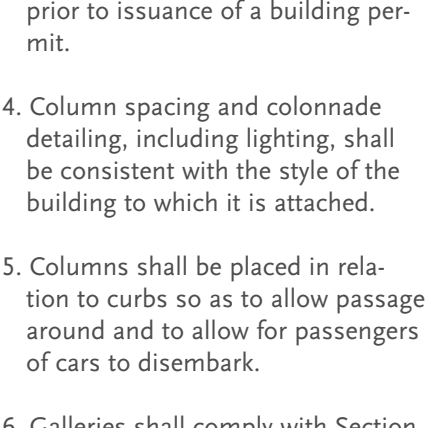
Landscaping is not required. Vines may be located at the gallery columns and shall be planted on grade in vine pockets located between the columns and street curb. Planter boxes or pots may be placed in between columns to provide enclosure for such uses as cafe seating provided that adequate pedestrian access is maintained.

As allowed by Table 7 for the applicable zoning district, signage is located within the storefront and / or hanging from the gallery ceiling. Canopies and awnings are not allowed.

B. Design Standards.

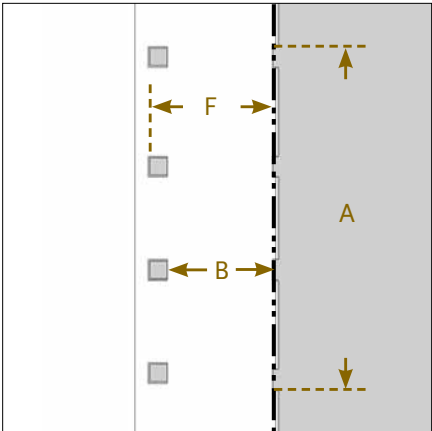


Plan Diagram 6B.1

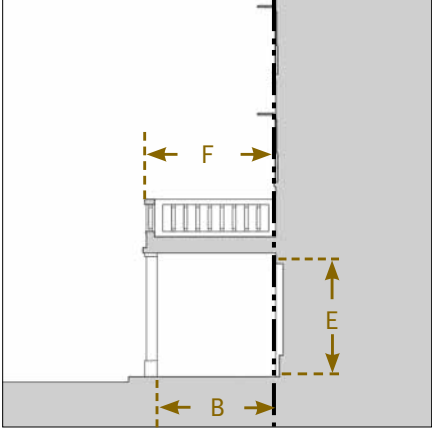


Section Diagram 6B.2

- 1. Galleries shall comply with the size requirements of Table 6B to be large enough in dimension to allow passage along the sidewalk without impediments both horizontally and vertically.
- 2. Galleries shall be combined with the Shopfront frontage type (Table 6C).
- 3. Galleries may be entirely on private property or may encroach over the sidewalk in the public right-of-way, subject to an encroachment permit prior to issuance of a building permit.
- 4. Column spacing and colonnade detailing, including lighting, shall be consistent with the style of the building to which it is attached.
- 5. Columns shall be placed in relation to curbs so as to allow passage around and to allow for passengers of cars to disembark.
- 6. Galleries shall comply with Section 6.2A, General Requirements, as applicable.



Plan Diagram 6B.1



Section Diagram 6B.2

KEY TO TABLES 6A AND 6B

Frontage Type	A	B	C	D	E	F
	Width along Facade	Clear Depth	Entry Height above grade	Fence/Wall/ Hedge Height	Clear Height	Encroachment into r.o.w. (min-max)
6A. Arcade	per A.3 of zoning district standards	12' min.	3' max	not allowed	12' min; 15' min in CBD 1, CBD 2, CC	min 5' clear max 5' from curb
6B. Gallery						

X Not Allowed

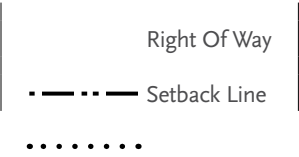


TABLE 6C SHOPFRONT



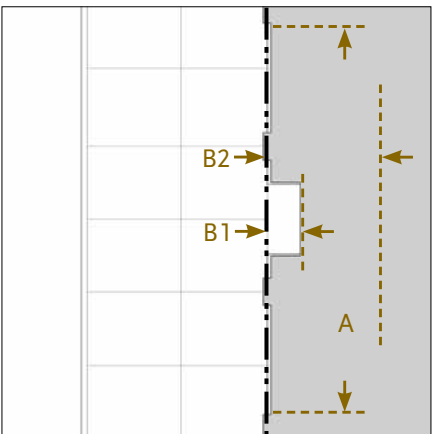
A. Description and Intent: Shopfronts are large openings in a facade that is at or near the sidewalk, enclosed with doors and transparent glass in a storefront assembly. This traditional retail frontage type is often provided with canopies or awnings, which may be fixed or retractable, to shelter pedestrians and shade the storefront glass from glare. The building entrance is at the grade of the sidewalk, and provides direct access to the commercial/retail uses on the ground floor. The storefront assembly may be recessed, as allowed by the zoning district, to provide a widened sidewalk or a covered area for outdoor dining.

Awnings, shed roofs, or canopies may encroach into the public right-of-way and cover the sidewalk within two feet of the curb.

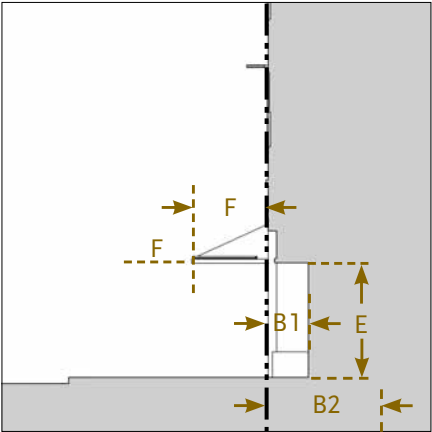
Landscaping is not required as the public streetscape serves that purpose. Vines grown in vine pockets or planter boxes at the building facade are allowed and may encroach into the public way as identified.

As allowed by Table 7 for the applicable zoning district, signage is located in a variety of places ranging from the storefront, wall, awnings and signs within the sidewalk to signs that project over the sidewalk.

B. Design Standards.



Plan Diagram 6C.1



Section Diagram 6C.2

1. Storefronts shall comply with the size requirements of Table 6C to be tall enough to provide adequate view into ground floor spaces.
2. Storefronts shall occur at or near the property line per the building placement requirements in Section A.1 of the applicable zoning district.
3. Storefront glass shall be clear without reflective glass frosting or dark tinting.
4. Storefront windows may have clerestory windows (horizontal panels) between the storefront and second floor/top of single-story parapet. Glass in clerestory windows may be of a character to allow light, while moderating it such as stained glass, glass block, painted glass, or frosted glass.
5. Storefront bulkhead shall be 10 to 36 inches tall and of material similar or complementary to main materials of the building.
6. Shopfronts shall comply with Section 6.2A, General Requirements and 10.4E, as applicable.

TABLE 6D FORECOURT



A. Description and Intent: A Forecourt is a public space formed by a recess in the façade of a building. The Forecourt is typically at grade but may be raised from the sidewalk in compliance with ADA accessibility standards.

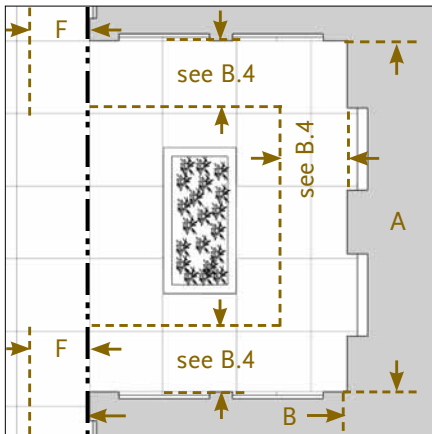
Forecourts are generally appropriate for commercial or civic uses, or when of sufficient size, they may be used for vehicular drop-off at a civic building or hotel. Forecourts may be combined with other frontage types as identified in the zoning district standards.

Forecourts may be further defined by low walls or landscape between the sidewalk and adjacent property line. Forecourts may be landscaped or paved. Landscape may include lawn, grasses, small shrubs, and accent trees with sufficiently transparent canopies to allow views of the building facade.

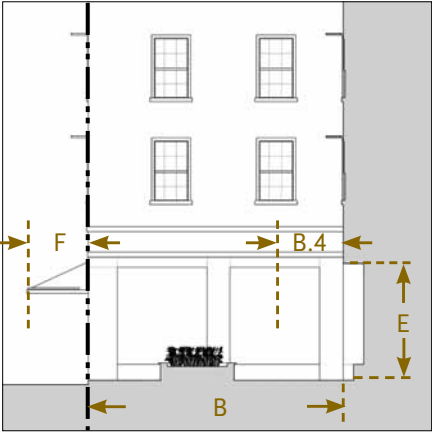
As allowed by Table 7 for the applicable zoning district, signage is located in a variety of places ranging from the storefront, wall, awnings and signs within the sidewalk to signs that project over the sidewalk.

B. Design Standards.

1. Forecourts shall comply with the size requirements of Table 6D to provide adequate view into ground floor spaces.
2. Forecourts may be elevated from the adjacent sidewalk by up to 4 feet. An elevated forecourt shall meet accessibility code for access with the building and the sidewalk.
3. Railings needed for elevated forecourts shall not visually obstruct views to or from the street and shall be designed to match the architectural style of the main building.
4. Forecourts shall be combined with the Shopfront Frontage (Table 6C).
5. Arcades, galleries, awnings, shed roofs or canopies may encroach into the forecourt for a cumulative 1/2 of the forecourt width and depth, respectively.
6. Forecourts shall comply with Section 6.2A, General Requirements, as applicable.



Plan Diagram 6D.1



Section Diagram 6D.2

KEY TO TABLES 6C AND 6D

Frontage Type	A	B1	B2	C	D	E	F
	Width along Facade (min-max)	Storefront Recess from PL (min-max)	Clear Depth (min-max)	Entry Height above grade	Fence/Wall/Hedge Height	Clear Height of shop-front assembly (min)	Encroachment into r.o.w. (min-max)
6C. Shopfront	per A.3 of zoning district standards	12' max	min 30'	must be at sidewalk grade	X	12' min except in CBD 1, CBD 2, CC;	2' min. from curb;
6D. Forecourt	12' - 60'	12' max	20' - 60'	4' max	3' max	15' min in CBD 1, CBD 2, CC	8' min vertical clear

Y Not Allowed

Right Of Way

Setback Line

.....

TABLE 6E LOADING DOCK

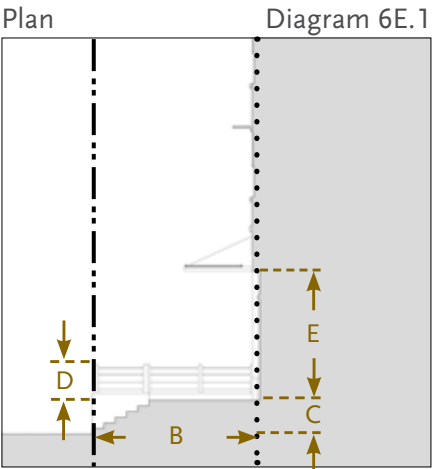
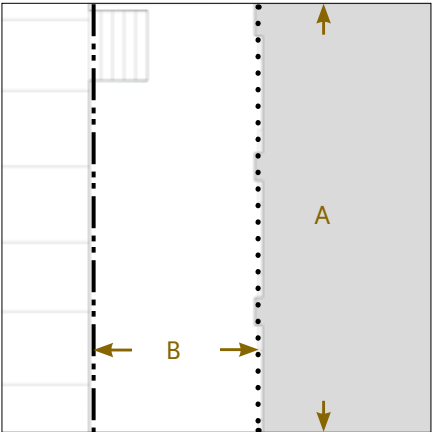


A. Description and Intent: The Loading Dock frontage is intended for industrial settings and may be used in urban settings that are no longer industrial. Exterior stairs are used to access the loading dock surface which is raised above the sidewalk level originally to facilitate the loading and unloading of goods into trains and trucks. For safety reasons, Loading Dock frontages utilize a railing, wall or fence at their perimeter.

Landscaping is not required but if provided, may flank the entry stairs in planters or grade or in containers.

As allowed by Table 7 for the zoning district, signage is located on the building wall, projecting from the building and on awnings or canopies hanging over the loading dock surface.

B. Design Standards.



1. Loading Docks shall comply with the size requirements of Table 6E to be large enough in dimension to allow passage along the loading dock surface without impediments both horizontally and vertically.
2. The exterior stairs can be perpendicular or parallel to the adjacent sidewalk but may not encroach into the right-of-way. The landing may be covered or uncovered in compliance with encroachment requirements in Table 6E.
3. In order to maintain visual connection with the adjacent sidewalk, the overall height of the railing at the perimeter of the loading dock shall not exceed 3 feet above the floor height of the loading dock.
4. Loading docks shall comply with Section 6.2C, General Requirements, as applicable.

TABLE 6F STOOP



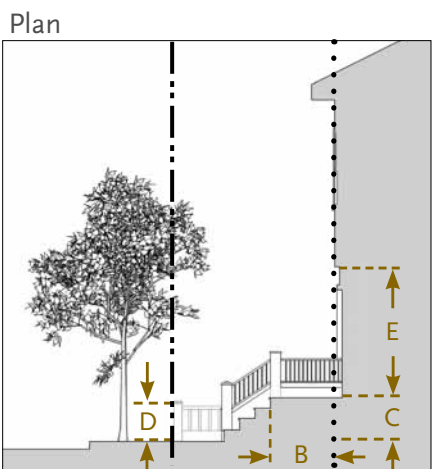
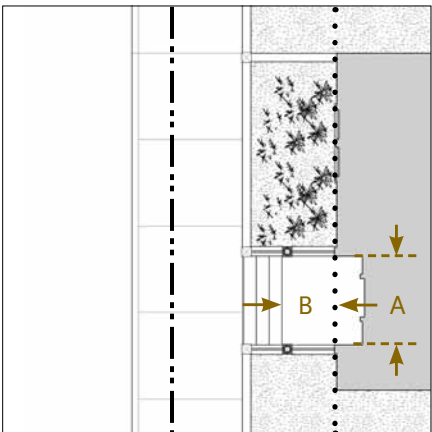
A. Description and Intent: Stoops are stairs that provide access from the adjacent sidewalk to the elevated ground floor, securing privacy for the ground floor rooms near and facing the public street and passersby. This type is suitable for ground-floor residential uses with short setbacks as each stoop corresponds directly to the building entry(s). A roof may cover the stoop.

Landscaping is required and typically flanks the stairs in planters or grade or in containers. Demarcating garden walls are allowed subject to the design standards in subsection B.

As allowed by Table 7 for the zoning district, signage is located on the wall, projecting from the building and within the front setback, as allowed.

B. Design Standards.

1. Stoops shall comply with the size requirements of Table 6F to be of such dimensions to allow for adequate access to the ground floor of the building.
2. The exterior stairs can be perpendicular or parallel to the adjacent sidewalk. The landing may be covered or uncovered.
3. Landscaping shall be located on the sides of the stoop at grade or in raised planters.
4. Low walls and/or fences up to 3 feet tall may be located within the front and/or side street setbacks provided that they are in compliance with all applicable requirements and that the materials and design are compatible with the architectural style of the building.
5. Stoops shall comply with Section 6.2B, General Requirements, as applicable.



KEY TO TABLES 6E AND 6F

Frontage Type	A	B	C	D	E	F
	Width along Facade	Clear Depth	Entry Height above grade	Fence/Wall/ Hedge Height	Clear Height	Encroachment into r.o.w. (min-max)
6E. Loading Dock	per A.3 of applicable zoning district	7' min.	5' max	4' max above loading dock surface	10' min	X
6F. Stoop	4' min.	4' min.	6' max	6' max	8' min	X

X Not Allowed

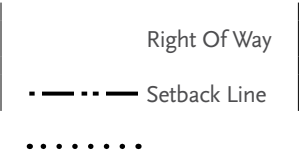


TABLE 6G PORCH

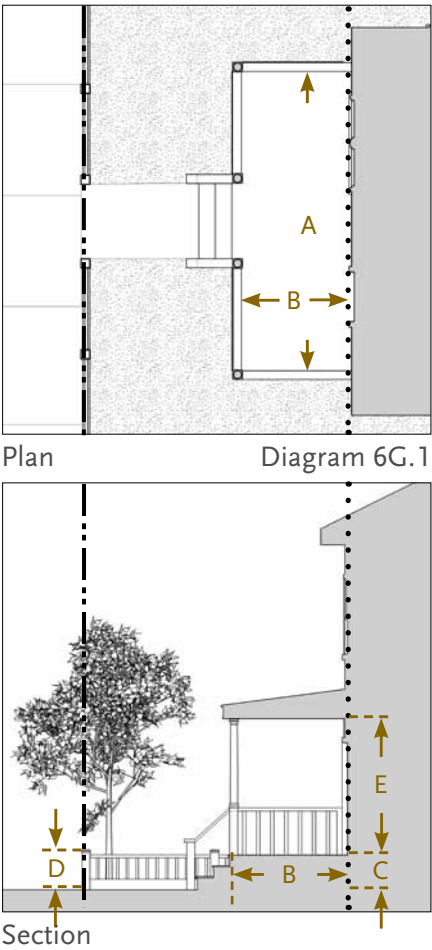


A. Description and Intent: The Porch frontage provides a physical transition from the sidewalk to the private lot and building while maintaining visual connection between buildings and the public space of the street. The porch frontage consists of a building with a front set back from the property line and a porch encroaching into the front yard. The Porch frontage accommodates non-residential as well as non-residential land uses.

Landscape consists of the front yard and its improvements.

As allowed by Table 7 for the zoning district, signage is located on the building wall, hanging from the porch, on awnings, or projecting from the building as well as within the front setback.

B. Design Standards.



1. Porches shall comply with the size requirements of Table 6G to be of such dimensions to accommodate furniture.
2. The front yard may be enclosed by low walls or fences up to 3 feet tall, provided that the materials and design are compatible with the architectural style of the building.
3. The porch may extend around to encroach into the street sideyard within 1/2 of the required setback. If insufficient distance exists, the minimum porch depth shall be achieved by extending the porch into the building.
4. Awnings may be attached to the face of the porch provided that the awning is adequately supported and provided that the awning is compatible with the architectural style of the porch and building.
4. The average grade of the porch surface shall be within 6 feet of the adjacent sidewalk or public open space.
5. Porches shall comply with Section 6.2B, General Requirements and 10.4E, as applicable.

TABLE 6H FRONT YARD



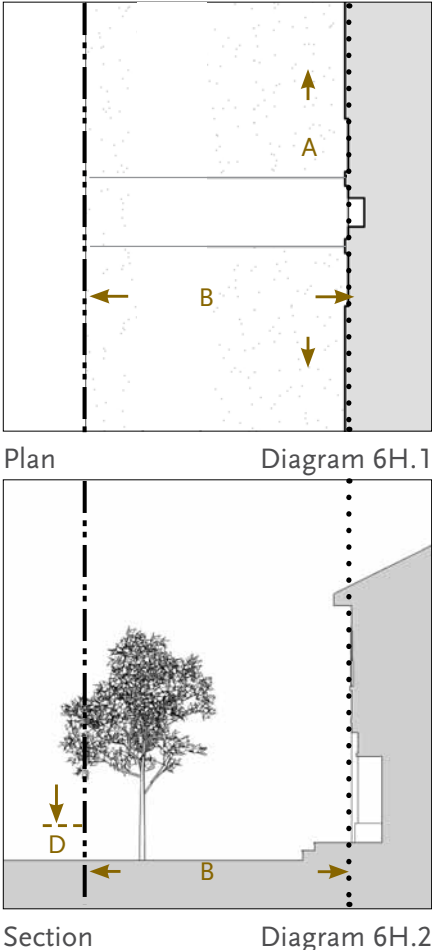
A. Description and Intent: Front yards provide a physical transition from the sidewalk to the private lot and building. Front Yard frontages consist of the building facade being set back from the front property line in a dimension large enough to create a front yard which is visually continuous with neighboring yards. The front yard may be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.

Landscape consists of the front yard and its improvements.

As allowed by Table 7 for the applicable zoning district, signage is located on the wall, within a porch, on awnings, projecting from the building.

B. Design Standards.

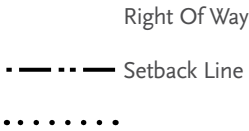
1. Front Yards shall comply with the size requirements of Table 6H to be of such dimensions to achieve visual compatibility with adjacent buildings.
2. Front Yards shall be at similar elevations above grade, no more than 3 feet above the adjacent sidewalk. When Front Yards are raised from the level of the sidewalk, the resulting wall shall be decorative and clad in brick or stone (natural or veneer subject to Section 10.2B.7).
3. The front yard may be enclosed by low walls or fences up to 3 feet tall, provided that the materials and design are compatible with the architectural style of the building.
4. Awnings may be attached to the face of the building provided that the awning is adequately supported and provided that the awning is compatible with the architectural style of the building.
5. A parking court is allowed when less than 1,000 square feet, single-loaded, and behind a garden wall or hedge up to 4 ft tall at least 15 feet from the sidewalk.
6. Front Yards shall comply with Section 6.2B, General Requirements, as applicable.



KEY TO TABLES 6G AND 6H

Frontage Type	A	B	C	D	E	F
	Width along Facade	Clear Depth	Entry Height above grade	Fence/Wall/ Hedge Height	Clear Height (min)	Encroachment into r.o.w. (min-max)
6G. Porch	12' min.	8' min.	2' min; 3' max w/in 10' of PL; 6' max w/in 20' of PL	3' max	8'	X
6H. Front yard	per A.3 of applicable zoning district	per A.3 of applicable zoning district	2' min; 4' max	3' max above grade of yard	not applicable	not applicable

X Not Allowed



7.0 SIGNAGE STANDARDS

7.1. SIGNAGE STANDARDS

- A. Purpose.** This Section provides design standards to ensure that proposed and modified signage is consistent with the City's goals for physical character, land use activity and quality.

B. Applicability. As identified in the following standards, signage shall be designed in compliance with the applicable general requirements in Section 7.2 and all applicable requirements of the Downtown Code.

 - Signs regulated.** Section 7.0 applies to all signage within the Downtown Code boundaries except for the following which are subject to the requirements of Article 17 of the Fresno Municipal Code:
 - real estate signs,
 - special event signs, directional signs,
 - billboard or other off-premise sign regulated by Article 17 of the Fresno Municipal Code and,
 - any sign located in the public right-of-way and installed or maintained by the public works agency of the city or by any other public entity having legal authority to maintain signs.
 - Applicability to sign content.** The provisions of this Section do not regulate the message content of a sign (sign copy), regardless of whether the message content is commercial or noncommercial.
 - Sign permit requirements.** Sign installation for signage subject to the Downtown Code shall require sign permit approval per Section 1.4B3d, in compliance with the applicable requirements of the Downtown Code. As identified in Section 1.4B3.d:
 - Sign Types A-H shall be processed ministerially;
 - Sign Type I shall be subject to the discretionary process;
 - Sign Type J provides standards for a pole sign that is subject to the ministerial process and a pole sign that is subject to the discretionary process based on height and signage area.

C. Allowed Signage Types by Zoning District. Each proposed sign or existing sign to be modified shall be designed as one of the signage types allowed for the zoning district applicable to the site as identified in Table 7.

D. Design Objectives. These sign regulations are intended to appropriately limit the placement, type, size, and number of signs allowed within the Downtown Code boundaries, and to require the proper maintenance of signs to achieve the following:

 - Avoid traffic safety hazards to motorists, bicyclists, and pedestrians, caused by visual distractions and obstructions;
 - Promote the aesthetic and environmental values of the community by providing for signs that do not impair the attractiveness of the City as a place to live, work, and shop;
 - Provide for signs as an effective channel of communication, while ensuring that signs are aesthetically designed and proportioned in relation to adjacent structures and the structures to which they are attached; and
 - Safeguard and protect the public health, safety, and general welfare.

E. Prohibited Signs. All signage types and sizes not expressly allowed by this Section shall be prohibited. Examples of prohibited signs include, but are not limited to the following:

 - Abandoned and illegal signs;
 - Exposed cabinet/raceways;
 - Cabinet signs except in SD G1, SD G2, SD A zoning districts;
 - Signs which are deemed obscene by the City;
 - Because of the City's compelling interest in ensuring traffic safety, signs that simulate in color, size, or design, any traffic control sign or signal, or that make use of words, symbols, or characters in a manner that interferes with, misleads, or confuses pedestrian or vehicular traffic;
 - A sign in the form or shape of a directional arrow, or otherwise displaying a directional arrow, except as approved by the City, or as required for safety and convenience and for control of vehicular and pedestrian traffic within the premises of the subject use;
 - A sign attached to or suspended from a boat, vehicle, or other movable object that is parked within a public right-of-way, or located on private property so that it is visible from a public right-of-way; except a sign painted directly upon, magnetically affixed to, or permanently affixed to the body or other integral part of a vehicle;
 - A sign burned, cut, or otherwise marked on or affixed to a rock, tree, or other natural feature;
 - Animated and moving signs including electronic message display signs, and variable intensity, blinking, or flashing signs, or signs that emit a varying intensity of light or color (not including time and temperature signs or barber poles).

7.0 SIGNAGE STANDARDS

SIGNAGE STANDARDS

TABLE 7

Signage Type	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
A. Wall	See Table 7A	See Table 7A	See Table 7A	See Table 7A	See Table 7A	See Table 7A	See Table 7A	See Table 7A	X	X	X	X	See Table 7A	See Table 7A	See Table 7A	See Table 7A
B. Window	See Table 7B	See Table 7B	See Table 7B	See Table 7B	See Table 7B	See Table 7B	See Table 7B	See Table 7B	X	X	X	X	See Table 7B	See Table 7B	See Table 7B	See Table 7B
C. Awning / Canopy	See Table 7C	See Table 7C	See Table 7C	See Table 7C	See Table 7C	See Table 7C	See Table 7C	See Table 7C	X	X	X	See Table 7C	See Table 7C	See Table 7C	See Table 7C	See Table 7C
D. Sidewalk	See Table 7D	See Table 7D	See Table 7D	See Table 7D	See Table 7D	See Table 7D	See Table 7D	See Table 7D	X	X	X	X	X	X	See Table 7D	See Table 7D
E. Marquee	See Table 7E	See Table 7E	See Table 7E	See Table 7E	See Table 7E	See Table 7E	X	See Table 7E	X	X	X	X	See Table 7E	See Table 7E	See Table 7E	X
F. Projecting	See Table 7F	See Table 7F	See Table 7F	See Table 7F	See Table 7F	See Table 7F	See Table 7F	See Table 7F	X	X	X	X	See Table 7F	See Table 7F	See Table 7F	See Table 7F
G. Monument	X	X	See Table 7G	X	X	X	See Table 7G 1	See Table 7G	X	X	See Table 7G 1	See Table 7G 1	See Table 7G	See Table 7G	See Table 7G	See Table 7G
H. Yard / Porch	X	X	See Table 7H	X	X	X	See Table 7H	X	X	X	See Table 7H	See Table 7H	See Table 7H	See Table 7H	See Table 7H	X
I. Roof	See Table 7I 2	See Table 7I 2	See Table 7I 2	X	See Table 7I 2	See Table 7I 2	X	X	X	X	X	X	See Table 7I 2	See Table 7I 2	X	X
J. Pole	X	X	X	X	X	X	X	See Table 7J	X	X	X	X	See Table 7J	See Table 7J	See Table 7J	X

KEY TO TABLE 7

- XSignage Type not allowed in Zoning District
- 1Freestanding monument sign not allowed
- See Table 7CSignage Type allowed in Zoning District. See reference for requirements.
- 2Allowed only on buildings of at least 5 stories



A. Wall Sign



B. Window Sign



C. Awning / Canopy Sign



D. Sidewalk Sign



E. Marquee Sign



F. Projecting Sign



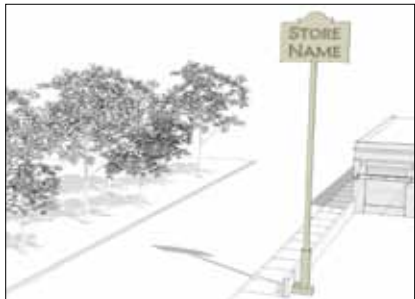
G. Monument Sign (wall-integral)



H. Yard / Porch Sign



I. Roof Sign



J. Pole Sign

7.0 SIGNAGE STANDARDS

7.2. GENERAL REQUIREMENTS FOR ALL SIGNS

A. General Standards

1. Number of signs: The maximum number of signs allowed per building shall be as identified for each sign type. Logos or identification symbols shall be considered signs and shall conform to all provisions of this article.
2. Sign area and height. The maximum sign area and height shall be as identified in the requirements each allowed sign type.

B. Sign Location Standards

Each sign shall be located in compliance with the following requirements and all other applicable provisions of this Section.

1. **On-Premise Signs Required.** Each sign shall be located on the same site as the subject of the sign.
2. **Placement and Setback Requirements.** Each sign shall comply with the building setback and encroachment requirements of the applicable zoning district.
3. **Placement on a Building.** No sign shall be placed so as to interfere with the operation of a door or window. Signs shall not be located so that they cover architectural features of the building, including, but not limited to, transoms, insignias, or any other architectural ornamentation. Signs shall be located in compliance with the requirements of the applicable sign type.
4. **Signs within a public right-of-way.** Any sign installed or placed within the public right-of-way, except such signs as identified below, shall be forfeited to the public and be subject to confiscation:
 - a. An allowed sign in compliance with Table 7;
 - b. Temporary, portable signs placed during business hours only:
 - i. A-frames/sandwich board, portable sidewalk signs;
 - ii. Flags, except official national, state, or local government, institutional or corporate flags, properly displayed; and
 - iii. Event banners and lighting as allowed in Section 10.3C.4
 - c. Public signs erected by or on behalf of a governmental agency to convey public information, identify public property, post legal notices, or direct or regulate pedestrian or vehicular traffic;
 - d. Bus stop signs installed by a public transit company;
 - e. Informational signs of a public utility regarding its lines, pipes, poles, or other facilities; or
 - f. Emergency warning signs erected by a governmental agency, a public utility company, or a contractor doing authorized work within the public right-of-way.

No person, except a public officer or employee in the performance of a public duty or a private person in giving a legal notice, shall paste, post, paint, nail, tack, or otherwise fasten any card, banner, handbill, sign, poster, or advertisement of any kind upon any property without the written consent of the owner, holder, lessee, agent or trustee thereof.

C. Sign Design Standards

The following design criteria shall be used in reviewing the design of individual signs.

1. **Design and construction**
 - a. Signs shall be visually consistent with the architectural design and proportions of the building it is attached to.
 - b. Except for banners, flags, special event signs, and temporary

window signs, each sign shall be constructed of permanent materials and shall be permanently attached to the ground, a building, or another structure by direct attachment to a rigid wall, frame, or structure.

- c. All signs and their supporting structures shall be so enclosed as to provide against their infestation by birds and vermin.
 - d. Each permanent sign shall be constructed to achieve signage of careful construction, neat and readable copy, and durability, to reduce maintenance costs and prevent dilapidation.
2. **Materials and structure.**
 - a. Materials for permanent signs shall be durable and capable of withstanding weathering over the life of the sign with reasonable maintenance. Durable materials include but are not limited to the following: Wood, metal, acrylic or plexi-glass and neon, and shall exclude foam, regardless of density.
 3. **Street address.** The City may require that a sign include the street address of the site, where it is determined that public safety and emergency vehicle response would be more effectively served than if the street address were displayed solely on one or more buildings on the site.
 4. **Copy design.** The City does not regulate the message content (copy) of signs but sets forth the following requirements of copy design and layout to enhance the readability and attractiveness of signs.
 - a. Sign copy shall relate only to the name and/or nature of the business or commercial center.
 - b. Permanent signs that advertise continuous sales, special prices, or include phone numbers are not allowed.
 - c. Information shall be conveyed briefly or by logo, symbol, or other graphic manner. The intent shall be to increase the readability of the sign and thereby enhance the identity of the business.
 5. **Sign Lighting.** Sign lighting shall be designed to minimize light and glare on surrounding rights-of-way and properties.
 - a. External light sources shall be directed and shielded so that they do not produce glare off the site, on any object other than the sign.
 - b. Colored lights shall not be used at a location or in a manner so as to be confused or construed as traffic control devices.
 - c. Neither the direct nor reflected light from primary light sources shall create hazards for pedestrians or operators of motor vehicles.
 - d. For energy conservation, light sources shall be hard-wired fluorescent or compact fluorescent lamps, or other lighting technology that is of equal or greater energy efficiency. Incandescent lamps are prohibited, except when used in signs of historic character as part of the architectural design.
 6. **Sign Maintenance.**
 - a. Each sign and supporting hardware, including temporary signs and awning signs, shall be maintained in good repair and functioning properly at all times. Any damage to a sign or its illumination, including the failure of illumination, shall be repaired within a maximum of 14 days from the date of damage or failure.
 - b. A repair to a sign shall be of materials and design of equal or better quality as the original sign.
 - c. A sign that is not properly maintained and is dilapidated shall be deemed a public nuisance, and may be abated in compliance with the Fresno Municipal Code.
 - d. When an existing sign is removed or replaced, all brackets, poles, and other supports that are no longer required shall be removed and the surface it was attached to repaired and painted to match the building.
 7. **Requirements for Preservation of existing historic signs**
 - a. Historically significant painted wall signs shall be retained or

7.0 SIGNAGE STANDARDS

recreated when possible.

- b. Mounted signs announcing the name of a business no longer in existence at the sign's location and having historical significance may be salvaged and relocated.
- c. All architectural signage in place on the building announcing the original or historic name of the building, year of construction or insignias shall remain in place and shall not be removed, altered or covered under any circumstances.
- d. Historic signage shall not be calculated as part of the overall signage permitted pursuant to this division.

8. **Requirements for Building identification signs.** Building identification signs shall comply with the following standards:

- a. There shall be no specific size requirements, but building identification signs shall be sized proportionately to the building being identified and to the sign area in which it is located.
- b. Building identification signs may contain the name of a building, or describe its function or tenant, but may not identify any products sold.
- c. Building identification signs may be made of illuminated individual letters applied to the building face, may be engraved into the building's material, or may be low-relief.

9. **Requirements for Building directory or Address signs.** A directory sign identifying businesses above the ground level shall comply with the following standard:

- a. Must be located at the ground level and adjacent to the entry point for the upper levels.
- b. No more than one directory sign per ground level entrance.
- c. The area of the directory sign shall not exceed six square feet.
- d. The directory sign may only identify the names of businesses above the ground level.
- e. Letter height shall not exceed two inches.

10. **Requirements for Service entry wall signs.**

- a. Must be located adjacent to the ground level service entrance.
- b. No more than one service entry wall sign per business.
- c. The area of the service entry sign shall not exceed four square feet.

11. **Requirements for Special sale signs.** Temporary signs announcing special sales shall comply with the following standards:

- a. No more than two temporary signs are permitted per business.
- b. Such signs may be posted for no more than fourteen days during any ninety-day period.

12. **Requirements for Credit card and trading stamp signs.** Signs announcing credit card acceptance or trading stamps shall comply with the following standards:

- a. No more than three such signs are allowed for each business.
- b. Such signs shall not exceed one square foot individually nor three square feet collectively.
- c. Such signs are permitted only in ground level windows.

13. **Requirements for Construction signs.** Signs pertaining to construction activity shall comply with the following standards:

- a. The sign face shall not exceed sixteen square feet in size.
- b. The signs shall not be placed more than eight feet in height when freestanding or attached to a fence.
- c. Signs must be removed within thirty (30) days after issuance of an occupancy permit for the building.

14. **Requirements for Informational signs.** Signs that display time and temperature or similar public service displays (which are not considered signs), and rotating barber poles, shall comply to the following standards:

- a. No more than one (1) sign per building;
- b. Must be permanently attached to the building and follow the same standards for Projecting Signs and Marquee Signs as identified in Section 7.0.

D. **Non-Conforming Signage Standards**

A nonconforming sign is any permanent or temporary sign that was legally established and maintained in compliance with the provisions of all applicable laws in effect at the time of original installation but that does not now comply with the provisions of the Downtown Code.

1. **General requirements.** A nonconforming sign shall not be:

- a. Changed to another nonconforming sign;
- b. Structurally altered to extend its useful life while continuing the nonconformities;
- c. Enlarged or modified to be more non-conforming;
- d. Re-established after a business is discontinued for 90 days or more; or
- e. Re-established after damage or destruction to 50 percent or more of the value of the sign, or its components, as determined by the Building Official.
- f. Located on a site on which the building exteriors are undergoing remodeling, renovation or rehabilitation.

2. **Maintenance and changes.** Non-structural modifications, including the changing of the sign face or copy of a previously approved cabinet sign, and non-structural maintenance (e.g., painting, rust removal) are allowed up to a maximum of 25 percent of the existing total area of the sign. Any non-structural modifications exceeding 25 percent of the existing total area of the sign, and any structural changes, shall result in the loss of non-conforming status.

E. **Calculation of Sign Area.** Signage shall be allowed based on the following and as identified in Diagram 7.K.

7.3. REQUIRED FINDINGS

Each application involving Section 7.0 shall require consistency with the following required findings, as applicable:

- 1. Generates or maintains a pedestrian-oriented streetscape through the design of signage which is contextually appropriate to the allowed frontage(s).
- 2. Is consistent with the intent of the applicable frontage(s) along which the building(s) is located.
- 3. Is in compliance with the applicable requirements of Section 7.0 and the applicable signage type(s).

TABLE 7A WALL SIGN



Examples of Wall Signage Type

A. Description and Intent: A sign that is painted or applied directly to the wall, typically above the shopfront or more creatively as approved by the City.

This type consists of a single externally illuminated panel or individual letters including a logo and does not include cabinet signs. This type of sign is intended for viewing from across the street and along the sidewalk.

Wall signs shall comply with the applicable design standards in subsection B.

B. Design Standards.



Diagram 7A.1

- Maximum of 1 wall sign per business that pertains to a storefront bay along frontage of building;
- Sign shall be located above the openings on the ground floor or above the openings on the uppermost story of the building.
- Maximum thickness of sign as measured from the wall shall not exceed 4 inches;
- Minimum of 24 inches between sign and any opening or edge of the building facade;
- Minimum of 12 inches between sign and an eave or parapet;
- If illuminated, individual letters required and shall be either internally illuminated or externally illuminated with decorative lamps mounted to maintain visual integrity of the sign.

WALL SIGN	Sign Size and Area	
	Min.	Max.
a Height	n.a.	18 in.
b Width (as % of facade width)	n.a.	60%
c Feature (allowed beyond sign area)	n.a.	6 sq ft

Building is allowed the following signs in addition to the Wall sign, as allowed by Table 7								
Window	Awning	Sidewalk	Marquee	Projecting	Monument	Yard	Roof	Pole
A	A	A	A	A	A		A	A
Key A = Allowed subject to applicable requirements								

TABLE 7B WINDOW SIGN



Examples of Window Signage Type

A. Description and Intent: A sign that is painted or applied directly to the storefront window(s) and/or door(s).

This type consists of individual letters, including a logo with allowances for contrasting background. This type of sign is intended for viewing from across the street and at close range.

Window signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

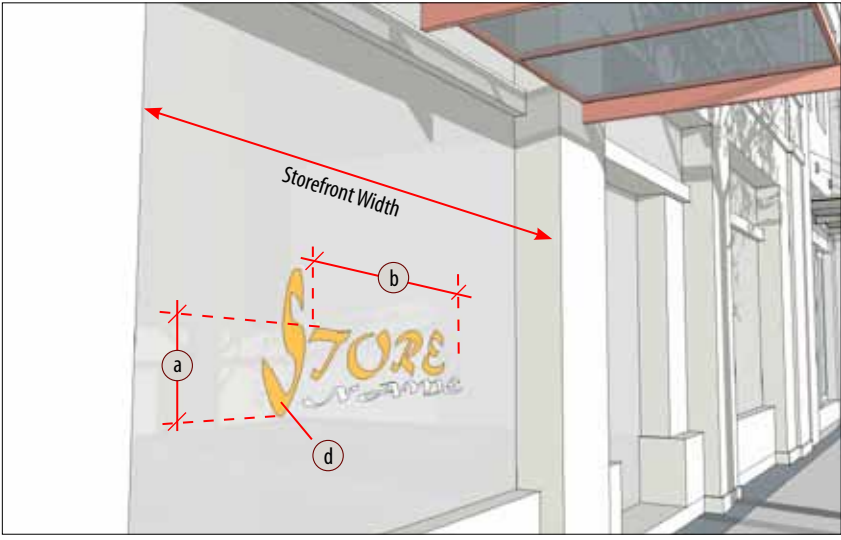


Diagram 7B.1

- Maximum of 1 window sign per storefront;
- Minimum of 75% of window sign shall be independent of contrasting background;
- Signage inside the shopspace is not allowed within 4 feet of the window;
- Storefront width is measured between walls or columns of at least 8" in width.

WINDOW SIGN	Sign Size and Area	
	Min.	Max.
a Height	n.a.	15 in
b Width (as % of storefront width)	n.a.	40%
c Contrasting background (as % of a x b)	n.a.	25%
d Feature (allowed beyond sign area)	n.a.	2 sq ft

Building is allowed the following signs in addition to the Window sign, as allowed by Table 7								
Wall	Awning	Sidewalk	Marquee	Projecting	Monument	Yard	Roof	Pole
A	A	A	A	A	A	A	A	A
Key A = Allowed subject to applicable requirements								

TABLE 7C AWNING/CANOPY SIGN



Examples of Awning / Canopy Signage Type (awning on left; canopy on right)

A. Description and Intent: A sign that is integral to the awning or canopy above a storefront.

This type of sign may be located either on the valence face of the awning that faces the street or on the valence perpendicular to the building. Also included is a feature area on the main panel. For canopies, this type of sign is located on top of and along the front edge of the canopy. This type of sign is intended for viewing at close range.

Awning / Canopy signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

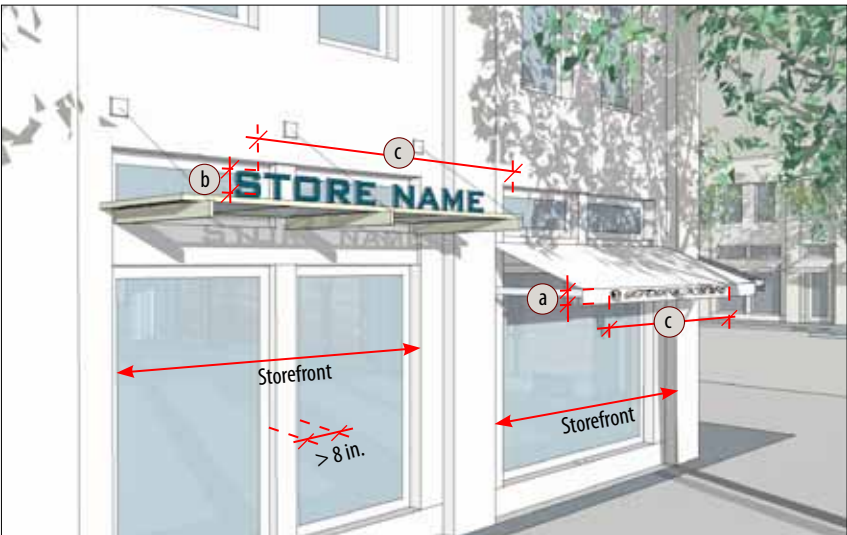


Diagram 7C.1

- 1. Maximum of 1 sign per awning / canopy;
- 2. Each awning / canopy shall correspond to a storefront per applicable requirements of Section 6.0 Frontage;
- 3. Main panel of awnings shall only be used for logo feature and shall not be for additional signage area;
- 4. Internal illumination of awning(s) is prohibited;
- 5. Canopy sign may extend above the top of the canopy for a maximum of 24" in height;
- 6. Encroachment permit required, within r.o.w.

AWNING / CANOPY SIGN	Sign Size and Area	
	Min.	Max.
a Height: awning valance	6 in	12 in
b Height: canopy valance	n.a.	2 ft
c Width (as % of awning/canopy width)	n.a.	75%
d Feature (logo) for awning main panel	n.a.	2 sq ft
e Feature (allowed beyond canopy sign area)	n.a.	3 sq ft

Building is allowed the following signs in addition to the Projecting sign, as allowed by Table 7								
Wall	Window	Sidewalk	Marquee	Projecting	Monument	Yard	Roof	Pole
A	A	A	A	A				
Key A = Allowed subject to applicable requirements								

TABLE 7D SIDEWALK SIGN



Examples of Sidewalk Signage Type

A. Description and Intent: A two-sided, non-illuminated, portable sign that is placed outside of the storefront on the adjacent sidewalk for viewing at close range.

The sidewalk sign is intended for use by restaurants, cafes, other food-oriented businesses, theaters and other such activities.

Sidewalk signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

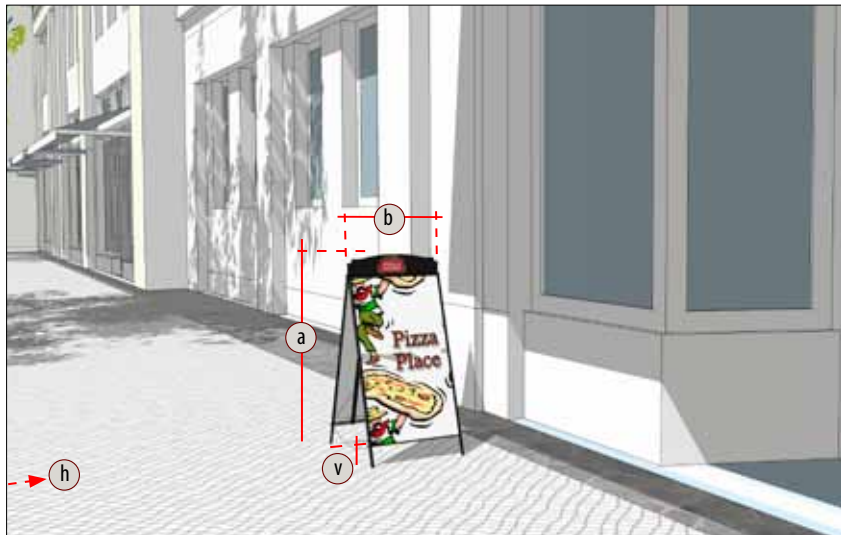


Diagram 7D.1

- 1. Maximum of 1 sign per business with a minimum distance of 25 feet from the nearest sidewalk sign;
- 2. Sign shall be vertically oriented and have no more than 2 sides;
- 3. Sign shall be placed as close as possible to the business storefront/edge of outdoor seating or along the street edge of the adjacent sidewalk;
- 4. Encroachment permit required when within the r.o.w. Adequate pedestrian access shall be maintained;
- 5. Materials shall not include vinyl or plastic. Lighting shall be from ambient sources.

SIDEWALK SIGN	Sign Size and Area	
	Min.	Max.
a Height	18 in	3 ft
b Width	18 in	2 ft
c Thickness of each side	none	4 in
f Feature (allowed beyond sign area)	na	na
v Vertical clearance from adjacent s.w.*	3 in	none
h Horizontal clearance from adjacent curb	18 in	none
* except for legs/supports of sign		

Building is allowed the following signs in addition to the Sidewalk sign, as allowed by Table 7								
Wall	Window	Awning	Marquee	Projecting	Monument	Yard	Roof	Pole
A	A	A	A	A			A	
Key A = Allowed subject to applicable requirements								

TABLE 7E MARQUEE SIGN



Examples of Marquee Signage Type (3-sided on left; 2-sided on right)

A. Description and Intent: A vertically-oriented two- to three-sided sign that projects from the facade over a sidewalk, public open space or other public right-of-way and may project above the building’s parapet. This type of sign is intended for viewing along the sidewalk and down the street from the adjacent block.

Marquee signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

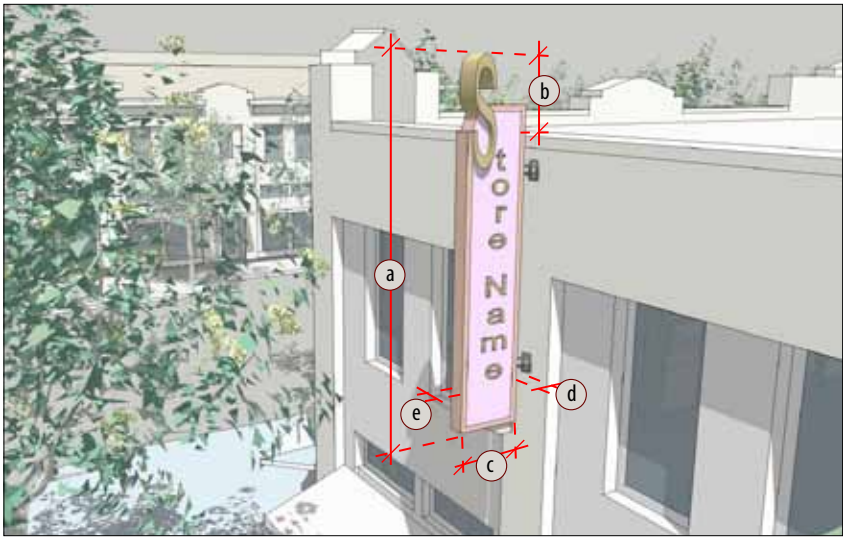


Diagram 7E.1

- 1. Maximum of 1 marquee sign per building;
- 2. Sign shall be vertically-oriented and placed within the top half of single-story buildings and on the upper floor(s) of multi-story buildings;
- 3. Encroachment permit required if projecting over R.O.W.

MARQUEE SIGN	Sign Size and Area	
	Min.	Max.
a Height	n.a.	35% of Facade Height
b Height above eave or parapet	n.a.	10 ft
c Width of each sign face (up to 3 max)	n.a.	20 ft
d Distance from wall	n.a.	18 in
e Thickness	n.a.	4 in
f Feature (allowed beyond sign area)	n.a.	6 sq ft
g Vertical clearance from adjacent s.w.	10 ft	n.a.
h Horizontal clearance from adjacent curb	6 ft	n.a.

Building is allowed the following signs in addition to the Marquee sign, as allowed by Table 7								
Wall	Window	Awning	Sidewalk	Projecting	Monument	Yard	Roof	Pole
A	A	A	A	A				
Key A = Allowed subject to applicable requirements								

TABLE 7F PROJECTING SIGN



Examples of Projecting Signage Type

A. Description and Intent: A two-sided sign that projects over a sidewalk (public or private) or open space (public or private). This type of sign is intended for viewing at close range.

Projecting signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

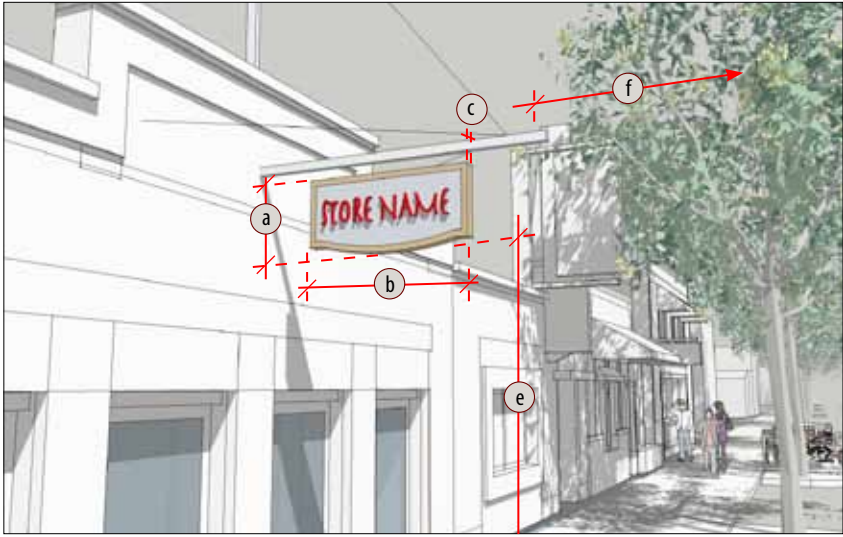


Diagram 7F.1

- 1. Maximum of 1 projecting sign per business along frontage;
- 2. If illuminated, shall not be internally illuminated cabinet sign;
- 3. Supporting hardware such as brackets shall be architecturally compatible with the building facade;
- 4. Not allowed under an awning or horizontally within 5 feet of an awning or another projecting sign;
- 5. Encroachment permit required if within R.O.W.

PROJECTING SIGN	Sign Size and Area	
	Min.	Max.
a Height	n.a.	2 ft
b Width	n.a.	3 ft
c Thickness	n.a.	3 in
d Feature (allowed beyond sign area)	n.a.	1.5 sq ft
e Vertical clearance from adjacent s.w.	8 ft	12 ft
f Horizontal clearance from adjacent curb	2 ft	n.a.

Building is allowed the following signs in addition to the Projecting sign, as allowed by Table 7							
Wall	Window	Awning	Sidewalk	Marquee	Monument	Yard	Pole
A	A	A	A	A			
Key A = Allowed subject to applicable requirements							

TABLE 7G MONUMENT SIGN



Examples of Monument Signage Type (wall-integral on left; freestanding on right)

A. Description and Intent: A sign that is located within frontages where the building is setback substantially from the sidewalk and the sign is to be viewed from a distance along the street.

This type of sign typically occurs as part of site-defining landscape, in the form of a low wall that may include gateway that encloses outdoor dining or open space areas. This type of sign may occur as a freestanding sign subject to location and size limitations aimed at scale and compatibility with pedestrian frontages.

Monument signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

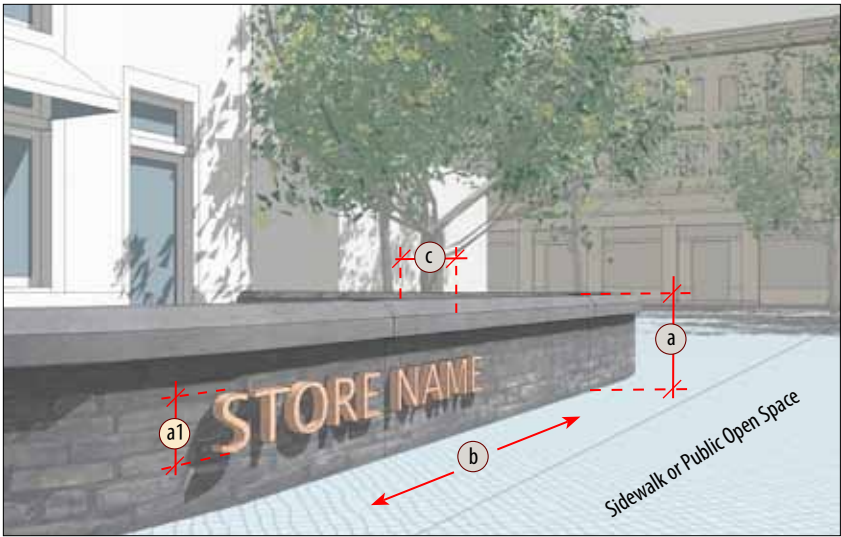


Diagram 7G.1

1. A maximum of 1 sign may be placed at each end of the wall when there is at least 50 feet between each sign. For freestanding monument signs, max of 1 sign and min of 75 feet horizontal separation from another freestanding monument sign.
2. Not allowed to encroach into any required visibility area, right-of-way, or private street;
3. Colors and materials shall match the building style and details.
4. Lighting shall be from external or ambient sources.

MONUMENT SIGN		Sign Size and Area					
		Min.	Max.				
a	Height of wall or freestanding panel	3 ft	5 ft [1]				
a1	Height of Sign Area	none	18 in				
	Length of Sign Area	none	90% of b				
b	Length along frontage (wall-integral)	none	lot frontage				
b	Width (freestanding)	2 ft	7 ft				
c	Thickness of wall or freestanding panel	n.a.	18 in				
d	Feature (allowed beyond sign area)	n.a.	2 sq ft				
e	Horizontal clearance from adjacent curb	5 ft	n.a.				
[1] gates or arches leading to forecourts and other such areas may be up to 10 feet tall and shall match the architectural style of the main building.							
Building is allowed the following signs in addition to the Monument sign, as allowed by Table 7							
Wall	Window	Awning	Sidewalk	Marquee	Projecting	Yard	Pole
A	A	A	A				
Key A = Allowed subject to applicable requirements							

TABLE 7H YARD / PORCH SIGN



Examples of Yard / Porch Signage Type (Yard on left; Porch on right)

A. Description and Intent: This sign type consists of two related signs that occur within the front yard and porch areas of a building's frontage.

Yard - A two-sided sign that is located on a post within frontages where the building is setback from the sidewalk to be viewed along the sidewalk at close range.

Porch - A sign that is hung from the porch entry to the building to be viewed from the sidewalk at close range.

Yard / Porch signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

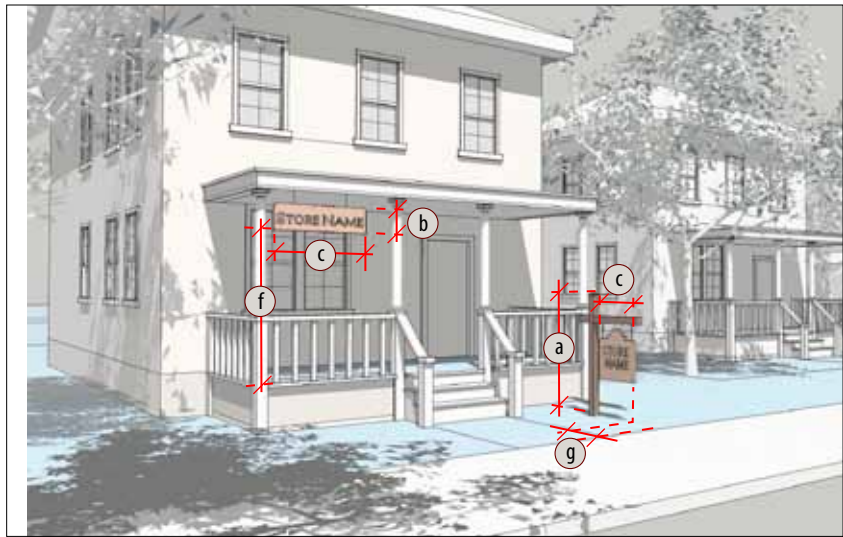


Diagram 7H.1

1. Maximum of 1 yard and porch sign per building;
2. Signs shall not encroach into a right-of-way or private street;
3. If illuminated, external illumination required and shall be mounted to maintain visual integrity of the sign;
4. Supporting hardware such as brackets shall be architecturally compatible with the main building.

YARD / PORCH SIGN		Sign Size and Area	
		Min.	Max.
a	Height: Yard sign (may be disaggregated into no more than 2 connected signs)	n.a.	5 ft
b	Height: Porch sign	n.a.	15 in
c	Width	n.a.	3 ft
d	Thickness	n.a.	3 in
e	Feature (allowed beyond sign area)	n.a.	1.5 sq ft
f	Vertical clearance from porch surface	8 ft	12 ft
g	Horizontal clearance from adjacent sidewalk	6 in	n.a.

Building is allowed the following signs in addition to the Yard/Porch sign, as allowed by Table 7								
Wall	Window	Awning	Sidewalk	Marquee	Projecting	Monument	Yard	Pole
A	A	A						
Key A = Allowed subject to applicable requirements								

TABLE 7I ROOF SIGN



Examples of Roof Signage Type

A. Description and Intent: A sign that is for use on block-scale buildings at least 5 stories in height such as hotels, conference centers, and certain civic buildings.

This type of sign is intended for viewing from a distance to help emphasize the identity and presence of a particular area as a whole and therefore, the signage is allowed to be more inventive.

Roof signs shall comply with the applicable design standards in subsection B.

B. Design Standards.

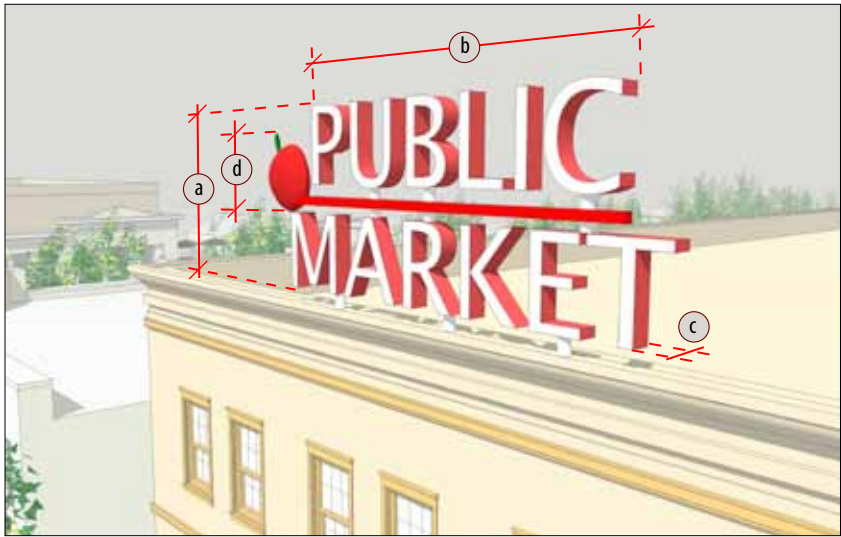


Diagram 7I.1

- 1. Maximum of 1 roof sign per building;
- 2. Minimum building height of 5 stories and minimum site frontage along primary street of 150 feet;
- 3. Signs shall not encroach into a right-of-way or private street;
- 4. If illuminated, external illumination required and shall be mounted to maintain visual integrity of the sign;
- 5. Supporting hardware such as brackets shall be architecturally compatible with the main building.

ROOF SIGN Sign Size and Area		
	Min.	Max.
a Height	10 ft	25 ft
b Length	15 ft	50 ft
c Thickness	none	18 in
d Feature (allowed beyond sign area)	none	25 sq ft

Building is allowed the following signs in addition to the Roof sign, as allowed by Table 7								
Wall	Window	Awning	Sidewalk	Marquee	Projecting	Monument	Yard	Pole
A	A	A	A		A			
Key A = Allowed subject to applicable requirements								

TABLE 7J POLE SIGN



Examples of Pole Signage Type

A. Description and Intent: A vertically-oriented sign that is detached from the main building, located along the primary frontage, consisting of a single structural support with the sign mounted at the top.

This type of sign is intended for viewing from a distance to identify a business set back and not readily visible from the street.

Pole signs shall comply with the applicable design standards in subsection B.

B. Design Standards.



Diagram 7J.1

- 1. Maximum of 1 pole sign per site. Minimum site frontage along primary street is 300 feet except no minimum for fueling station;
- 2. Signs shall not encroach into a right-of-way;
- 3. If illuminated, sign shall not be internally illuminated; illumination shall maintain visual integrity of the sign;
- 4. Maximum of two businesses to be identified on the sign;
- 5. Supporting hardware such as brackets shall be architecturally compatible with the architectural style of the main building.

POLE SIGN Sign Size and Area					
		Ministerial		Discretionary	
		Min.	Max.	Min.	Max.
a Height to top of Sign		10 ft	20 ft	no min	25 ft
b1 Width of Sign		3 ft	10 ft	no min	12 ft
b2 Height of Sign		no min	8 ft	no min	10 ft
c Thickness		none	12 in	none	12 in
d Distance from r.o.w.		2 ft	n.a.	2 ft	n.a.
e Feature (allowed beyond sign area)		none	25 sq ft		

Building is allowed the following signs in addition to the Pole sign, as allowed by Table 7									
Wall	Window	Awning	Sidewalk	Marquee	Projecting	Monument	Yard	Pole	
A	A	A	A						fuel price only
Key A = Allowed subject to applicable requirements									

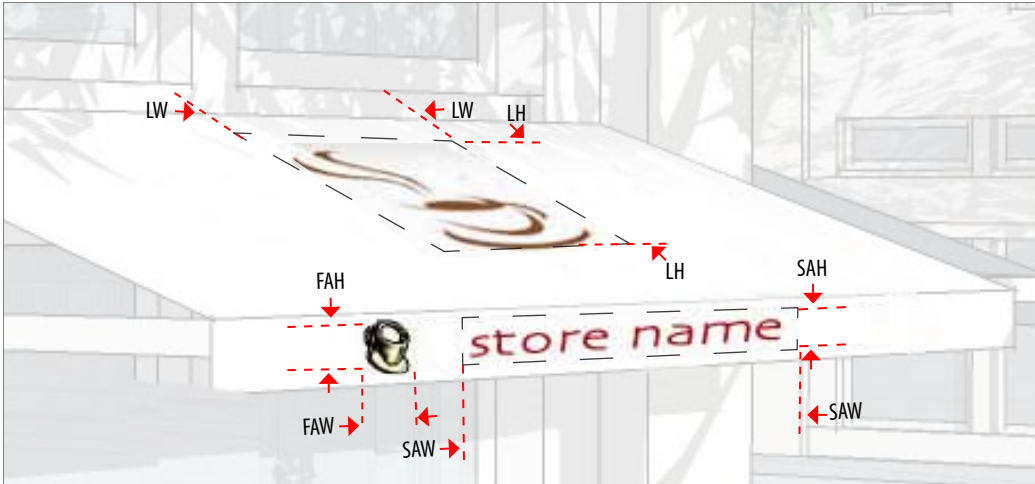
7.0 SIGNAGE STANDARDS

Calculation of Sign Area Diagram 7.K

- 1. Sign structure shall mean the physical sign that supports a sign that is attached to a building. This does not include signs that are painted directly on a wall or individual letters that are individually mounted on a wall;
- 2. Sign size shall mean the allowed size that a particular sign type may be;
- 3. Sign area shall mean the allowed location and physical amount of area that signage may occupy;
- 4. Feature sign area shall mean the allowed amount and location for a particular element of a sign that may extend beyond the allowed sign area.

Key

LW	Logo Width
LH	Logo Height
SW	Sign Width
SAW	Sign Area Width
SH	Sign Height
SAH	Sign Area Height
FAW	Feature Area Width
FAH	Feature Area Height



8.0 OPEN SPACE AND LANDSCAPE STANDARDS

8.1. OPEN SPACE AND LANDSCAPE STANDARDS

A. Purpose. This Section provides design standards to ensure that proposed development is consistent with the City's goals for open space distribution, pyhsical character and quality.

B. Applicability. As identified in the following standards, open space and landscape shall be designed in compliance with the applicable general requirements in Section 8.2 and all applicable requirements of the Downtown Code.

Proposed buildings within the Downtown Code boundaries shall comply with the applicable requirements of the zoning district and overlay identified for the property in Figure 2.

C. Open Space Required. Each application that involves at least 4 acres, except in the SD G1, SD G2, and SD A zoning districts, shall be required to provide a minimum of five percent of the project area as open space. The required open space shall be designed and constructed in compliance with the applicable requirements of Section 8.0.

D. Allowed Open Space Types by Zoning District. Each proposed open space or existing open space to be modified shall be designed as one of the open space types allowed for the zoning district applicable to the site as identified in Table 8A. The Community Garden / Playground open space type is allowed in all zoning districts and as such, may be added to any allowed open space type subject to the applicable requirements.

- E. Design Objectives.** Each open space shall be designed to:
- 1. Provide community gathering space within the general area identified in Figure 2;
 - 2. Support the intended physical context as identified in the DNCP or FCSP as applicable;
 - 3. Relate in size and scope of activity to the block(s) that the open space enfronts.

8.2 GENERAL REQUIREMENTS FOR OPEN SPACES

The following requirements apply to all open spaces subject to the Downtown Code. Standards listed under each open space type supplement or supersede those identified in this section.

A. Site Standards.

All open spaces shall be designed per the applicable lot width and depth standards to ensure that new and modified buildings and the areas between them are built to the scale and character of surrounding buildings as follows:

- 1. New or modified open spaces shall front a street (public or private) that is in compliance with the standards in Section 1 for the applicable building type.
- 2. New or modified open spaces may contain buildings as allowed by the applicable zoning district.
- 3. Civic building(s) are allowed subject to all applicable requirements of the Downtown Code except Section 5.0.

B. Pedestrian Access Standards.

- 1. Pedestrian access to open spaces must be provided directly from the adjacent street(s) in compliance with all applicable ADA requirements.
- 2. Open spaces may be raised from the adjacent sidewalk up to a maximum of 4 feet in order to provide maximum visiblity into the open space and to maintain visual connection with the pedestrian.
- 3. Retaining walls shall comply with Section 10.2B.7 in addition to the requirements of the California Building Code.

C. Vehicle and Service Access Standards.

- 1. On-street parking shall be allowed along adjacent streets in compliance with Section 9.0 'Block and Street Standards'.
- 2. Open spaces shall provide and place parking (on-site and/or shared off-site) as required by Section D of the applicable zoning district development standards.
- 3. For corner sites without alley access, parking and service areas are accessed from the side street nearest the rear property line.
- 4. Services (utility access, above-ground equipment and trash enclosures) shall be accessed through the alley when an alley is present. When an alley is not present, services shall be located toward the rear of the site and contained within decorative enclosures or structures.

8.0 OPEN SPACE AND LANDSCAPE STANDARDS

ALLOWED OPEN SPACE TYPES																	TABLE 8
Type	Zoning District																
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H	
A. Plaza	See Table 8A	See Table 8A	See Table 8A	See Table 8A	See Table 8A	See Table 8A	X	X	X	X	X	X	X	X	X	See Table 8A	
B. Square	See Table 8B	See Table 8B	See Table 8B	See Table 8B	See Table 8B	See Table 8B	See Table 8B	See Table 8B	X	X	X	X	X	X	X	See Table 8B	
C. Green	X	X	See Table 8C	X	X	See Table 8C	See Table 8C	See Table 8C	See Table 8C	See Table 8C	See Table 8C	See Table 8C	X	X	X	See Table 8C	
D. Park	X	X	X	X	X	X	X	X	See Table 8D	See Table 8D	See Table 8D	See Table 8D	X	X	X	X	
E. Pocket Park	X	X	X	See Table 8E	See Table 8E	See Table 8E	See Table 8E	See Table 8E	See Table 8E	See Table 8E	See Table 8E	X	See Table 8E	See Table 8E	See Table 8E	See Table 8E	
F. Greenway	X	X	X	See Table 8F	X	X	X	X	See Table 8F	See Table 8F	See Table 8F	See Table 8F	See Table 8F	See Table 8F	See Table 8F	X	
KEY TO TABLE 8																	
X Open Space Type not allowed in Zoning District																	
See Table 8C Open Space Type allowed in Zoning District. See reference for requirements.																	
Community Garden and/or Playground may be added within any allowed open space type																	



A. Plaza



B. Square



C. Green



D. Park



E. Pocket Park



F. Greenway

D. Frontage Standards.

All lot lines bordering a street (public or private) are subject to frontage standards in Section 6.0 as follows:

- 1. Building facades shall be designed in compliance with the requirements for front and side street facades in Section A.3 of the applicable zoning district development standards. Entrance doors, and public rooms shall be oriented toward the street or be visually prominent from the street through an entry within the open space.
- 2. Service rooms shall be oriented away from public view and away from the street when possible.

E. Sustainable Stormwater Standards

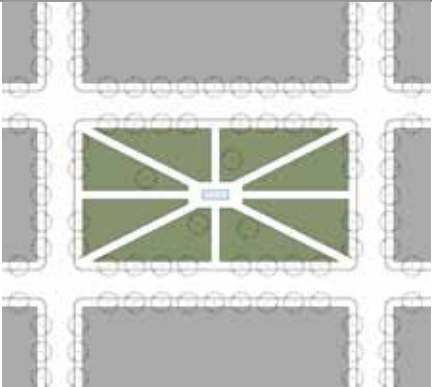
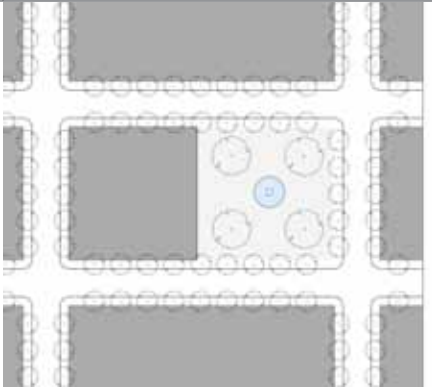






- 1. Each open space and its associated building(s) shall comply with the applicable City requirements related to stormwater.
- 2. Stormwater shall be collected and reused to the extent possible, as determined by the DRM Director or designee through any of the following as applicable to the site and its context:
 - i. Rain gardens
 - ii. Pervious paving systems
 - iii. Flow-through or infiltration planters
 - iv. Hollywood driveways
 - v. Disconnected downspouts
 - vi. Rain barrels
 - vii. Cisterns

8.3 REQUIRED FINDINGS FOR OPEN SPACE













Each application involving Section 8.0 shall require consistency with the following findings in order to be approved:

- 1. The application is in conformance with the applicable requirements of Table 8 and;
- 2. The application is in conformance with the intent of the zoning district in which the property is located;
- 3. As applicable, the application is in conformance with Sections A 'Building Placement', B 'Adjacency and Height' and, C 'Encroachment' of the applicable zoning district standards;
- 4. The proposed design does not disrupt or detract from the general intended pattern for the subject block face, the immediately adjacent block faces, and the block face immediately across from the property's primary frontage.

8.0 OPEN SPACE AND LANDSCAPE STANDARDS

Open Space Type	COMMUNITY GARDEN	TABLE 8A	TABLE 8B
	PLAYGROUND	PLAZA	SQUARE
Illustrative Plan Diagram	not applicable		
Examples of Intended Physical Character			
			
Requirements			
A. Area (min - max)	The Community Garden / Playground type to occur within an allowed open space type per the applicable requirements for the type.	0.40 - 1.00 acres	0.10 - 1.00 acres
B. Frontage (min)		3 streets	1 street
C. Access		from adjacent sidewalk by accessible path	from adjacent sidewalk by accessible path
D. Parking			
On-Site		not allowed	not allowed
Off-Street		parallel or diagonal	parallel or diagonal
E. Landscape			
Primary Surface		lawns	pavement
Tree placement		formally arranged	formally arranged
Tree Species		Per Table 8G	Per Table 8G
F. Hardscape Materials		context responsive, more elaborate for commercial activity (brick, stone, concrete) vs. residential activity (decomposed granite)	context responsive, more elaborate for commercial activity (brick, stone, concrete) vs. residential activity (decomposed granite)
G. Buildings Allowed		shade structures, kiosks, restrooms per zoning district	shade structures, kiosks, restrooms per zoning district
H. Furniture Allowed		benches, tables, drinking fountains	benches, tables, drinking fountains
I. Programming/Uses		Per Table 3 for zoning district	Per Table 3 for zoning district

8.0 OPEN SPACE AND LANDSCAPE STANDARDS

	TABLE 8C	TABLE 8D	TABLE 8E	TABLE 8F
	GREEN	PARK	POCKET PARK	GREENWAY
				
				
				
	0.30 - 2.00 acres	0.30 - 5.00 acres	0.10 - 0.50 acres	0.30 - unlimited acres
	2 streets	2 streets	1 street	2 streets or 1 street and a waterway
	from adjacent sidewalk by accessible path	from adjacent sidewalk by accessible path	from adjacent sidewalk by accessible path	from adjacent sidewalk by accessible path
	not allowed	not allowed	not allowed	max 50 space parking lot(s)
	parallel	parallel	parallel or diagonal	parallel or diagonal
	unobstructed lawns	lawns	lawns	lawns
	naturalistically arranged	naturalistically arranged	naturalistically arranged	naturalistically arranged
	Per Table 8G	Per Table 8G	Per Table 8G	Per Table 8G
	minimal and used for access	minimal and used for access	minimal and used for access	minimal and used for access
	shade structures, kiosks, restrooms, playground equipment per zoning district	shade structures, kiosks, restrooms, playground equipment, recreational courts (basketball, tennis, etc.) per zoning district	shade structures, kiosks, restrooms, playground equipment, recreational courts (basketball, tennis, etc.) per zoning district	shade structures, kiosks, restrooms, playground equipment per zoning district
	benches, tables, drinking fountains	benches, tables, drinking fountains	benches, tables, drinking fountains	benches, tables, drinking fountains
	Per Table 3 for zoning district	Per Table 3 for zoning district	Per Table 3 for zoning district	Per Table 3 for zoning district

8.0 OPEN SPACE AND LANDSCAPE STANDARDS

8.5. LANDSCAPE STANDARDS

- A. Purpose.** This Section provides design standards to ensure that proposed development is consistent with the City's goals for landscaping, pyhsical character and quality.
- B. Applicability.** As identified in the following standards, landscape shall be designed in compliance with the applicable general requirements in Section 8.6 and all applicable requirements of the Downtown Code.
- Proposed buildings and open spaces within the Downtown Code boundaries shall comply with the applicable requirements of the zoning district and overlay identified for the property in Figure 2.
- C. Landscape Required.** Each application that involves a new building or open space or existing building or open space to be modified sahl comply with the applicable requirements of Section 8.0. The required open space shall be designed and constructed in compliance with the applicable requirements of Section 8.0.
- D. Landscape Requirements by Zoning District.** Each proposed lot and building or existing lot and building to be modified shall be designed per the requirements of Table 8G.

- E. Design Objectives.** Landscaped areas shall be designed to:
- Promote the aesthetic and environmental values of the community by generating and maintaining landscaping that does not impair the attractiveness of the City as a place to live, work, and shop;
 - Support the intended physical context as identified in the DNCP or FCSP as applicable;
 - Relate in size and scale of plant materials with adjacent plant materials and the intended physical character.

8.6 GENERAL REQUIREMENTS FOR LANDSCAPE

The following requirements apply to all landscape areas subject to the Downtown Code.

A. Site Standards.

- All open space and building setbacks shall be landscaped per the requirements of Table 8G.

Landscapes shall preserve and promote the aesthetic character and environmental quality of Fresno in the following ways:

- The landscape should define, unify and enhance the public realm.
 - Street trees shall be provided to define the street and identify it as a safe environment for automobiles, pedestrians, and cyclists as well as to add beauty and shade to the street. The selection of species shall be based upon height, canopy diameter, disease resistance, and transparency.
- The landscape shall be designed to be sensitive to the character, climate, and soils of Fresno. Plant materials shall be indigenous to the region or similar in character and habitat to indigenous materials. Plant species shall be selected that reduce the need for supplemental irrigation water.
 - Indigenous trees such as Oak, Sycamore, and Cottonwood, shall be incorporated to provide sustainable habitat and reinforce the existing natural aesthetic of the open space framework. Trees shall be tolerant of stress created during periods of drought, and be receptive to the use of ecologically-friendly integrated pest management.
 - Indigenous plants or drought-tolerant species from the Mediterranean and other arid regions shall be used in place of plants that do not originate from such regions.
- The landscape shall contribute to mitigating environmental degradation resulting from storm water runoff.
 - Methods that reduce runoff and improve water quality shall be implemented in landscape design.

B. Lot Standards.

- Yard landscapes.** Plantings in yard areas fronting on streets shall be appropriate to the scale, orientation and purpose of the yard. All trees for front yards when provided shall be a minimum of 24 inch box (1" - 1.75" caliper). Appropriate plant materials and designs for specific frontage yard types are as follows:

a. Front yards.

- Front yards shall be planted and maintained from the back of sidewalk to a facade or garden wall.
- At facades, low shrubs and/or ground cover may be planted against the facade.
- At garden walls, low shrubs and wall vines or tall shrubs alone shall be planted against the wall.
- Lawn can be used in front yard applications, but shall be limited to no more than sixty percent of the entire front yard area.
- Side yards on corners are considered front yards and subject to the same requirements as identified in this section.

8.0 OPEN SPACE AND LANDSCAPE STANDARDS

b. Other yards.

- i. Rear yards may have multiple trees.
- ii. Side yards need not be landscaped, except when adjacent to public space.
- iii. If visible from the public realm, (i.e., the sidewalk or street), rear and side yards shall be landscaped and maintained.

C. Streetscape Standards.

- 1. Street trees shall be consistent with, or similar to, species identified in Table 8G.
- 2. Large trees with arching canopies shall be planted as rows in continuous parkway strips or individual tree wells parallel to the adjacent curb on both sides of the street and in street medians as specified in Section 9.0 for each street type.
- 3. Street tree spacing shall be as specified in Section 9.0 but no less than 25 feet and no more than 45 feet on center along block frontages with adjustments in spacing for driveways and bus turnouts. Consistency in tree spacing and species shall be used to create strong spatial definition for the streetscape.
- 4. Runoff from sidewalks shall be conveyed to planted parkways. To the extent possible, overflow from parkways and runoff from the road may be directed into pervious paving in parallel parking areas in order promote infiltration into the ground.

D. Parking Facility Standards.

Parking areas shall be landscaped in compliance with the following requirements.

- 1. **Amount of Landscaping.** Each building on a site with a parking lot shared by multiple buildings shall provide landscaping within and/or around the parking area at a minimum ratio of 10 percent of the gross area of the parking lot. A minimum of one shade tree shall be provided for each five parking spaces or trees provided to achieve 50% canopy coverage of paved area at maturity, whichever is greater.
- 2. **Location of Landscaping.** Landscaping shall be evenly dispersed throughout each parking area. Orchard-style planting (placement of trees in uniformly-spaced rows) is required for parking areas with more than 20 parking spaces.

8.7 REQUIRED FINDINGS FOR LANDSCAPE

Each application involving Section 8.0 shall require consistency with the following findings in order to be approved:

- 1. The application is in conformance with the applicable requirements of Table 8;
- 2. The application is in conformance with the intent of the zoning district in which the property is located;
- 3. The application is in conformance with the applicable requirements of Table 8G and;
- 4. The proposed design does not disrupt or detract from the general intended pattern for the subject block face, the immediately adjacent block faces, and the block face immediately across from the property's primary frontage.

8.0 OPEN SPACE AND LANDSCAPE STANDARDS

TABLE 8G PLANT MATERIAL AND TREE STANDARDS

Type	Botanical Name	Common Name	Type	Botanical Name	Common Name
A. Parking Lot Trees/ Street Trees	<i>Fraxinus angustifolia</i> 'Raywood'	Raywood Ash	D. Tall Shrubs	<i>Arctostaphylos</i> 'Lester Rowntree'	Lester Rowntree Manzanita
	<i>Fraxinus velutina</i> 'Arizona'	Arizona Ash		<i>Arctostaphylos manzanita</i>	Common Manzanita
	<i>Gleditsia triacanthos</i> 'Shademaster'	Honeylocust		<i>Buddleja davidii</i>	Common Butterfly Bush
	<i>Koelreuteria paniculata</i>	Golden Rain Tree		<i>Ceanothus</i> 'Frosty Blue'	Frosty Blue Wild Lilac
	<i>Magnolia grandiflora</i>	Southern Magnolia		<i>Ceanothus</i> 'Julia Phelps'	Julia Phelps Ceanothus
	<i>Pistacia chinensis</i>	Chinese Pistache		<i>Ceanothus</i> 'Sierra Snow'	Sierra Snow California Lilac
	<i>Platanus acerfolia</i>	London Plane Tree		<i>Cercis occidentalis</i>	Western Redbud
	<i>Platanus occidentalis</i>	American Sycamore		<i>Cercocarpus betuloides</i>	Mountain Mahogany
	<i>Pyrus calleryana</i> var. <i>Aristocrat</i>	Aristocrat Pear		<i>Cotinus coggygia</i>	Smoke Tree
	<i>Pyrus calleryana</i> var. <i>Bradford</i>	Bradford Pear		<i>Cotoneaster franchetii</i>	Franchet Cotoneaster
	<i>Quercus ilex</i>	Holly Oak		<i>Cotoneaster lacteus</i>	Red Clusterberry Cotoneaster
	<i>Sophora japonica</i> var. <i>Regent</i>	Japanese Pagoda Tree		<i>Cotoneaster salicifolius</i>	Willowleaf Cotoneaster
	<i>Ulmus pumila</i>	Siberian Elm		<i>Dodonaea viscosa</i> 'Purpurea'	Purple Leafed Hopseed Bush
	<i>Zelkova serrata</i>	Sawleaf Zelkova		<i>Elaeagnus multiflora</i>	<i>Elaeagnus</i>
B. Accent Trees/Street Trees	<i>Acer palmatum</i>	Japanese Maple		<i>Elaeagnus pungens</i>	Silver Berry
	<i>Albizia julibrissin</i>	Silk Tree		<i>Ilex altaclarensis</i> 'Wilsonii'	Wilson Altaclara Holly
	<i>Arbutus unedo</i>	Strawberry Tree		<i>Leucophyllum frutescens</i>	Texas Ranger
	<i>Betula pendula</i>	White Birch		<i>Mahonia</i> 'Golden Abundance'	Mahonia
	<i>Catalpa speciosa</i>	Western Catalpa		<i>Nolina bigelovii</i>	Desert Nolina
	<i>Cedrus atlantica</i> 'Glaucal'	Blue Atlas Cedar		<i>Pyracantha coccinea</i>	Pyracantha
	<i>Cedrus deodara</i>	Deodar Cedar		<i>Rhamnus californica</i>	Coffeeberry
	<i>Cercis canadensis</i> 'Forest Pansy'	Forest Pansy Redbud		<i>Ribes sanguineum glutinosum</i>	Pink Flowering Currant
	<i>Chilopsis linearis</i>	Desert Willow		<i>Romneya coulteri</i>	Matilija Poppy
	<i>Fremontodendron</i> 'California Glory'	Flannel Bush	E. Low Shrubs	<i>Arctostaphylos hookeri</i>	Monterey Manzanita
	<i>Lagerstroemia indica</i>	Crape Myrtle		<i>Artemisia</i> 'Powis Castle'	Powis Castle Artemisia
	<i>Pinus halepensis</i>	Allepo Pine		<i>Baccharis pilularis</i> 'Twin Peaks #2'	Dwarf Coyote Bush
	<i>Quercus agrifolia</i>	Coast Live Oak		<i>Berberis thunbergii</i> 'Rosy Glow'	Rosy Glow Barberr
	<i>Quercus douglasii</i>	Blue Oak		<i>Ceanothus griseus</i> 'Santa Ana'	Santa Ana California Lilac
	<i>Quercus lobata</i>	Valley Oak		<i>Cistus hybridus</i>	Hybrid Rockrose
	<i>Umbellularia californica</i>	California Bay		<i>Cistus x purpureus</i>	Orchid Spot Rockrose
	<i>Vitex agnus-castus</i>	Chaste Tree		<i>Fremontodendron</i> 'Ken Taylor'	Ken Taylor Flannel Bush
C. General Trees/Street Trees	<i>Acacia baileyana</i>	Fearnleaf Acacia		<i>Juniperus chinensis</i> 'Mint Julep'	Mint Julep Juniper
	<i>Acer</i> sp.	Maple		<i>Leucophyllum frutescens</i> 'Rain Cloud'	Rain Cloud Texas Ranger
	<i>Betula nigra</i>	River Birch		<i>Mahonia aquifolium</i>	Oregon Grape
	<i>Eriobotrya japonica</i>	Loquat		<i>Ribes aureum</i>	Golden Currant
	<i>Heteromeles arbutifolia</i>	Toyon		<i>Rosmarinus officinalis</i>	Rosemary
	<i>Liquidambar styraciflua</i>	Sweet Gum		<i>Rosmarinus officinalis</i> 'Irene'	Irene Rosemary
	<i>Magnolia grandiflora</i> 'Majestic Beauty'			<i>Rosmarinus officinalis</i> 'Majorica Pink'	
	<i>Magnolia grandiflora</i> 'St. Mary'			<i>Yucca filamentosa</i> 'Golden Sword'	Golden Sword Yucca
	<i>Pinus canariensis</i>	Canary Island Pine			
	<i>Pinus pinea</i>	Italian Stone Pine			
	<i>Populus nigra</i> 'Italica'	Lombardy Poplar			
	<i>Prunus cerasifera</i>	Plum Tree			
	<i>Punica granatum</i>	Pomegranate			
	<i>Quercus agrifolia</i>	Coast Live Oak			
	<i>Quercus coccinea</i>	Scarlet Oak			
	<i>Quercus douglasii</i>	Blue Oak			
	<i>Quercus kelloggii</i>	California Black Oak			
	<i>Quercus rubra</i>	Northern Red Oak			
	<i>Quercus wislizenii</i>	Interior Live Oak			
	<i>Rhus lanceolata</i>	Flameleaf Sumac			
	<i>Robinia ambigua</i> 'Idahoensis'	Idaho Locust			
	<i>Salix babylonica</i>	Weeping Willow			
	<i>Sambucus mexicana</i>	Blue Elderberry			
	<i>Sequoia sempervirens</i>	Coast Redwood			

8.0 OPEN SPACE AND LANDSCAPE STANDARDS

PLANT MATERIAL AND TREE STANDARDS TABLE 8G

Type	Botanical Name	Common Name
F. Hedge Shrubs	<i>Arctostaphylos densiflora</i>	
	<i>'Howard McMinn'</i>	Howard McMinn Manzanita
	<i>Elaeagnus pungens</i>	Silver Berry
	<i>Feijoa sellowiana</i>	Pineapple Guava
	<i>Ilex cornuta 'Burfordii'</i>	Burford Chinese Holly
	<i>Laurus nobilis</i>	Sweet Bay
	<i>Ligustrum lucidum</i>	Glossy Privet
	<i>Mahonia aquifolium</i>	Oregon Grape
	<i>Prunus caroliniana 'Compacta'</i>	Dwarf Carolina Laurel Cherry
	<i>Rosmarinus officinalis 'Tuscan Blue'</i>	Tuscan Blue Upright Rosemary
G. Ground Covers	<i>Achillea millefolium</i>	Common Yarrow
	<i>Ajuga reptans</i>	Carpet Bugle
	<i>Arctostaphylos 'Emerald Carpet'</i>	Manzanita Emerald Carpet
	<i>Arctostaphylos uva-ursi</i>	Manzanita
	<i>Baccharis pilularis 'Pigeon Point'</i>	Coyote Bush
	<i>Berberis thunbergii 'Crimson Pygmy'</i>	Little Gem
	<i>Bergenia cordifolia</i>	Saxifraga
	<i>Ceanothus gloriosus</i>	Point Reyes Creeper
	<i>Ceanothus griseus horizontalis</i>	Carmel Creeper
	<i>Cotoneaster horizontalis</i>	Rock Cotoneaster
	<i>Fremontodendron 'El Dorado Gold'</i>	Dwarf El Dorado Gold
		Fremontia
	<i>Liriope muscari 'Variegata'</i>	Variegated Blue Lilyturf
	<i>Mahonia repens</i>	Creeping Mahonia
	<i>Pyracantha 'Santa Cruz'</i>	Santa Cruz Firethorn
	<i>Rosmarinus officinalis 'Prostratus'</i>	Dwarf Rosemary
	<i>Santolina chamaecyparissus</i>	Lavender Cotton
	<i>Sarcococca hookeriana humilis</i>	Small Hookeri
	<i>Trachelospermum asiaticum</i>	Yellow Star Jasmine
	<i>Verbena rigida</i>	Prairie Verbena
H. Grasses	<i>Vinca major</i>	Periwinkle
	<i>Vinca minor</i>	Periwinkle
	<i>Zauschneria californica</i>	California Fuchsia
	<i>Festuca 'Siskyou Blue'</i>	Siskyou Blue Fescue
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass
	<i>Leymus condensatus 'Canyon Prince'</i>	Canyon Prince Giant Wild Rye
	<i>Muhlenbergia capillaris Regal Mist™</i>	Pink Muhly
	<i>Muhlenbergia lindheimeri Autumn Glow™</i>	Autumn Glow™
	Muhly	
	<i>Muhlenbergia rigens</i>	Deer Grass
	<i>Stipa tenuissima</i>	Mexican Feather Grass

Type	Botanical Name	Common Name
I. Vines		
	<i>Lonicera japonica 'Halliana'</i>	Halls Japanese Honeysuckle
	<i>Parthenocissus quinquefolia</i>	Virginia Creeper
	<i>Parthenocissus tricuspidata</i>	Boston Ivy
	<i>Rosa banksiae 'Alba Plena'</i>	White Lady Banks' Rose
	<i>Vitis californica</i>	California Wild Grape
	<i>Wisteria floribunda</i>	Japanese Wisteria
KEY TO TABLE 8G		
<i>Lonicera japonica 'Halliana'</i> Plant / Tree allowed as identified.		
If the plant / tree type is not listed. It is not specifically allowed but may be allowable subject to review and approval of the DRM Director or designee that the the unlisted plant/tree type is similar to a listed type.		

9.0 BLOCK AND STREET STANDARDS

9.1. BLOCK AND STREET STANDARDS

A. Purpose. This Section provides design standards to ensure that proposed development is consistent with the City's goals for an interconnected and walkable network of blocks and streets that supports the intended physical character, land use activity and quality.

B. Applicability. As identified in the following standards, all blocks and streets within the Downtown Code boundaries shall be designed in compliance with the applicable requirements in Section 9.2.

Except for sites in the SD G1, SD G2, and SD A zoning districts, sites within the Downtown Code boundaries of at least 4 acres or with at least 700 feet of frontage on any side shall comply with Section 9.1C.

C. Blocks and Streets Required. Each application that involves at least 4 acres or at least 700 feet of frontage on any side shall be required to divide the site to generate a new block(s) by applying the allowed street types identified for the applicable zoning district in Table 9A. New or modified blocks and streets shall be designed and constructed in compliance with the applicable requirements of Table 9F.

D. Allowed Street Types by Zoning District. Each proposed street or existing street to be modified shall be designed as one of the street types allowed for the zoning district applicable to the site as identified in Table 9A.

E. Design Objectives. Each new or modified block and street shall be designed to comply with the following:

- 1. Interconnect with adjacent blocks and streets to form/maintain a network;
- 2. Support the intended physical context as identified in the DNCP or FCSP as applicable;
- 3. Generate pedestrian-oriented block lengths;
- 4. For sites of at least 10 acres, generate blocks that are in conformance with the requirements for allocation of new zoning districts as required by Section 10.2A.2;
- 5. Generate individual lots for individual buildings in compliance with Section 5.0.

9.2 GENERAL REQUIREMENTS

The following requirements apply to all new or modified blocks and streets subject to the Downtown Code. Standards identified in Tables 9A and 9F supplement or supersede those identified in this section.

A. Block Standards.

All blocks shall be designed per the applicable requirements identified in Table 9F to ensure that new and modified blocks and streets result in walkable, interconnected streetscapes aligned by appropriately scaled buildings as follows:

- 1. New or modified blocks shall front a street (public or private).
- 2. New or modified blocks may be designed in a variety of shapes in compliance with the requirements of Table 9F.
- 3. Sites of at least 4 acres in size or existing sites with at least 700 feet of frontage on any side shall be divided further to generate new blocks as required by Table 9F. Sites in the SD G1, SD G2 and SD A zoning districts are exempt from this requirement.
- 4. Modified blocks may realign the adjacent right-of-way(s) subject to complying with the applicable requirements of Table 9F.
- 5. Blocks with existing alley access shall maintain such access. Existing alleys may be realigned subject to complying with the applicable requirements of Table 9F.
- 6. New or modified blocks shall be subdivided to generate individual lots for buildings or open space as required by the applicable zoning district(s) and overlay(s) and in compliance with Section 5.0 'Building Standards'.

B. Street / Alley Standards.

- 1. The street network shall be designed to define blocks not exceeding the applicable size identified in Table 9F.
- 2. All streets shall terminate at other streets, forming a network.
- 3. Streets shall generally consist of vehicular lanes and public frontages such as landscaped parkways and sidewalks, as appropriate to the zoning district.
- 4. Streets shall be designed in context with the intended physical character of the zoning district(s) through which they pass.
- 5. Streets that pass from one zoning district to another shall be adjusted accordingly to implement the intended physical character of the applicable zoning district(s).
- 6. New or modified streets shall comply with the applicable requirements identified in Table 9A.
- 7. On-street parking shall be allowed along all streets as identified in Table 9A.
- 8. Within rural-oriented (NE) zoning districts and within special districts, pedestrian comfort shall be a secondary consideration of the street design. Design priority between vehicular and pedestrian generally shall be decided in favor of the vehicle. Within the more urban zoning districts (CBD 1 through NGR) pedestrian comfort shall be a primary consideration of the street design. Design priority between vehicular and pedestrian movement generally shall be decided in favor of the pedestrian.
- 9. Within the Downtown Core as identified on Figure 9.1, this Code distinguishes between an 'A' grid and a 'B' grid to identify which streets, due to their location, may be allowed to have less frontage requirements. See A.3 'Frontage' of the applicable zoning district development standards for requirements.

9.0 BLOCK AND STREET STANDARDS

ALLOWED STREET TYPES																TABLE 9A
Type	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
Major Streets																
A1. 100' Major Blvd	See Table 9A1	See Table 9A1	See Table 9A1	See Table 9A1	X	See Table 9A1	X	See Table 9A1								See Table 9A1
A2. 100' Major Blvd w/ Bike Lanes	X	See Table 9A2	X	X	See Table 9A2	X	X	X	X	X	X	X	X	X	X	X
B1. 80' Blvd	X	See Table 9B1	See Table 9B1	X	X	X	X	X	X	X	X	X	X	X	X	X
B2. 80' Blvd w/ Bike lanes	X	X	X	X	X	See Table 9B2	X	See Table 9B2	X	X	X	X	X	X	X	X
Minor Streets with Bike Lanes																
C1. Low Volume	See Table 9C1	See Table 9C1	See Table 9C1	See Table 9C1	See Table 9C1	X	X	See Table 9C1	See Table 9C1	X	X	X	See Table 9C1	See Table 9C1	See Table 9C1	X
C2. High Volume	See Table 9C2	See Table 9C2	See Table 9C2	See Table 9C2	See Table 9C2	X	X	X	X	X	X	X	X	X	X	X
C3. High Volume 1-way	See Table 9C3	See Table 9C3	X	X	See Table 9C3	X	X	See Table 9C3 [a]	See Table 9C3 [a]	X	X	X	X	X	X	X
C4. Low Pedes- trian Priority	See Table 9C4	See Table 9C4	X	X	See Table 9C4	X	X	See Table 9C4 [a]	See Table 9C4	X	X	X	See Table 9C4	See Table 9C4	See Table 9C4	X
Minor Streets without Bike Lanes																
D1. Low Volume Resi- dential	X	X	X	X	See Table 9D1	See Table 9D1	X	See Table 9D1 [a]	See Table 9D1	See Table 9D1	X	X	X	X	X	X
D2. Low Volume Com- mercial	See Table 9D2	See Table 9D2	X	See Table 9D2	See Table 9D2	X	X	See Table 9D2 [a]	See Table 9D2 [a]	X	X	X	X	X	X	See Table 9D2
D3. High Volume	See Table 9D3	See Table 9D3	X	See Table 9D3	See Table 9D3	X	X	See Table 9D3 [a]	See Table 9D3 [a]	X	X	X	X	X	X	See Table 9D3
E1. New Res'l Street 1	X	X	X	X	X	X	X	X	See Table 9E1	X	See Table 9E1	See Table 9E1	X	X	X	X
E2. New Res'l Street 2	X	X	X	X	X	X	X	X	See Table 9E2	X	See Table 9E2	See Table 9E2	X	X	X	X
E3. New Res'l Street 3	X	X	X	X	X	X	X	X	See Table 9E3	X	See Table 9E3	See Table 9E3	X	X	X	X
KEY TO TABLE 9																
X		Street Type not allowed in Zoning District														
See Table 9C2		Street Type allowed in Zoning District. See reference for requirements.														
a		Street Type is allowed in limited area of Zoning District. See referenced Figure for limitations.														

10. Thoroughfares along a designated B-Grid may be exempted from one or more of the requirements of Section 6.0 'Frontage Standards'.

11.After the initial subdivision of a site into blocks and streets, it may become necessary to adjust alley or other right-of-way access. In this case, the following shall apply:

Existing or approved rights-of-way may be realigned subject to the approval of the Director such that the resulting block and private property meet the requirements of Table 9F and the applicable build- ing type requirements in Section 5.0

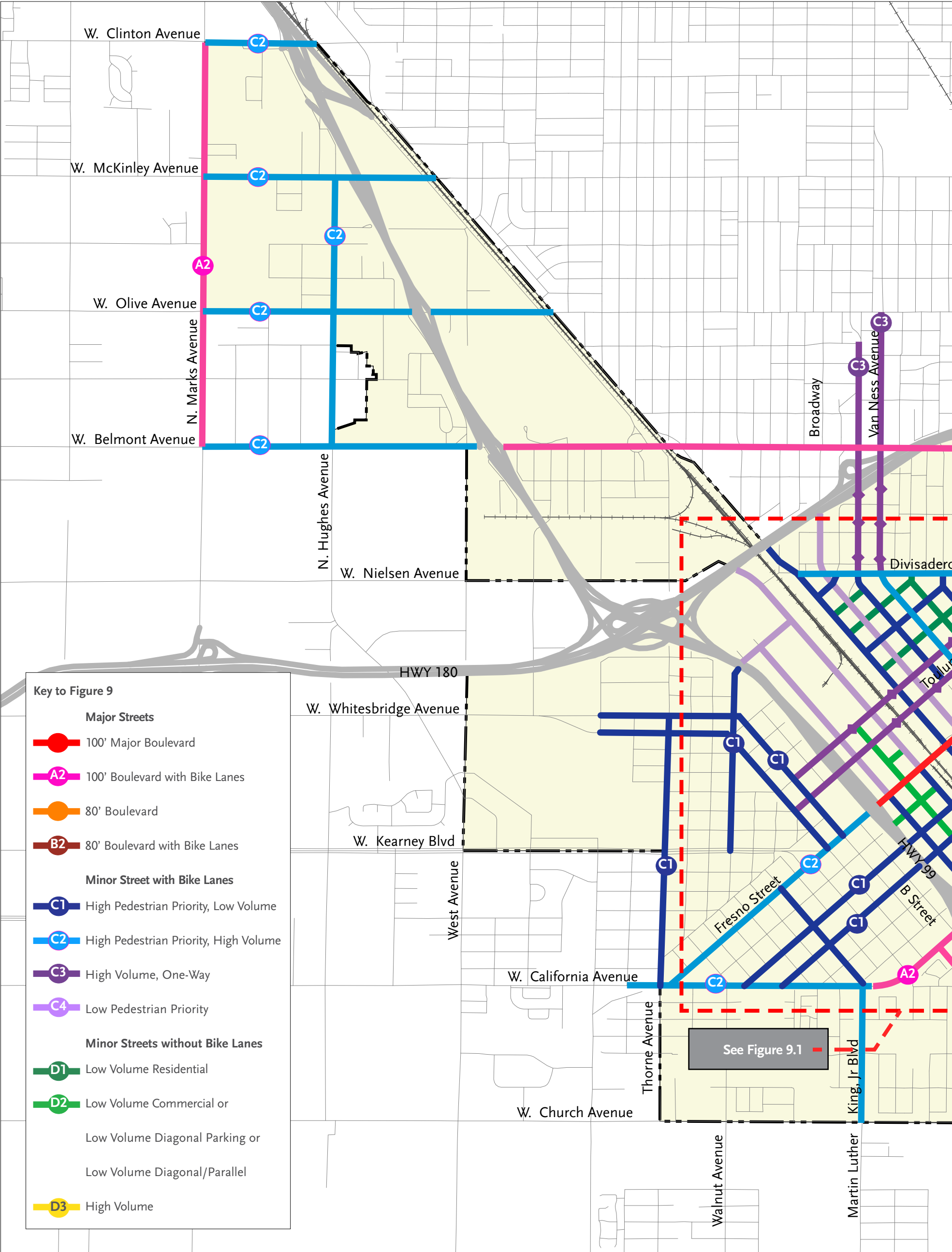
Existing or approved alley-access may be modified subject to the approval of the Director through realignment, shift, or deflection, provided that the realigned alley results in a minimum 100 feet of net developable lot depth on both sides of the realigned alley and complies with Table 9F.

9.3 REQUIRED FINDINGS

Each application involving Section 9.0 shall require consistency with the following findings in order to be approved:

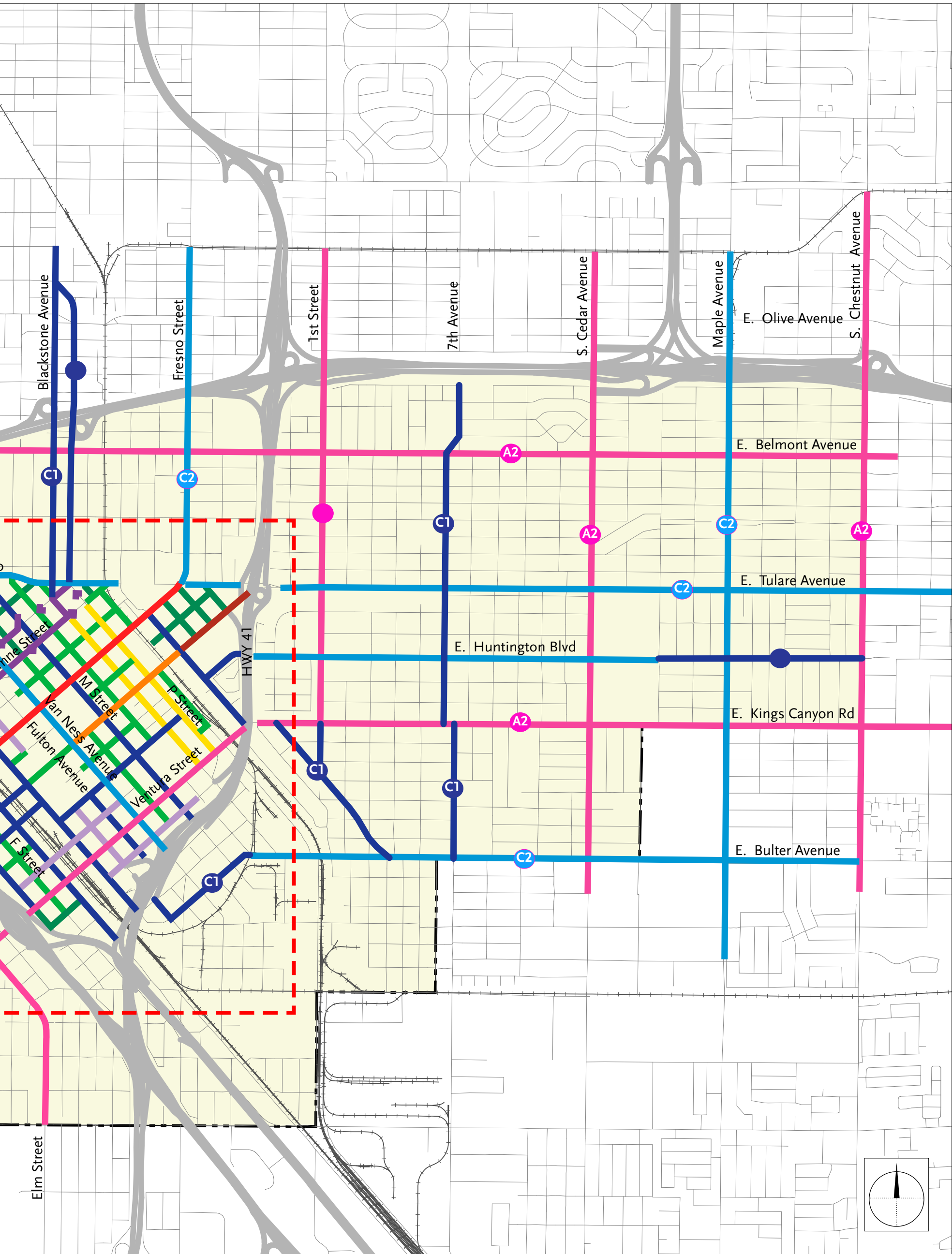
1. The application is in conformance with Table 9A and the applicable requirements for the zoning district(s) identified in Figure 2.
2. The application is in conformance with Table 9F and the applicable requirements for the zoning district(s) identified in Figure 2.
3. The application is in conformance with the intent of the zoning dis- trict in which the property is located;
4. The proposed design does not disrupt or detract from the general intended pattern for the immediately adjacent blocks.

9.0 BLOCK AND STREET STANDARDS



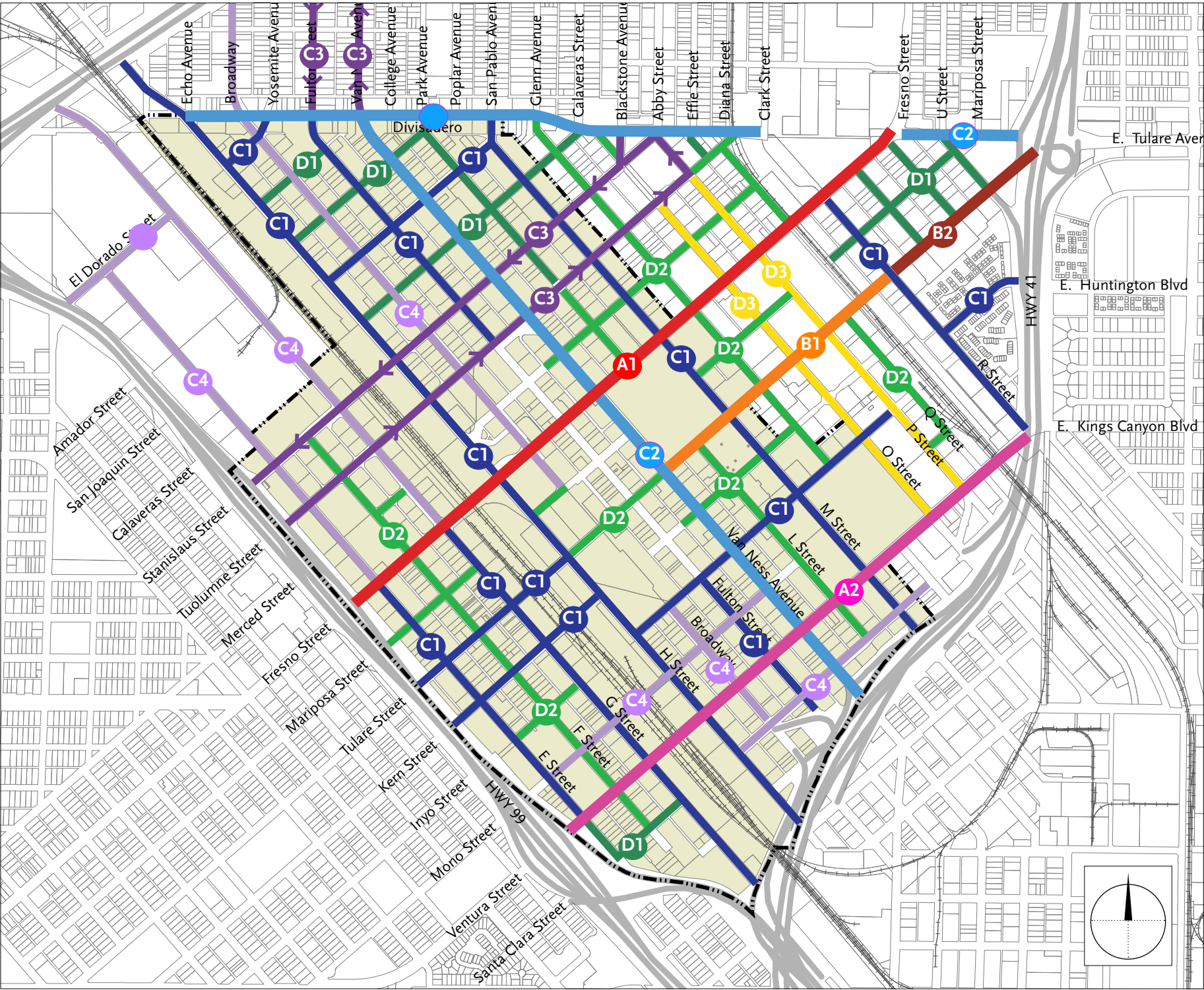
9.0 BLOCK AND STREET STANDARDS

STREET NETWORK REGULATING PLAN: **FIGURE 9**














9.0 BLOCK AND STREET STANDARDS

FIGURE 9.1: DOWNTOWN STREET NETWORK REGULATING PLAN



Key to Figure 9.1

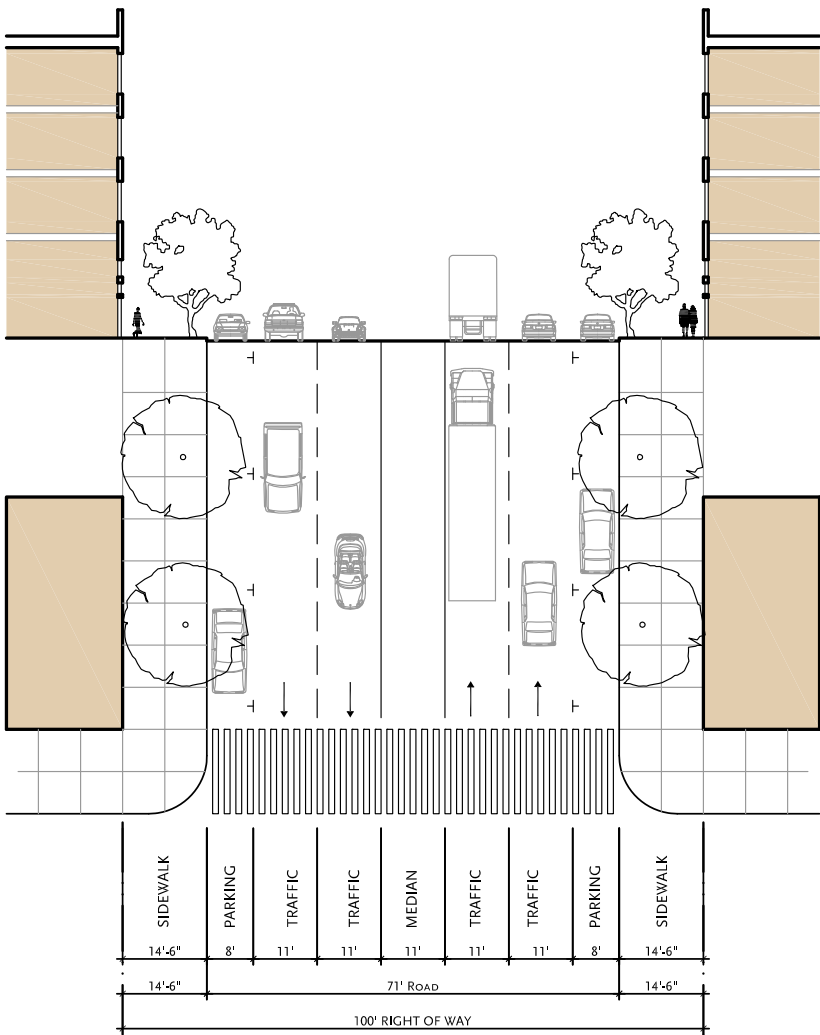
Major Streets		
	100' Major Boulevard	A
	100' Boulevard with Bike Lanes	A
	80' Boulevard	A
	80' Boulevard with Bike Lanes	A
Minor Street with Bike Lanes		
	High Pedestrian Priority, Low Volume	A
	High Pedestrian Priority, High Volume	A
	High Volume, One-Way	B
	Low Pedestrian Priority	B
Minor Streets without Bike Lanes		
	Low Volume Residential	A
	Low Volume Commercial or	A
	Low Volume Diagonal Parking or	A
	Low Volume Diagonal/Parallel	A
	High Volume	B

9.0 BLOCK AND STREET STANDARDS

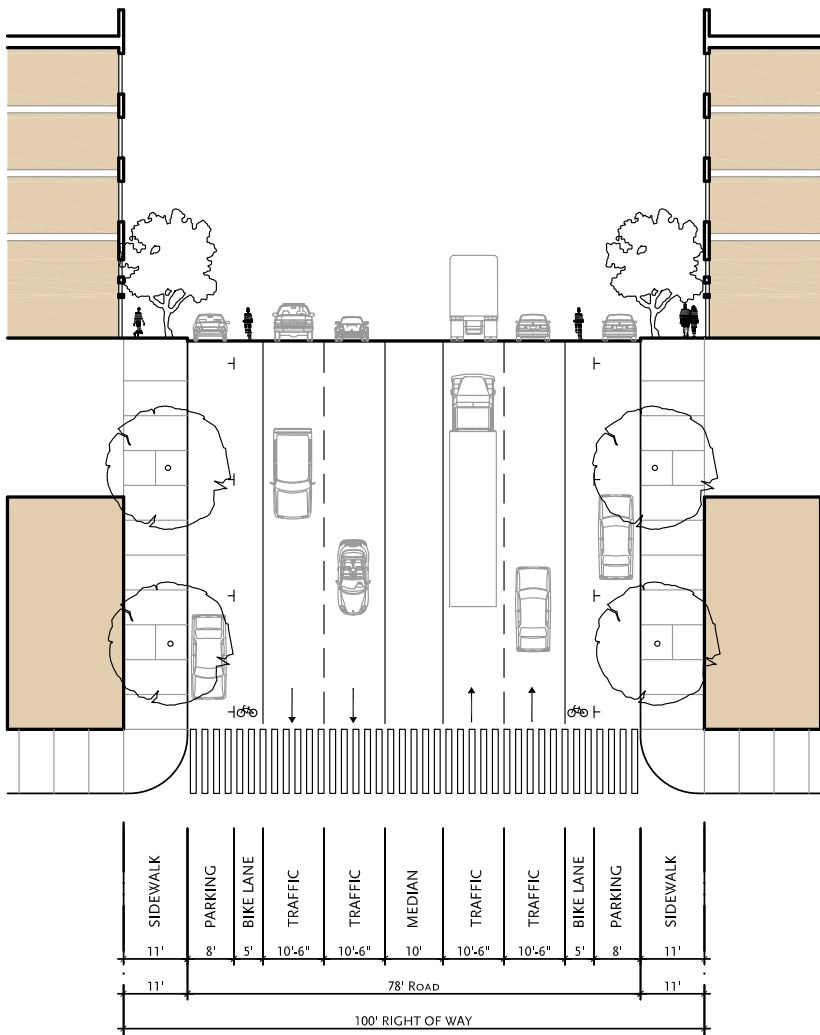
MAJOR STREETS

TABLE 9A.2

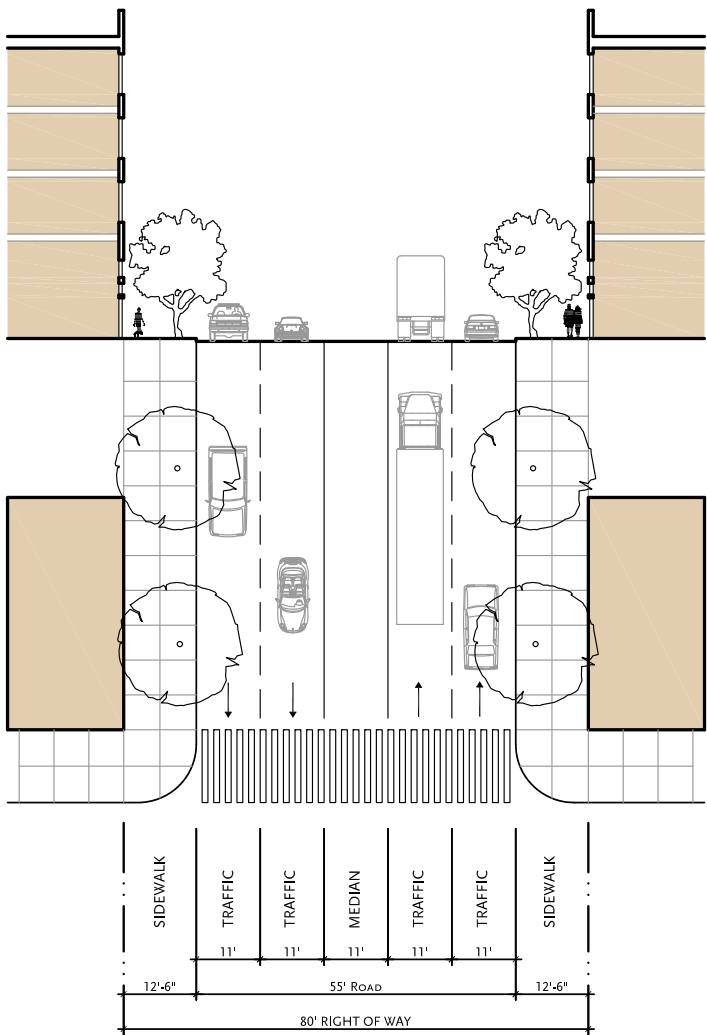
A1 100' Major Boulevard



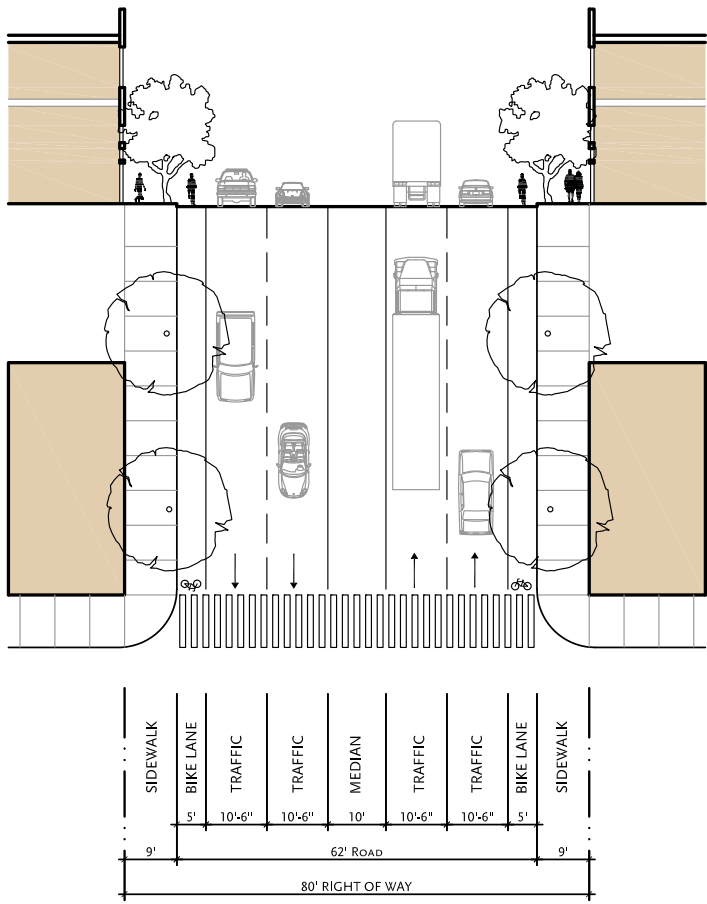
A2 100' Boulevard with Bike Lanes



B1 80' Major Boulevard



B2 80' Boulevard with Bike Lanes



9.0 BLOCK AND STREET STANDARDS

MINOR STREETS WITH BIKE LANES

TABLE 9C.1

C1 High Pedestrian Priority, Low Volume

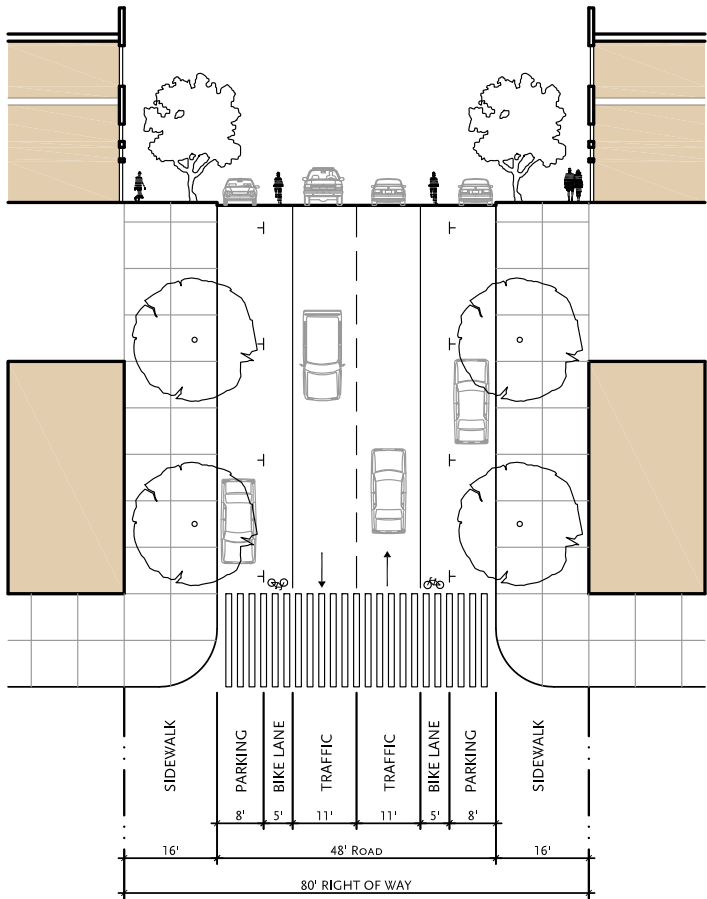


TABLE 9C.2

C2 High Pedestrian Priority, High Volume

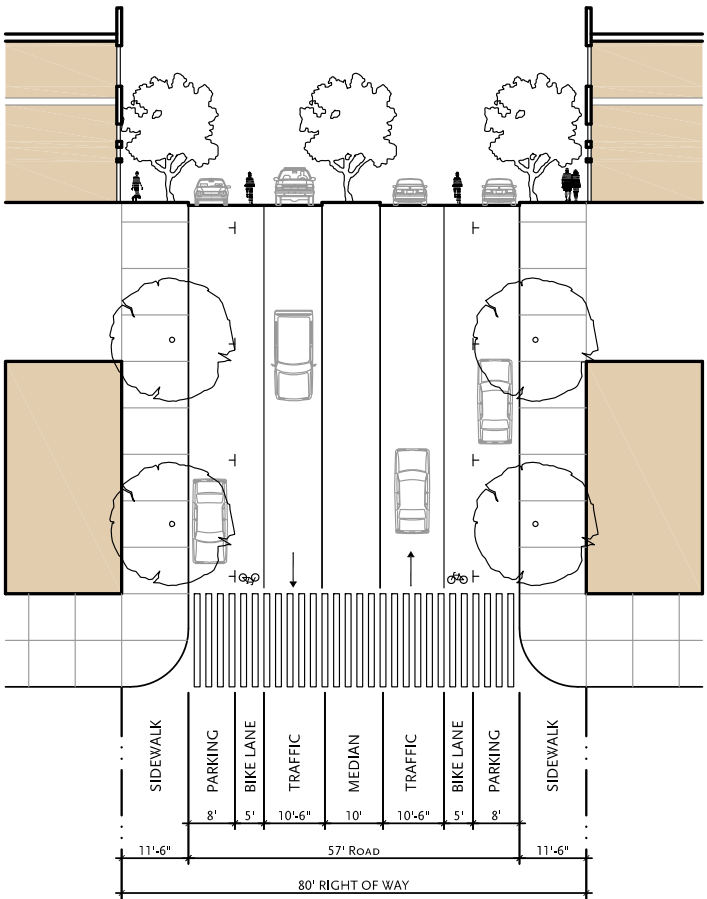


TABLE 9C.3

C3 High Volume, One-Way

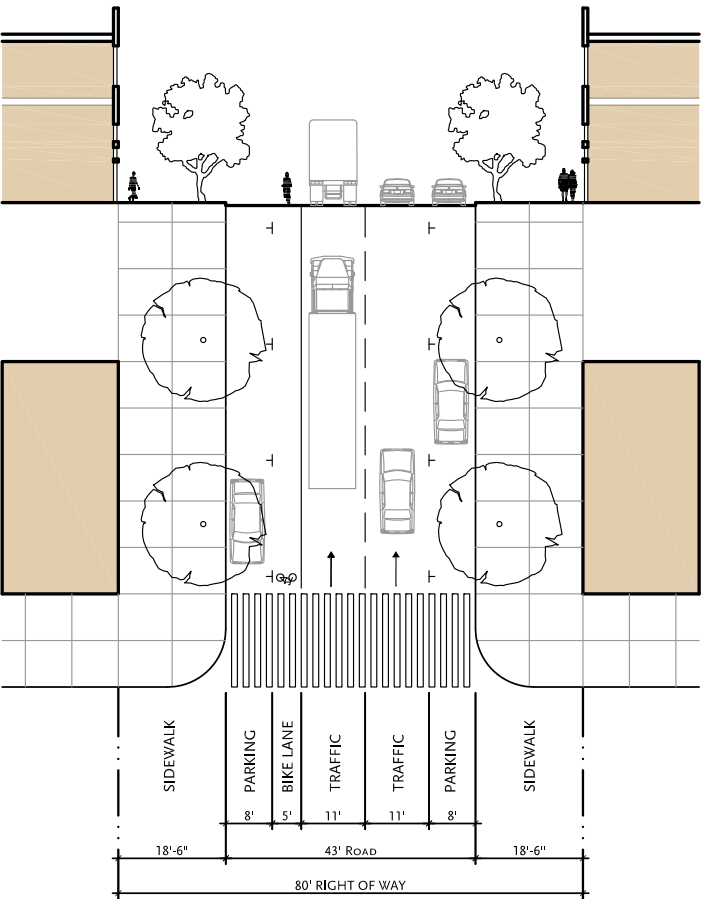
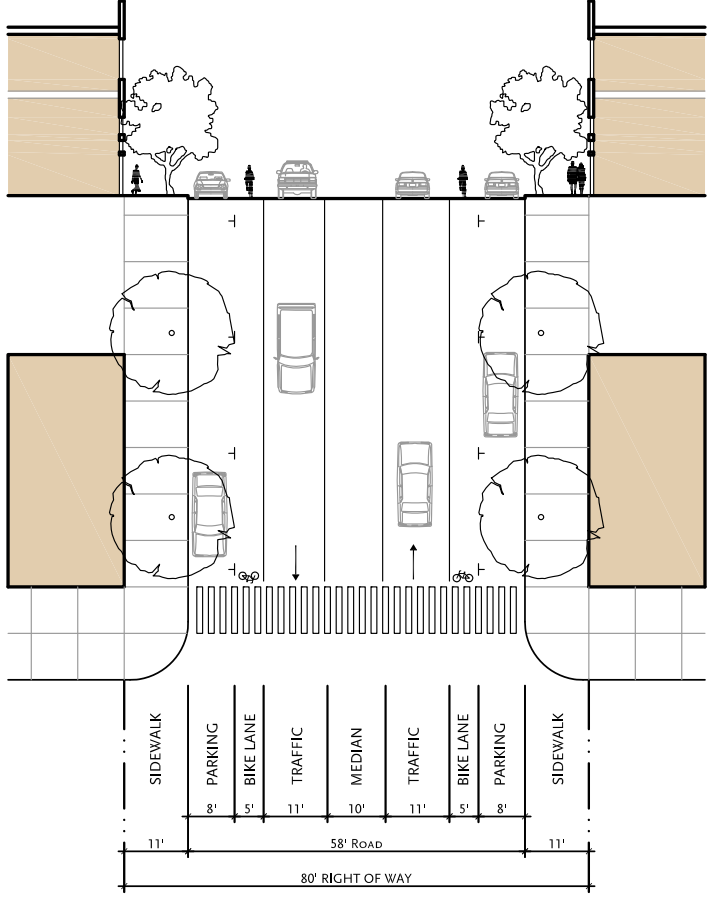


TABLE 9C.4

C4 Low Pedestrian Priority



9.0 BLOCK AND STREET STANDARDS

MINOR STREETS WITHOUT BIKE LANES

TABLE 9D.1

D1 Low Volume Residential

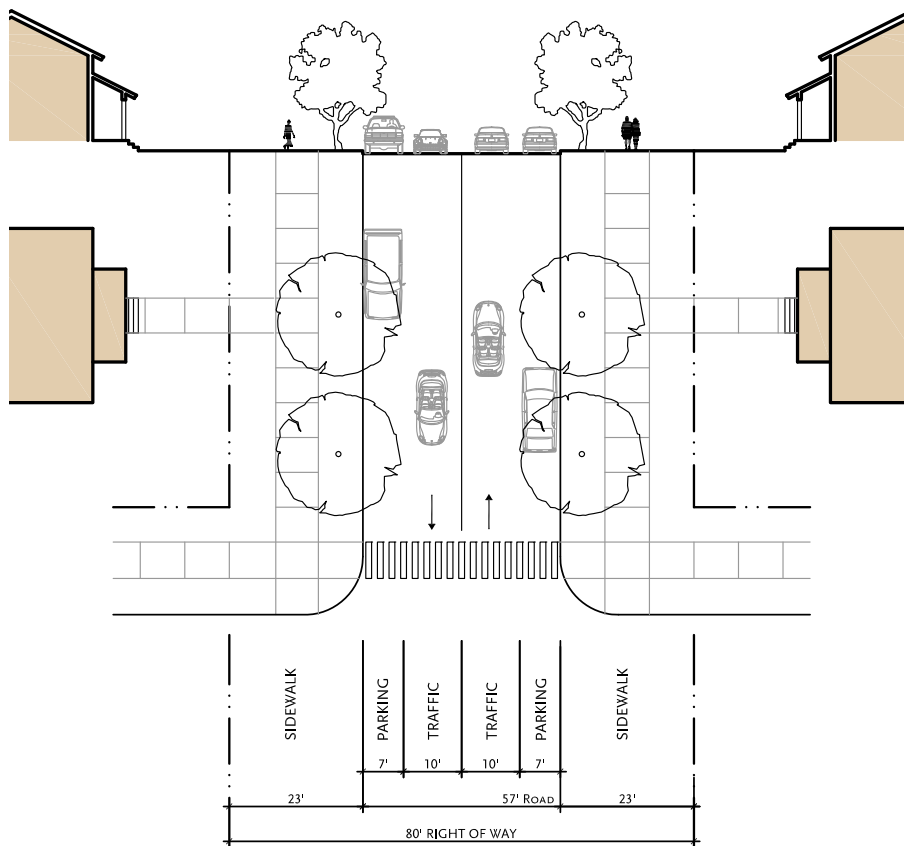


TABLE 9D.2

D2 Low Volume Commercial

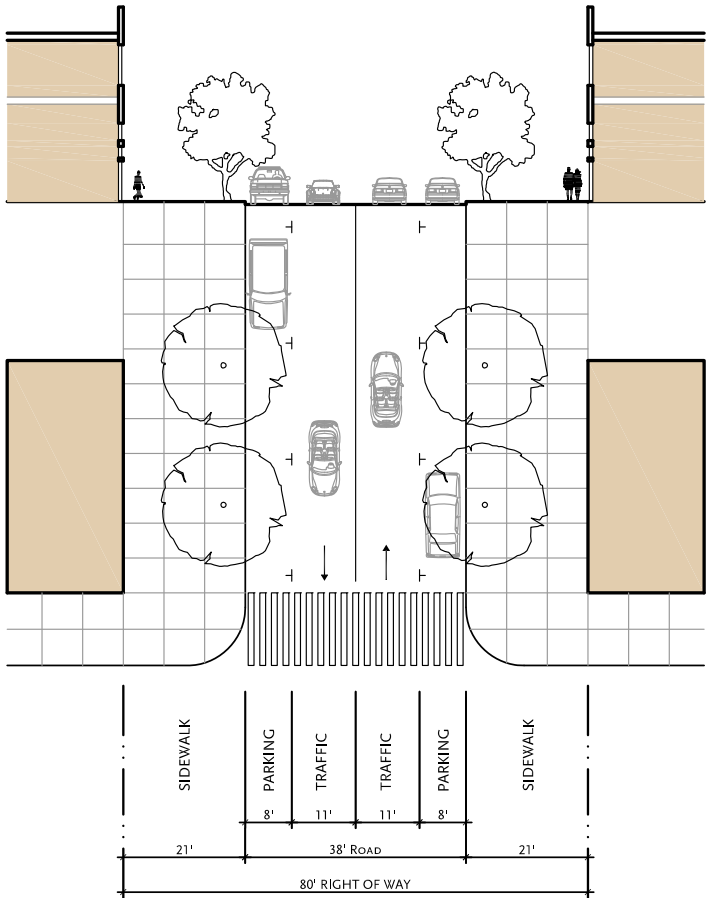


TABLE 9D.2

D2 Low Volume Diagonal Parking

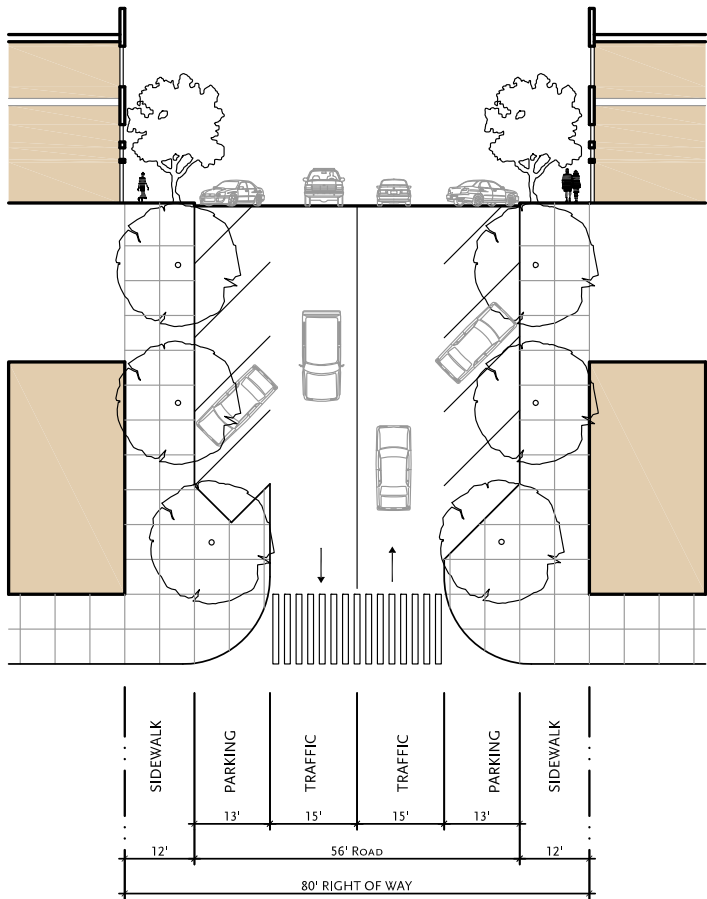
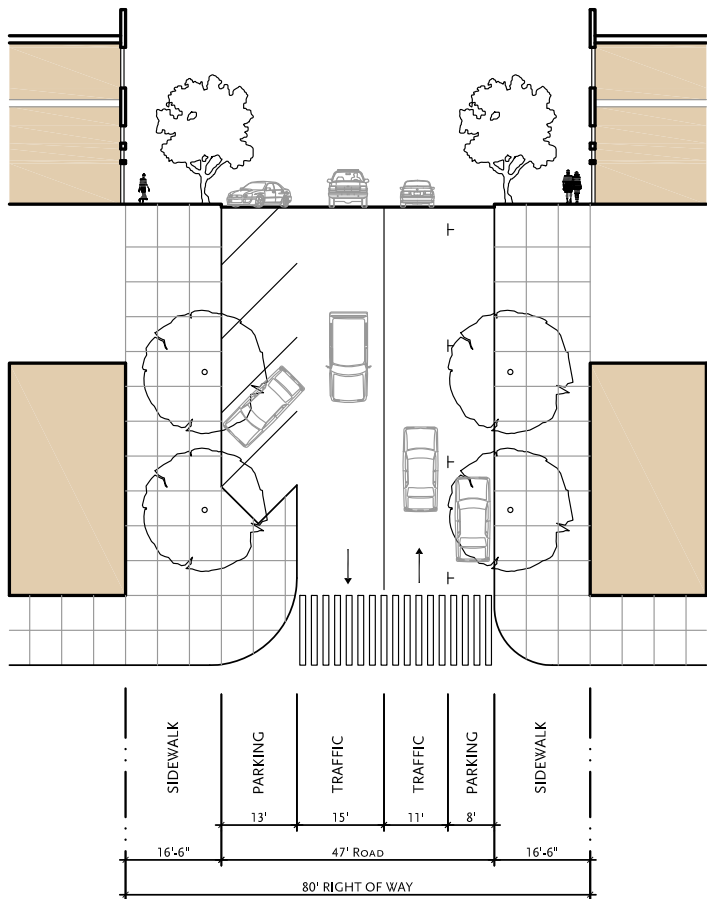


TABLE 9D.2

D2 Low Volume Diagonal/Parallel

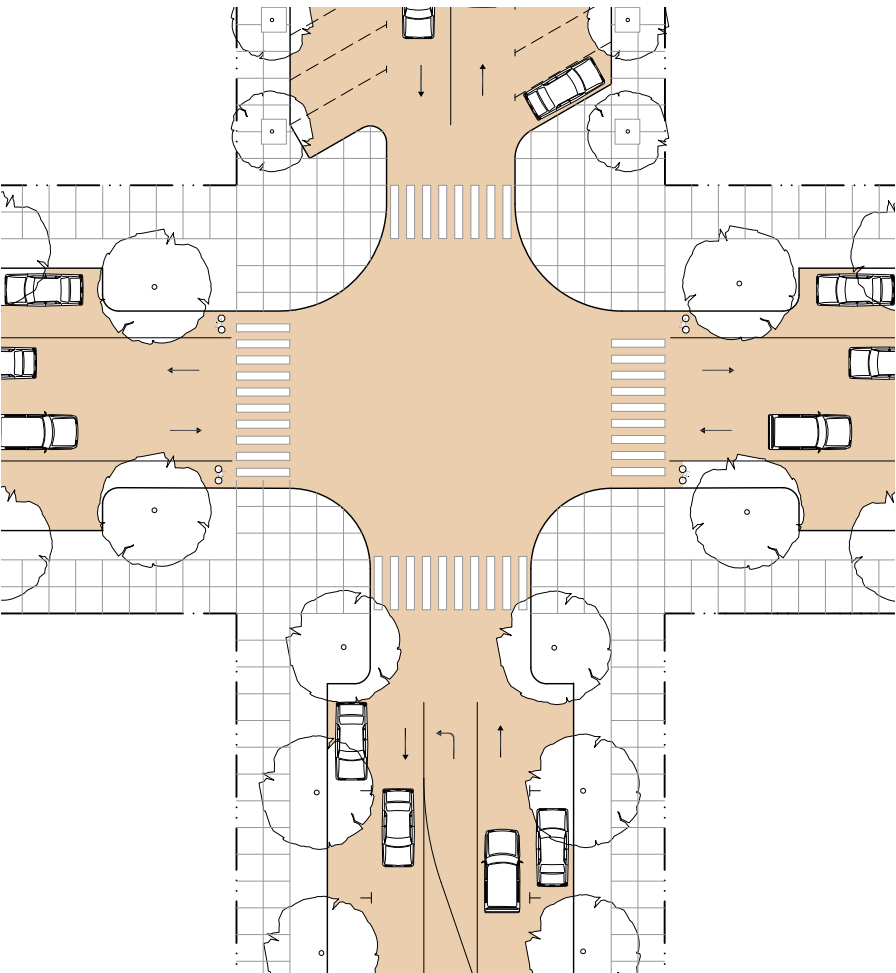
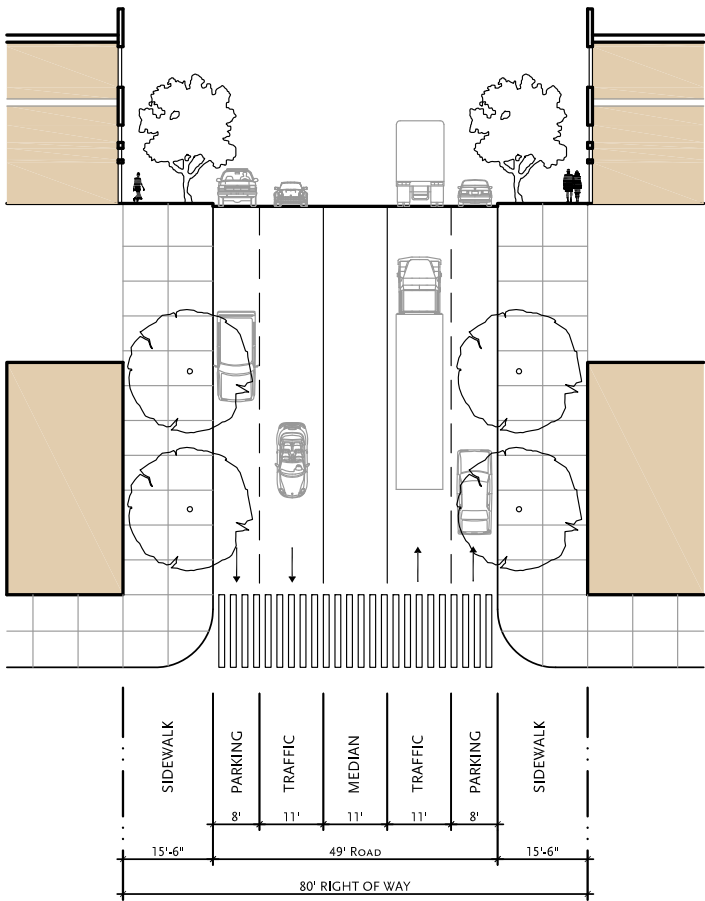


9.0 BLOCK AND STREET STANDARDS

MINOR STREETS WITHOUT BIKE LANES

TABLE 9D.3

D3 High Volume



9.0 BLOCK AND STREET STANDARDS

MINOR STREETS WITHOUT BIKE LANES

TABLE 9E.1

E1 New Residential Street - Free Flow

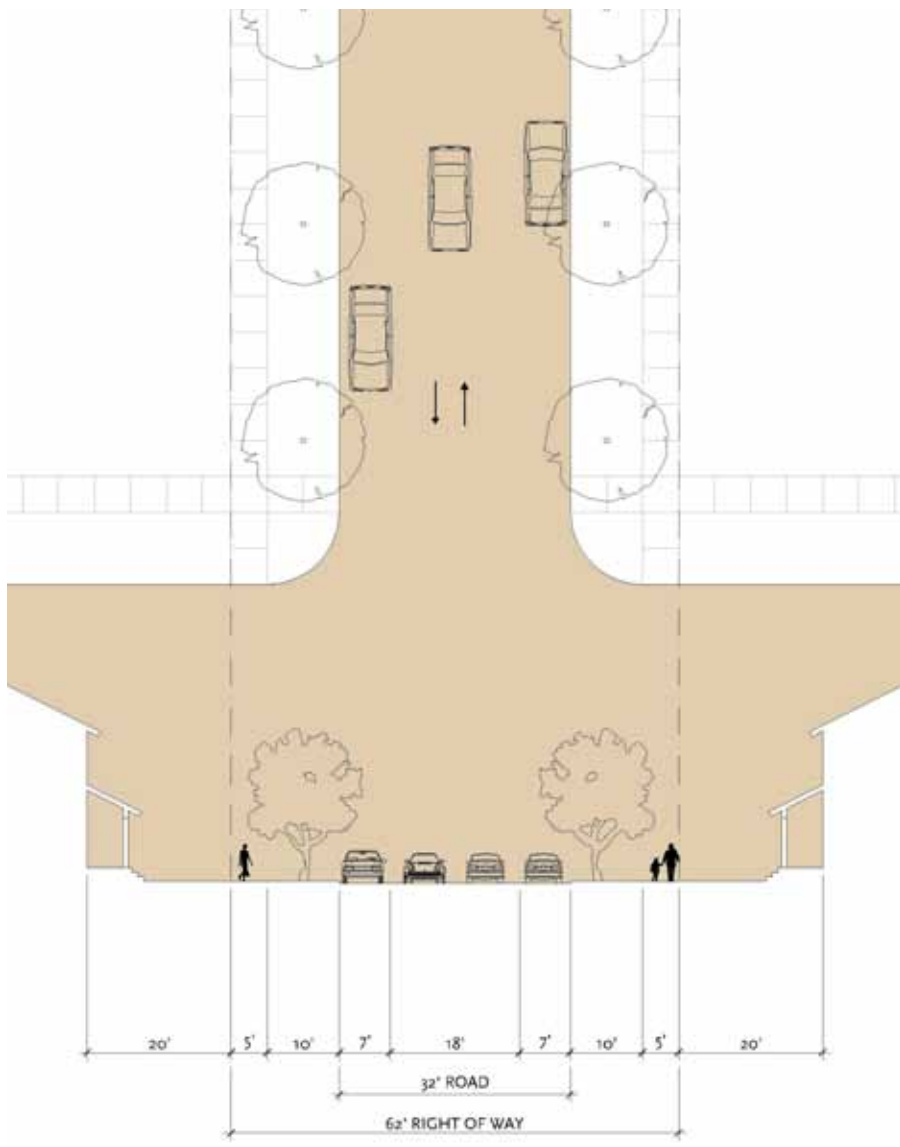


TABLE 9E.2

E2 New Residential Street - Slow Flow

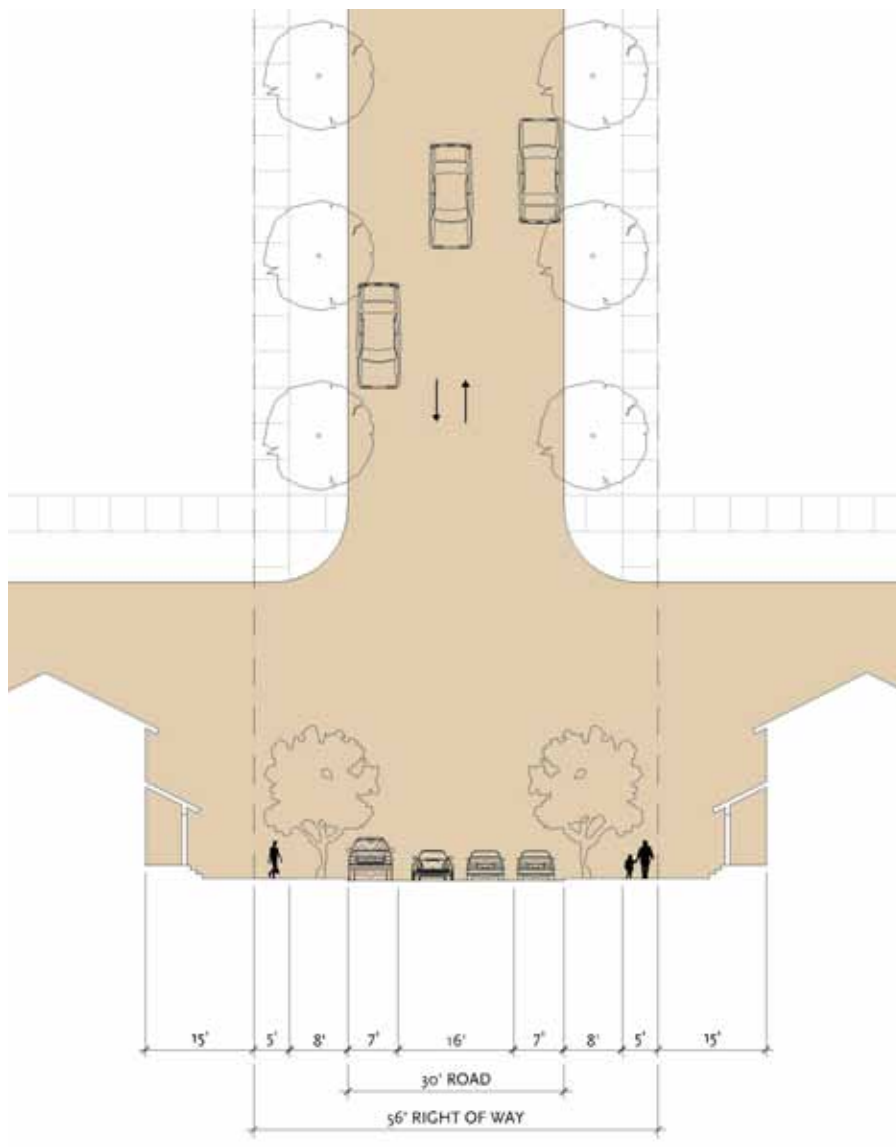
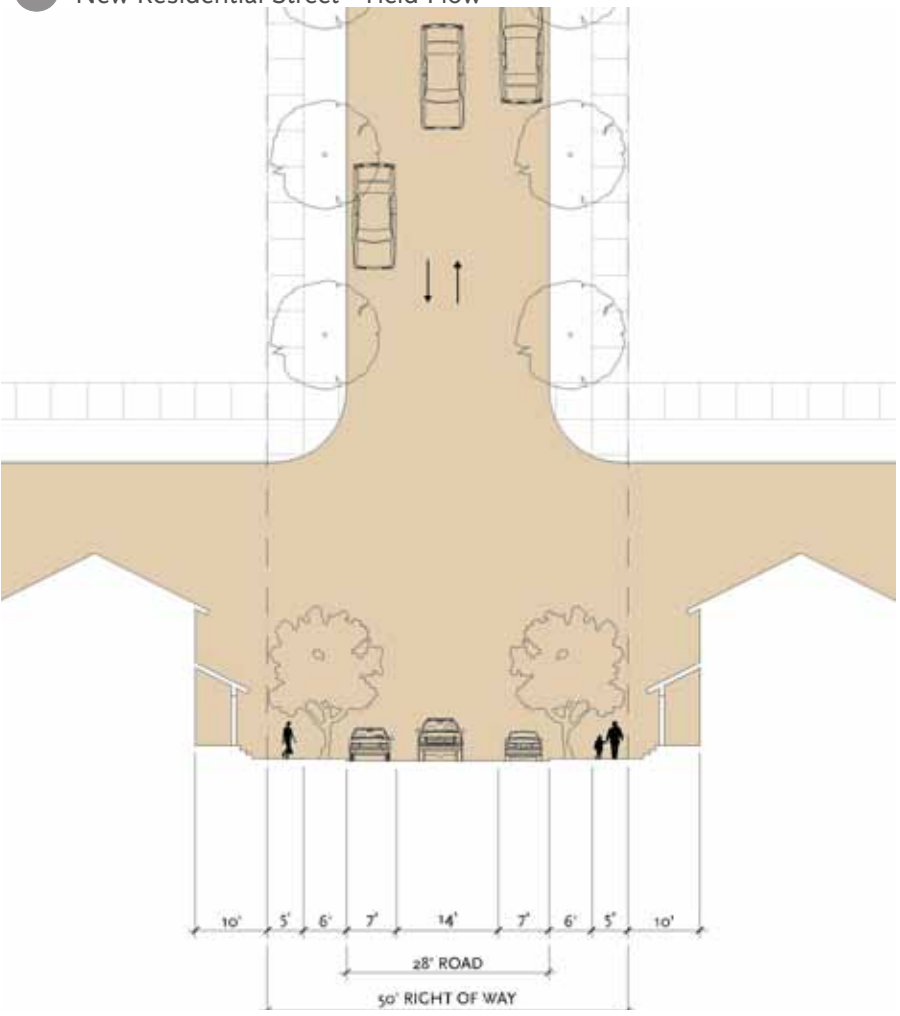


TABLE 9E.3

E3 New Residential Street - Yield Flow



9.0 BLOCK AND STREET STANDARDS

ILLUSTRATIVE SEQUENCE OF APPLYING BLOCK STANDARDS TO A SITE TO GENERATE NEW BLOCK(S)

Step 1: Existing Site

Sites that are 4 acres or larger in size or existing blocks with at least 700 feet of frontage on any side, except in the SD G1, SD G2, and the SD A zoning districts, shall be subdivided further to create additional blocks per the requirements of Table 9F.

As the site is subdivided to generate additional blocks, the zoning district boundaries may need to be adjusted, as allowed by Section 1.3C.1, to exclude rights-of-way and to correspond to the intended block(s). The example in Diagram 9F.1 shows one zoning district applying to the site to be subdivided. Refer to Figure 2 for applicable zoning district(s).

Step 2: Introduce Streets

Sites being subdivided into additional blocks shall introduce streets as allowed in the applicable zoning district(s) per Table 9A and comply with the applicable block-size requirements of Table 9F. Adjustments to the street network are allowed as identified in Table 9F.

Step 3: Introduce Alleys

Access to new blocks and their individual lots is allowed primarily by alley or, side street, with a certain portion of lots allowed to access the lot via the primary street. Table 9F identifies the required ratio of alley-access lots for each new block per zoning district. The intent of limiting access to the rear or side of lots is to maintain the continuity of the streetscape without interruptions such as driveway access. Therefore, unless the lot(s) takes access via a side street or if front access is allowed in the zone, the introduction of rear service alleys is required.

Step 4: Adjust Zoning District Boundaries

Upon applying urban design to the site to generate the block(s) for the proposed development in compliance with Table 9F, it may become desirable or necessary to adjust the existing zoning district boundaries. In such a case, the adjusted zoning district(s) or new zoning district(s) are to be applied to the new blocks, as allowed in Section 1.3C.1.

The example in Diagram 9F.1 shows an additional zoning district being applied to the reconfigured site: an existing zoning district prior to subdividing the site and a second zoning district to allow for a different range of intensity and physical character in response to the new block and street configuration.

Step 5: Introduce Lots

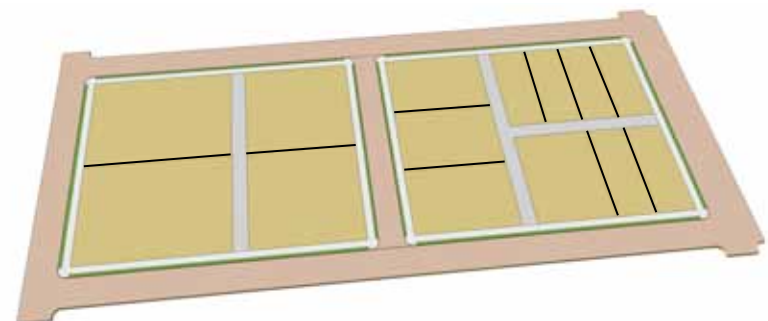
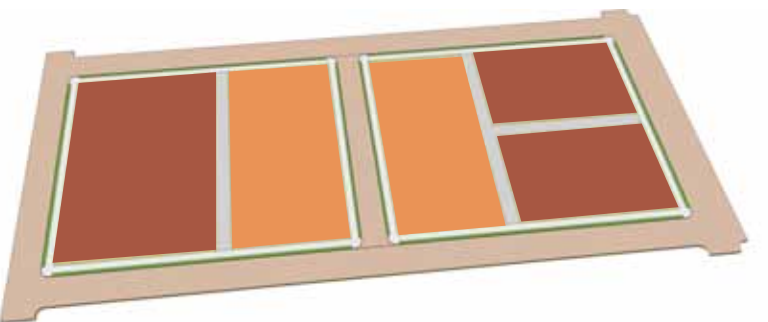
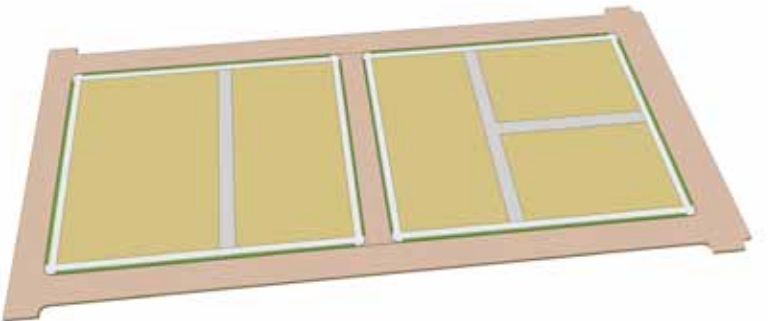
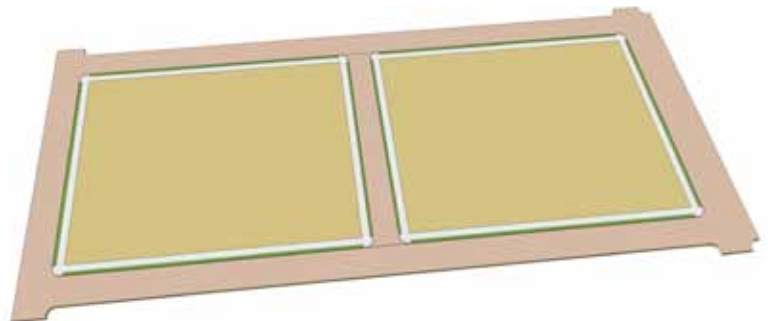
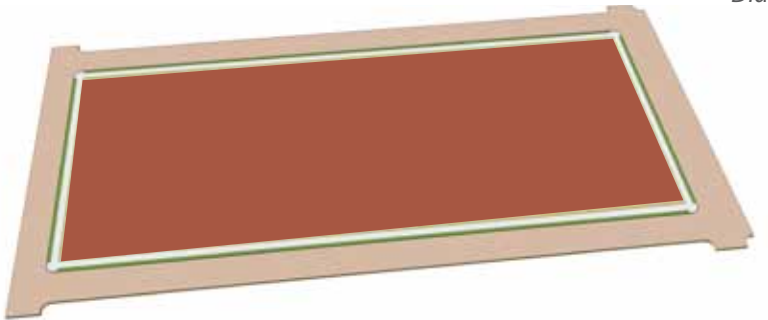
Lots are introduced on each block to correspond with the selected building type(s) allowed by each zoning district, and their particular requirements in Table 5.

These lots are for the purpose of design and reflect the minimum to maximum area needed to effectively design corresponding building types that comply with the intended physical character of the zoning district. The permanence of the lot lines is not required by these standards.

Step 6: Introduce Projects

Each lot is to receive no more than one main building. Accessory buildings are allowed as identified in the applicable zoning district. The main building is then designed per the requirements of Table 5 for the applicable zoning district along with the allowed frontages and arranged to suit the particular organization of buildings desired for the block.

Diagram 9F.1



9.0 BLOCK AND STREET STANDARDS

Standard	Zoning District															
	CBD 1	CBD 2	CC	CT	CA/ SS/ SVN	TC	NC	CG	NG	NGP	NGR	NE	SDG1	SDG2	SDA	SD H
A. Block Length (feet along primary street)	200-500	200-500	200-500	200-500	200-500	200-400	200-300	200-500	200-500	200-500	200-400	300-600	750 max	1000 max	n.a.	same as TC
B. Block Depth (feet along secondary street)	200-500	200-500	200-500	200-500	200-500	200-400	200-300	200-300	220-300	220-300	220-300	220-500	750 max	1000 max	n.a.	same as TC
C. Lot Standard	Per Requirements of applicable building type in Section 5.0												no reqmt	no reqmt	no reqmt	same as TC
D. Street Realignment	allowed subject to minimum resulting block depth in compliance with applicable Block Depth standard															
E. Alley Access	Existing alley access to remain												n.a.	n.a.	n.a.	same as TC
F. Alley Realignment	allowed subject to minimum resulting block depth in compliance with applicable Block Depth standard															
G. Ratio of New Alleys	100	100	100	100	100	75	100	25	75 L	??	75 L	50 M	n.a.	n.a.	n.a.	75
H. New Alley	allowed subject to minimum resulting block depth in compliance with applicable Block Depth standard															

KEY TO TABLE 9F

- 200-500

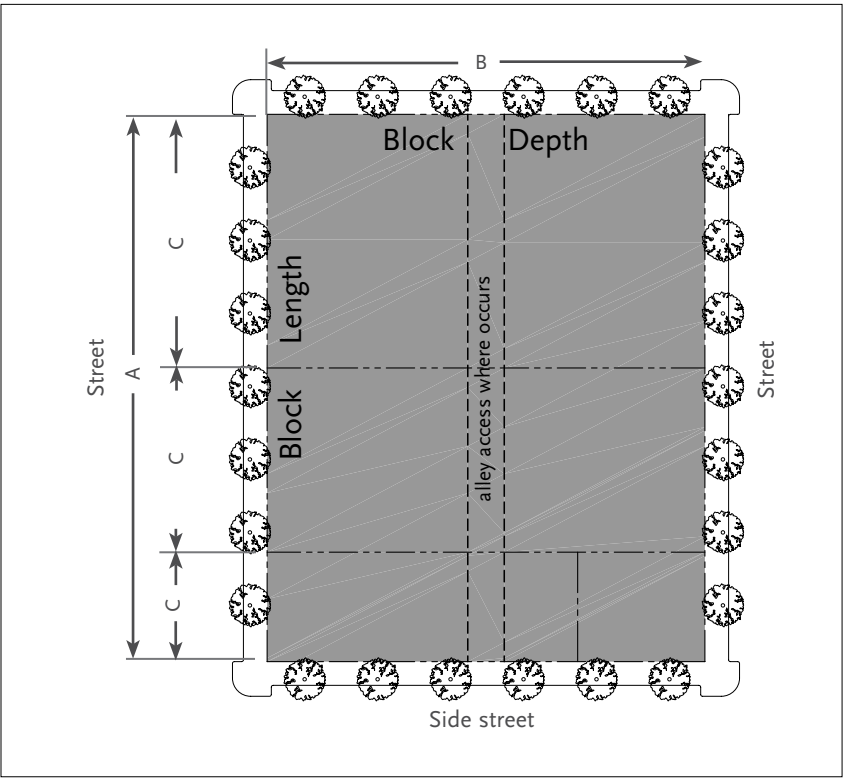
Standard expressed in numerical range from minimum to maximum
- 40

The min % of lots on a site of at least 4 acres or 700 feet in length in the zoning district that shall have alley access
- L

Required ratio may be reduced when minimum lot width is 65 feet
- M

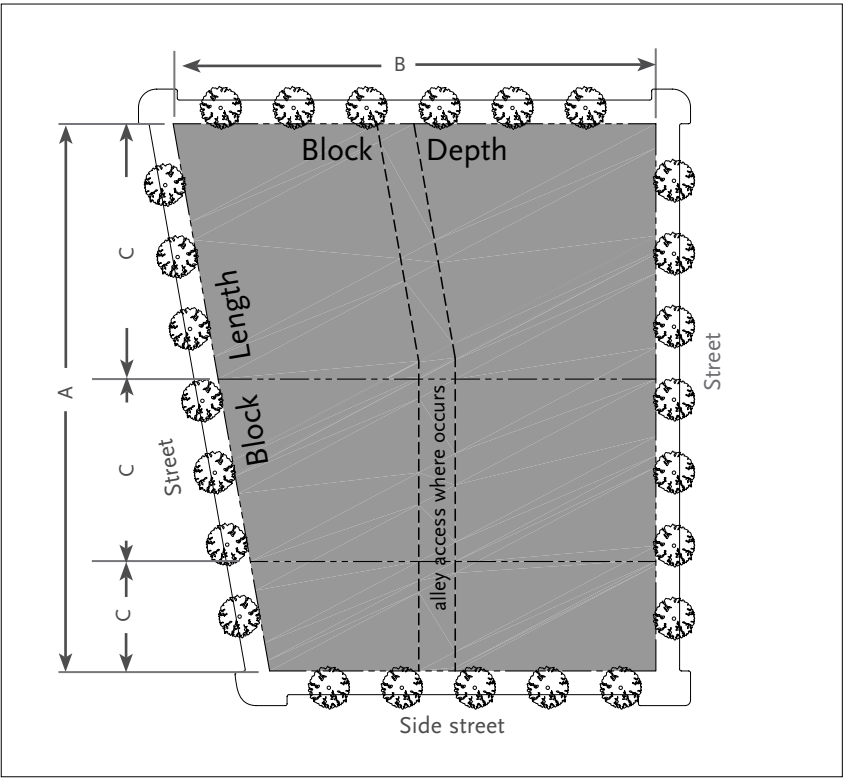
Required ratio may be reduced when minimum lot width is 90 feet
- n.a.

Standard does not apply to zoning district



Orthogonal Block Requirements

Diagram 9F.2



Trapezoidal Block Requirements

Diagram 9F.3

10.0 SPECIAL STANDARDS

10.1. SPECIAL STANDARDS

- A.

Purpose and Establishment of General Standards.

This section of the Downtown Code establishes the standards for particular elements of sites, buildings and streetscapes to ensure a consistent and high level of quality in building design, materials and land use activity.
- B.

Applicability.

The requirements of section 10.0 apply to all property subject to the Downtown Code as follows:

10.2. Requirements for Sites, Blocks, Parcels and Lots;

10.3. Requirements for Frontages, Streets and Sidewalks;

10.4. Requirements for Buildings;

10.5. Required Findings
- C.

Compliance.

Compliance with the requirements of section 10.0 and the required findings in Section 10.6 shall be determined by the Director.

10.2 STANDARDS FOR SITES, BLOCKS, PARCELS, LOTS.

Property subject to the Downtown Code shall comply with the following requirements, as applicable.

10.2A. General Requirements.

The pattern of blocks and the individual lots that comprise each block is important to the City's objectives for interconnectivity, walkability and pedestrian-oriented streetscapes. Therefore, the following requirements are aimed at addressing such objectives and implementing the DNCP and FCSP:

1. Blocks, parcels or lots created or modified after the adoption of the Downtown Code shall comply with the applicable requirements of Section 8.0 'Open Space and Landscape Standards' and Section 9.0 'Block and Street Standards'.
2. Land that is part of a Infill Plan or another such action that is revising the zoning district boundaries in Figure 2, as allowed by Section 1.3C.3, shall comply with the following requirements for allocation of zoning districts:

i. The revised zoning districts shall be consistent with the intent of the Downtown Code as identified in Section 1.2;

ii. When the project site is within 1,000 feet of a parcel in the Civic Building / Open Space Overlay identified in Figure 2, a minimum of 5 percent of the project site shall be provided as open space in compliance with Table 8;

iii. The revised zoning districts shall comply with the following ratios:

Site in Zoning District	Required Allocation Mix of Zoning Districts (% of site)											
	TC		CG		NC		NG		NGR		NE	
	min	max	min	max	min	max	min	max	min	max	min	max
TC	25	none	none	50	X	X	none	30	X	X	X	X
CG	none	30	25	none	none	30	none	30	X	X	X	X
NC	X	X	none	30	25	none	none	30	X	X	X	X
NG	X	X	X	X	none	25	50	none	X	X	none	30
NGR	X	X	X	X	none	25	none	30	50	none	none	30
NE	X	X	X	X	none	10	none	30	X	X	50	none
<div>Sites of at least 10 acres within zoning districts CBD 1, CBD 2, CC, CA/SS/SVN, CT, SD-G1, SD-G2, SD-A, SD-H that propose a reconfiguration of the zoning district boundaries are not allowed to use the zoning districts identified in the above table.</div> <div>Key min 30% = minimum land area of site that shall be allocated to the identified zoning district max 50% = maximum land area of site that shall be allocated to the identified zoning district X = zoning district not allowed none = no minimum or maximum required</div>												

3. Streets created or modified after the adoption of the Downtown Code shall comply with the applicable requirements of Section 9.0 'Block and Street Standards'.
4. Each lot shall front a street, public or privately owned, in compliance with Section 9.0 'Block and Street Standards' and Section 5.0 'Building Standards'.

5. Driveways into sites or on-site parking shall comply with the following as applicable:

Standard	Site within Zoning District					
	CBD1, CBD2, CC	CT, CA/SS/SVN	TC NC	NG, NGP NGR, NE	SD G1 SD G2	SD A SD H
Min width	15	10	10	10	no min	no min
Max width	20	20	16	16	no max	no max
Location	per parking and access requirements of zoning district					

10.2B. Requirements for Site Walls and Fences.

- Screening elements such as solid walls, hedges or combination of walls and hedges ('streetscreens') shall be used to screen service areas, storage areas, or garbage areas from public view from the street or pedestrian ways.
- Low walls (2 to 3 feet in height), in compliance with section A.3 of the applicable zoning district standards, may be used to divide space, create a variety in landscaping and to define site edges.
- Solid walls (3 to 8 feet in height) or hedges, are permitted to screen mechanical equipment, garbage receptacles, loading areas and other unsightly areas and provide privacy at the back of lots and along side streets in compliance with the requirements of Section 6.0 'Frontages'. When a wall exceeds 3 feet in height, the wall shall be designed as an extension of the primary building in materials and color.
- Site walls and fences shall not be placed where a frontage is required per Section A.3 of the applicable zoning district standards.
- Chain link fencing is allowed only when dark vinyl coated and used in conjunction with landscape buffering and screened with plantings.
- Front yard fencing shall comply with the following requirements as applicable:
 - Fences shall be located in compliance with the frontage requirements in section 6.0;
 - Where allowed, fences shall be setback from the adjacent sidewalk by at least 12 inches to allow for planting intended to visually improve the appearance of the fence along the sidewalk;
 - Where allowed, fencing that is solid shall not exceed 3 feet in height from the adjacent grade;
 - The overall height of fencing along the front yard and adjacent side street, when present, shall not exceed 4 feet;
 - Gateways that are designed to be an integral component of the fence are allowed as follows:
 - maximum of 8 feet wide;
 - maximum of 10 feet tall;
 - the materials and design of the gateway shall correspond to the materials and design of the fence.
- Where allowed, retaining walls visible from a public sidewalk or open space shall be designed consistent with the architectural style of the main building or, the wall shall be clad in masonry or stone in compliance with the requirements of Section 10.4G.7.

10.3 STANDARDS FOR FRONTAGES, STREETS, SIDEWALKS.

Property subject to the Downtown Code shall comply with the following requirements, as applicable.

The pattern of frontages and the individual streets and open spaces that comprise each block is important to the City's objectives for interconnectivity, walkability and pedestrian-oriented streetscapes. Therefore, the following requirements are aimed at addressing such objectives and implementing the DNCP and FCSP:

10.3A. Requirements for the Public Right-of-Way.

- Streets and sidewalks constructed or modified after the adoption of the Downtown Code shall comply with the applicable requirements of Section 9.0 'Block and Street Standards';
- Open spaces (private or public) constructed or modified after the adoption of the Downtown Code shall comply with the applicable requirements of Section 8.0 'Open Space and Landscape Standards';
- Streetscapes and frontages constructed or modified after the adoption of the Downtown Code shall comply with the requirements of Section 6.0 'Frontage Standards' and Table 9A;
- Street furnishings are subject to the applicable requirements of the Downtown code. Street furnishings such as the following are allowed to be located within the streetscape (public R.O.W. or visible private space adjacent to a R.O.W.):
 - tables, chairs
 - umbrellas
 - landscape pots
 - wait stations
 - valet stations
 - bicycle racks
 - planters
 - benches
 - bus shelters
 - kiosks
 - waste receptacles, and
 - similar items that help to define pedestrian use areas
- Street furnishings shall consist only of the following materials:
 - wood, metal, stone, terra cotta, cast stone, hand-sculpted concrete, or solid surfacing material, and recycled plastic;
 - Plastic resin furnishings are prohibited.
- Street furnishings shall not contain or support any advertising;
- Street furnishings such as tables and chairs may not be stored in such a way as to be visible from the street;
- The following street furnishings are prohibited on or within 5 feet of a public sidewalk, street or open space:
 - Vending machines;
 - Photo booths;
 - Automated machines such as, but not limited to, penny crunching machines, blood pressure machines, fortune-telling machines, video games, animated characters and other such machines that are internally illuminated, or have moving parts, or make noise, or have flashing lights;
 - Inanimate figures such as animals, mannequins or any such cartoon or human figure. This section does not affect public art as defined in section 11.0 'Definitions'.

10.0 SPECIAL STANDARDS

10.3C. Requirements for Street and Site Lighting (non-parking lots).

Site lighting shall include illumination of parking areas, buildings, pedestrian routes, dining areas, design features and public sidewalks or open spaces. For buildings within 10 feet of a public sidewalk or open space, such lighting is identified in the following standards as 'street lighting'. The following requirements apply to all site lighting:

1. Site lighting shall be shielded by permanent attachments to light fixtures to prevent offsite glare and so that the light sources are not visible from a public way.
2. The position of a lamp along a sidewalk or other path being lighted shall not exceed 15 feet in height above the ground.
3. Street lighting shall be provided along public sidewalks and open spaces through approved luminaires that provide a minimum of 1 foot candle mounted on 14 to 20 foot tall poles spaced between 50 and 60 feet. Such poles shall be at least 18 inches away from the adjacent curb face. Lighting in parking areas shall utilize the above standard unless the parking area is enclosed in which case FMC Lighting Standards apply.
4. Lighting, including banners, intended for announcing community events may be suspended across a right-of-way at the following locations:
 - i. Intersection of Divisadero and Van Ness
 - ii. Intersection of Divisadero and Fresno
 - iii. Intersection of Ventura and Van Ness
 - iv. Intersection of Fresno and 'H'

At a minimum, such lighting and event banners shall comply with the following:

- minimum vertical clearance of 15 feet from the street surface;
- adequate structural support of lighting through attachment to adjacent buildings, subject to permission from building owner(s);
- adequate electrical service through approved temporary service or from adjacent buildings, subject to permission from building owner(s);
- authorization of an encroachment permit from the City;
- subject to compliance with all applicable requirements

10.3D. Requirements for Screening of Service Areas, Mechanical Equipment.

1. Except in the SD-G1, SD-G2, SD-A zoning districts, loading areas shall not be within 35 feet of the primary frontage line. Loading areas facing side streets shall be screened with a streetscreen per section 10.2B.
2. Service areas and mechanical equipment shall be visually unobtrusive and integrated with the design of the site and building.
3. Except in SD-G1, SD-G2, SD-A zoning districts, service entrances, waste disposal areas, openings to a trash enclosure and other similar uses shall be located at least 50 feet from the primary frontage of the lot. When alleys are present, such uses shall be near or adjacent to alleys.
4. Utility boxes shall be positioned to not be seen from the primary frontage of the lot. Utility boxes may be located on the sides of buildings and away from pedestrian and vehicular routes or within interior building corners, at building offsets or other similar locations where the building mass acts as a shield from public view.
5. Air intake and exhaust systems, or other mechanical equipment that generates noise, smoke or odors, shall not be located on or within 10 feet of the primary frontage line or along a paseo or open space.

6. HVAC equipment shall be located within sideyards or in the back half of the lot, away from any street. If necessary to locate the equipment on the roof, the equipment shall be incorporated into the design of the roof and shall not face the street.
7. Screening of service entrances shall be compatible with the architecture of the adjacent buildings. A wall will be considered compatible if it uses the same material as other buildings on the block, or is in keeping with the color scheme of the adjacent building.
8. Storage of goods and supplies shall be limited to those allowed to be sold at retail on the premises or utilized in the course of business.
9. Outdoor storage of materials, products, equipment or vehicles, shall be screened by a streetscreen per Section 10.2B. Materials, products or equipment stored outdoors shall not exceed the height of the wall, nor encroach into required parking and landscape areas.
10. All property shall be maintained in a safe, sanitary and attractive condition, including but not limited to structures, landscaping, parking areas, walkways, and trash enclosures.

10.3E. Requirements for Trash Enclosure Design

1. Trash and recycling containers and dumpsters that are freestanding structures shall comply with the requirements of the zoning district for accessory structures. Trash and recycling containers and dumpsters that are not freestanding structures shall be incorporated into the design of the main building in compliance with the requirements of the zoning district for main buildings.
2. Trash and recycling containers and dumpsters may be enclosed in a room (trash room) that is incorporated into the mass of the main building, within a covered garage, or in a fenced enclosure.
3. Trash and recycling containers shall be screened from the view of the surrounding primary streets, alleys, and/or side streets.
4. Where an alley is present, trash and recyclable containers and dumpsters shall be located and accessed from the alley.
5. Where an alley is not present, trash and recyclable containers and dumpsters should be located in a manner that is not visible from surrounding primary streets and/or side streets.
6. Trash room doors shall be designed a manner that is compatible with the architectural design of the main building in terms of materials, color, and detailing.
7. Fenced trash enclosures and their access gates or doors shall completely screen the trash containers and dumpsters they enclose and shall be designed in a manner that is compatible with the architectural design of the main building in terms of materials, color, and detailing.

10.3F. Requirements for Antennae.

1. Antennae, including cellular antennae and equipment, shall comply with the maximum height requirements of the applicable zoning district for architectural features;
2. Antennae, including cellular antennae and equipment, proposed within the frontage zone for the applicable zoning district shall be attached to the main building per the following:
 - a. Except in the SD-G1, SD-G2, SD-A zoning districts, antennae exposed to a street frontage or public open space shall be incorporated into the design, materials and colors of the facade(s);

b. In the SD-G1, SD-G2, SD-A zoning districts, antennae may be placed anywhere on the site in compliance with the zoning district requirements for accessory structures and architectural features.

2. Antennae that is freestanding on a site, such as cell towers and including cellular antennae and equipment, shall comply with the following:
 - a. Except in the SD-G1, SD-G2, SD-A zoning districts, freestanding antennae shall not be placed within the frontage zone for the applicable zoning district;
 - b. Antennae shall comply with the maximum height and adjacency requirements for accessory structures of the applicable zoning district;

10.3G. Requirements for Public Art.

1. Public art work in compliance with the following requirements may be included in the design of sites and buildings per the definition of Public Art Work in Section 11.0.
 - a. Sculpture: free-standing, wall supported or suspended; kinetic, electronic; in any appropriate material or combination of materials.
 - b. Murals or portable paintings: in any appropriate material or variety of materials, with or without collage or the addition of non-traditional materials or means.
 - c. Photography, original works of graphic art, limited edition prints, works on/of paper, original paintings.
 - d. Earthworks, fiberworks, waterworks, neon, glass, mosaics, or any combination or forms of media including sound, literary elements, holographic images, or hybrids of media and new genres.
 - e. Furnishings or fixtures, including but not limited to gates, railings, streetlights or seating, if created by artists as unique elements.
 - f. Artistic or aesthetic elements of the overall architecture or landscape design if created by a professional artist or a design team that includes a professional visual artist.
2. The following items shall not be eligible for inclusion as public artwork:
 - a. Directional elements such as supergraphics, signage or color coding except where these elements are integral parts of an overall design created by a professional visual artist. "Art objects" which are mass produced or of standard manufacture, such as playground equipment, fountains or statuary elements, unless incorporated into an artwork by a project artist.
 - b. Mass-produced reproductions by mechanical or other means, of original works of art.
 - c. Decorative, ornamental, architectural or functional elements which are designed by the building architect, as opposed to elements created by an artist commissioned for that purpose.

10.4 STANDARDS FOR BUILDINGS.

Property subject to the Downtown Code shall comply with the following requirements, as applicable.

10.4A. General Requirements.

Buildings are the principal determinants of street and neighborhood form. As they are incrementally constructed, they contribute, along with their neighbors, to both the formation of the public realm and to the collective form of the city.

Essential, therefore, to the design of new projects and individual buildings to be modified is the careful consideration of how each building relates towards the street, towards buildings across the street, and towards neighboring buildings, as well as to their historical, cultural, and climatic context. In order for this to be successfully achieved, new buildings shall be designed to be generally pleasing to both those who inhabit them and to those who pass by on foot, bicycle, or automobile.

All components of a building must be thoughtfully and holistically designed: the careful articulation of building volumes in a manner that is respectful of existing buildings; the inclusion of frontages that enhance the building's relationship to the public realm; the selection of materials, window and door assemblies and the consideration of how they relate to one another both proportionally and in terms of color and texture; the choice of plants, trees, and hardscape materials that are compatible with the proposed building, and are appropriate to the climate of Fresno; the placement of mechanical systems and utilities in the least obtrusive manner; and the kinds of constructional details that generate permanent buildings and, by extension, long term value.

The following standards apply to new buildings or existing buildings to be modified:

1. Buildings constructed or modified after the adoption of the Downtown Code shall comply with the requirements of Section 2.0 'Zoning Districts';
2. Each main building shall correspond to its own lot in compliance with the applicable requirements of section 5.0. A maximum of one main building shall be located on each lot, except for civic buildings which are exempt from the requirements of section 5.0.
3. Each building shall be sited to have the eave of its primary facade be generally parallel or parallel to the primary street (front) except for civic buildings which are exempt from this requirement.
4. Buildings shall be located on their lot in compliance with the Building Placement requirements of the applicable zoning district.
5. Renovations of, and additions to, existing buildings shall be consistent with the architectural style of the main building.
6. Ground floor facades shall comply with the applicable frontage requirements in section 6.0.
7. Ground floor facades within the Shopfront Overlay and as otherwise required by the Downtown Code that are wider than 30 feet shall be divided into multiple storefront bays in compliance with Tables 6A, 6B, 6C or 6D, as allowed in the applicable zoning district.
8. Ground floor facades shall comply with the building placement requirements of the zoning district. For primary facades and facades on corner sites, the ground floor facade shall be located within the required frontage zone as identified for the zoning district.
9. Handrails or other such improvements shall not block visibility of the building entry or direct access from the sidewalk.
10. Unless otherwise specified by Section 6.0 'Frontage Standards', entries to buildings shall be at the same grade as the sidewalk nearest the building.

10.0 SPECIAL STANDARDS

11. Security gates shall not be located outside of a storefront or building façade.
12. Alarm boxes and other such equipment shall be placed at least 12 feet above the sidewalk.
13. Alterations, restoration, rehabilitation, ordinary repair and maintenance shall comply with the applicable requirements of FMC Section 11-308.
14. Demolition shall comply with the applicable FMC requirements of Chapter 11, Article 2, Building Moving and Demolition.

10.4B. Requirements regarding Historic Buildings.

The following requirements apply to: a) sites that contain historic buildings as defined by FMC 12-1600, b) sites that are immediately adjacent to a historic building by sharing a property line, or c) sites that do not share a property line but are visually adjacent by being separated from the subject site by a public right-of-way.

1. New or modified buildings shall visually complement the adjacent historic building through the following as applicable. New or modified buildings shall:

i. Match the building setbacks of the historic building(s). When several setbacks exist, the prevalent setback shall be used;

ii. Match the roof pitch of the historic building(s);

iii. Be similar in scale and massing to the historic building(s);

iv. Be similar in organization and size of openings to the historic building(s);

vi. Have site access (e.g., driveways and on-site paths) that are complementary in size and materials to the historic building(s);

vii. Have site details (e.g., fencing and landscaping) that are complementary to the historic building(s).
2. Historic buildings shall comply with the applicable requirements of FMC 12-1600 and the applicable requirements of the Downtown Code.

10.4C. Requirements for Building Entrances.

1. The primary entrance to any building or individual dwellings in a multi-family building (i.e., Hybrid Court, Court, Rowhouse, Bungalow Court, Rosewalk, Duplex to Quadplex) shall face the street or be accessed through an open space that is immediately adjacent to and accessible from the street.
2. The primary entrance shall be distinguished by architectural features such as, but not limited to: an entry portal; change in material or color; change in scale of other openings; addition of columns, lintels or canopies.
3. Secondary entrances should have architectural features that are subordinate to the primary entrance in scale and detail. For purposes of this section, subordinate means that the entrance is smaller in height and width, and has fewer or simpler architectural elements.
4. Entry doors shall not swing out to the sidewalk unless the door when fully open does not encroach into the sidewalk.

10.4D. Requirements for Openings.

The placement, orientation, proportion, materiality, detailing, and color of windows and doors are essential to defining a building’s character and quality. Windows and doors shall be appropriately proportioned and coordinated with the main building’s architectural style.

1. Ground floor facades shall comply with the applicable requirements in section 6.0 'Frontage Standards' for the particular zoning district.
2. Upper floor facades shall comply with the following requirements for openings:

Standard	Site within Zoning District					
	CBD1, CBD2, CC	CT, CA/SS/SVN	TC NC	NG, NGP NGR, NE	SD G1 SD G2	SD A SD H
Min %	30	30	30	20	n.a. [1]	n.a. [1]
Max %	70	70	70	50	n.a. [1]	n.a. [1]
<div><div>Key</div><div>min % = minimum percentage of upper floors that shall consist of openings such as windows and doors to balconies or roofdecks</div><div>max % = maximum percentage of upper floors that shall consist of openings such as windows and doors to balconies or roofdecks</div><div>1 = no requirement in addition to compliance with CFC and CBC</div></div>						

3. Windows on upper floors shall be vertically oriented, taller than wide, and shall be individually articulated.
4. Materials.

a. Windows, doors, frames, colors, and styles shall be appropriate to the building’s architectural style;

b. Allowed window and door materials include wood, fiberglass, steel, or aluminum. Vinyl and vinyl-clad windows are allowed with mullion patterns and colors appropriate to the building’s architectural style;

c. Flush nail-on aluminum windows and horizontal aluminum sliding windows are prohibited;

d. Glazing shall be clear glass, particularly in storefront and primary window applications. Transom and other specialty windows may be decorative.
5. Details.

a. Window sills shall be detailed to properly shed water;

b. Head casing shall be equal in width to or wider than jamb casing;

c. Mullions, if used, shall be true and should be of a substantial dimension (e.g. not flat).
6. Configurations.

a. Window openings and panes shall be vertically oriented, square, and/or composed of groupings of vertically oriented windows;

b. The orientation and proportion of openings shall be consistent with the architectural style of the rest of the building. Openings shall relate to one another proportionally and according to a rational system of design;

c. Building elevations shall exhibit a hierarchy between window sizes to differentiate between public rooms and private rooms;

d. Windows shall be designed in scale with surrounding buildings.
7. Placement.

a. Windows shall be placed on a wall to maintain existing privacy with neighbors;

- b. Windows shall be recessed from the wall plane of the facade to provide visual depth. The depth shall be specific to the architectural style being utilized;
 - c. Bay windows, if provided, shall be habitable spaces.
8. Accessories may include operable shutters sized to match their openings, opaque canvas awnings and other shading devices, and planter boxes supported by visible brackets appropriate to each design.

9. Garage Openings.

- a. Pedestrian entrances to buildings shall be more prominent than automobile entrances through size, massing, or detail variation;
- b. Parking garage entrance openings shall be composed as an integral part of the building facade and shall be designed as doorways secured by gates or doors and scaled in proportion to the overall form of the building.

10.4E. Requirements for Awnings, Canopies, Porches, Arcades and Galleries

- 1. Porches, stoops or other covered entries shall not be enclosed except that porches may utilize screens between the structural members of the porch.
- 2. When awnings and canopies are to be used they shall accentuate the character-defining features of a building.
- 4. Simple shed shaped awnings shall be used for rectangular openings.
- 4. Awnings and canopies shall be mounted to highlight and not obscure architectural features such as moldings above the storefront.
- 5. Awnings and canopies shall match the shape of the opening that they are shading except for odd shaped awnings. Odd shapes and bubble awnings are prohibited except where a photograph shows they have been previously allowed on the building and were not in conflict with an applicable requirement.
- 6. Canopies and awnings shall not conflict with the buildings’s proportions or with the shape of the openings that the awning or canopy covers.
- 7. Awnings and canopies may be constructed of metal, wood or fabric, subject to the approval of the DRM Director or designee.
- 8. Lights that illuminate the pedestrian way or sidewalk dining beneath the awning are only allowed upon review and determination by the DRM Director or designee that the proposed lighting is appropriate for the context and consistent with the intent of the Downtown Code;
- 9. The storefront may only be illuminated from the sidewalk side of the glass by externally mounted lights subject to the requirements of Table 6C.
- 10. Internally illuminated awnings that glow are prohibited.

10.4F. Requirements for Building Lighting.

- 1. All flood lamps shall be shielded so that the light sources are not visible from a public sidewalk, or open space.
- 2. Lighting (uplighting and downlighting) that is positioned to highlight a building or outdoor artwork shall be aimed at the object to be illuminated.

- 3. Lighting fixtures shall not distract from, or obscure important architectural features of the building. Lighting fixtures shall be a subordinate feature on the building unless they are incorporated into the overall design scheme of the building.
- 4. All site lighting is subject to Fresno Parking Lot Manual standards regarding brightness of one-half footcandle minimum with a maximum ratio of 6:1.

10.4G. Requirements for Materials and Finishes.

Architectural materials and constructional assemblies shall be combined in a manner to promote permanence and longevity and shall be designed consistent within the architectural style chosen for the main building, in terms of structural expression, scale, and proportion.

Buildings are subject to the following minimum requirements, as applicable:

- 1. Ground floor facades shall be distinct from upper floors through the use or finish of materials, colors, window sizes, and architectural details.
- 2. Upper floor cladding materials shall generally be organized with heavier appearing materials lower on the wall in relation to lighter appearing materials.
- 3. Curtain wall systems or other such systems where more than 50% of the wall surface on upper floors and more than 80% of the ground floor wall surface consists of glass are not allowed.
- 4. Durability of Materials. Materials shall be durable and detailed to complement the streetscape.
- 5. Exposed Wood.
 - a. Buildings that were originally clad in exposed wood shall not be covered with a non-wood material. Wood-like materials may be used;
 - b. Exposed wood (or wood-like materials) shall be finished in a manner that minimizes maintenance and promotes the material's longevity.
- 6. Reflective Materials.

The use of reflective materials is allowed when:

 - a. The material is applied to small areas such as to highlight signage; and;
 - b. It can be shown to the Director that the material will not cause a nuisance to automobile traffic, pedestrians, and neighboring buildings.
 - c. Active solar devices shall be fully integrated into the overall form of the building. Passive solar devices such as overhangs, shutters, louvers, canopies, and shade trees shall be used to minimize solar heat gain. Buildings shall be designed to allow for the passage of cooling breezes.
- 7. Masonry and Stone.
 - a. Buildings that were originally clad in masonry or stone shall not be covered with a non-masonry or stone material;
 - b. Masonry veneer walls shall be detailed with structural integrity, appearing thicker and heavier, especially at corners and window and door openings.
 - c. Brick and cut stone shall be laid in true bonding patterns. Mortar joints shall be struck.

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- d. River and rubble stone shall be laid from large to small, with smooth or beaded mortar joints.

e. Masonry detailing shall involve the transition from stone to other materials through moldings, caps, and other trim elements.
8. Synthetic Materials.
The use of synthetic materials is allowed when the material:

a. Adequately simulates the appearance of the natural material it imitates;

b. Demonstrates an ability to age similar to or better than the natural material it imitates;

c. Has a permanent texture, color, and character that is acceptable for the proposed application; and

d. can be pressure washed and, in general, withstand anti-graffiti measures.
9. Prohibited materials include the following:

a. T1-11;

b. rough-sawn wood;

c. vertical siding except board and batten which shall be allowed only in CA/SS/SVN, CT, NG, NGP, NGR, NE, SD G1, SD G2, SD-A;

d. metal siding except as allowed in SD G1, SD G2 and SD-A;

e. concrete block as an exterior finish material except as allowed in SD G1, SD G2 and SD-A
10. Multiple Materials. Two or more wall materials may be combined on one facade. If located one above the other, lighter materials shall be placed above more substantial materials (e.g. wood above stucco or masonry, or stucco and glass above masonry). In general, vertical joints between different materials shall occur only at inside corners.
11. Color. Materials and finishes shall be composed to provide visually balanced compositions. Large areas of bright colors shall be avoided.
12. Finishes and Fixtures. Finishes, fixtures, and other architectural details shall be designed to be consistent with each other throughout the building.
13. Attached Elements. Attached architectural elements and details such as lighting fixtures, attic vents, custom signage, awnings, hand rails, balconies, and trellises are allowed when designed to be consistent with other elements throughout the building. Such elements shall relate to the elements or intended general character of surrounding buildings.
14. Unless prohibited, modifications to existing buildings shall utilize or match the materials, configurations, colors and finishes of the existing building to the extent possible as determined by the Director.

10.4G. Requirements for Mixed-Use Configurations.

1. Buildings shall be designed to minimize the potential conflicts between residential and non-residential uses within the same building through the following as applicable:

a. sound attenuation (wall and ceiling);

b. individual entries for non-residential and residential;

c. location of upper story windows away from service activity;
- d. ventilation of ground floor uses so as not to disrupt upper non-residential tenants

2. Building signage shall be designed to complement the building while providing adequate visibility from adjacent suites on upper floors near the signage and avoiding the creation of detrimental conditions for upper floor suites.
- 10.4H. Requirements for Parking Lots and Parking Garages.
1. Parking shall be located per the applicable zoning district requirements in Section 4.0 'Development Standards'.

2. ADA access shall be provided.

3. Parking lots and stalls shall be designed with the following minimum dimensions:

Angle of Parking	Length of Parking Stall	Width of Parking Stall	Aisle Width
60° or less (one-way)	18 ft	9 ft	18 ft
90° (two-way)	18 ft/ 34 ft tandem	9 ft/ 10 ft tandem	24 ft

4. Tandem parking is allowed as follows:

a. Multi-family buildings and the residential component of mixed use building shall comply with the following requirements, as applicable:

i.Both tandem spaces shall be assigned to the same dwelling unit.

ii. Up to 50 percent of the total required off-street parking spaces provided may consist of tandem parking.

b. Non-residential buildings: Tandem parking is not allowed, except for restaurants subject to the following requirements:

i. Up to 75 percent of the total off-street spaces may incorporate tandem parking when the property owner provides a full-time parking attendant be on duty at all times the parking facility is available for use.

5. New or modified landscape planters shall be a minimum of five feet wide (interior dimensions).

6. Parking lots or portions of parking lots that are adjacent to the public sidewalk, as allowed by the zoning district, shall include a clearly marked pedestrian walkway from the sidewalk into the parking lot for every 50 feet of parking lot adjacent to the sidewalk. For corner sites, two required walkways may be combined at the corner. The walkway shall use a low wall up to 4 feet tall to identify the walkway and may use a gateway up to 10 feet tall to visually identify the walkway in compliance with Section 10.2B.6e. The wall and gateway shall match the architectural style of the main building being served by the parking lot.

7. Lighting shall comply with the following requirements.

a. Outdoor light fixtures shall be limited to a maximum height of 15 feet or the height of the nearest building, whichever is less.

b. Lighting shall be shielded or recessed so that:

i. The light source (i.e., bulb, etc.) is not visible from off the site; and

ii. Glare and reflections are confined to the maximum extent feasible within the boundaries of the site. Each light fixture shall be directed downward and away from adjoining properties and public rights-of-way.

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- c. No lighting on private property shall produce an illumination level greater than one foot candle on any property within a residential zoning district and shall only illuminate the property with the light source.
- 8. Parking lots shall be landscaped as required by section 8.5.
- 9. All landscaping shall comply with FMC requirements for automatic irrigation, irrigation efficiency and maintenance.
- 10. Walls or fences in parking lots/garages shall be landscaped to be visually interesting and to deter graffiti and vandalism.
- 11. Unless otherwise specified by the zoning district requirements, the ground floor of parking garages shall not be exposed to view within 25 feet of a street or open space and shall be lined with ground floor buildings at least 25 feet in depth as measured from the adjacent sidewalk.
- 12. The opening of a parking lot or garage on a frontage shall not exceed two lanes in width.
- 13. Upper floors of buildings that temporarily or permanently accommodate parking shall be designed consistent with the architectural style of the ground floor while being simpler in detail and while accommodating ventilation issues.
- 14. Roofs of buildings, as allowed by the applicable zoning district, may be used for parking provided that the rooftop parking is in compliance with all applicable requirements.

10.4I. Requirements for Bicycle Parking.

- 1. One bicycle parking stall shall be provided for every 10 automobile parking stalls in the form of a bicycle rack or locker, with a minimum of one parking stall.
- 2. Bicycle parking must be distributed to serve all buildings or main entrances.
- 3. Short term (less than 2 hours) parking facilities shall adhere to the following:
 - a. Be well anchored to a floor, wall, or ceiling and capable of securing a bike for the prevention of theft;
 - b. Be highly visible and in a prominent location from the main entrance, but no further than 50 feet away;
 - c. Be adequately lighted;
 - d. Provide adequate clearance around the facility to give users room to maneuver.
- 4. Long term (more than 2 hours) parking facilities shall adhere to the short term parking standards and the following:
 - a. Provide a secure weather-protected locker, storage room or fenced area with restricted access;
 - b. At least 50% of required parking is covered.

10.4J. Requirements for Shopping Cart Collection Areas

- 1. Shopping cart collection areas shall be provided every 100 feet of parking stalls.
- 2. Collection areas shall consist of a corral surrounded by a 6 inch curb to prevent carts from straying into pedestrian ways and automobile drives.
- 3. Railings and walls are not allowed.
- 4. Highly visible signage shall be provided to mark a collection area's location.

10.5. REQUIRED FINDINGS

Each application involving Section 10.0 shall require consistency with the following findings in order to be approved:

- 1. The application is consistent with the intent of the applicable zoning district;
- 2. The application is in conformance with the applicable requirements of Section 10.0 as required by the applicable zoning district;

11.0 DEFINITIONS

11.1 DEFINITIONS OF SPECIALIZED TERMS

- A. Purpose.** This Section provides the definitions of terms and phrases used in the Downtown Code that are technical or specialized, or that may not reflect common usage. Certain Fresno Municipal Code (FMC) definitions have been modified for usage within the Downtown Code boundaries. If any definition in this Section conflicts with a definition in the FMC, the definitions in this Section shall control. If a word is not defined in this Section, or in other provisions of the Downtown Code, the Director shall determine the correct definition through a written interpretation presented to the Planning Commission giving deference to common usage.
- B. Applicability.** This section applies to all parcels and right-of-way within the boundaries of the Downtown Code as identified in Figure 1. As used in the Downtown Code, each of the following terms and phrases shall have the meaning ascribed to them in this Section, unless the context in which they are used clearly requires otherwise.

KEY

Bold text	Term or Specialized Phrase
Black text	Definition of Term or Specialized Phrase
CAPITALIZED	Reference to a term in Section 11.0
Blue text	FMC definition
Green text	New text added to FMC definition only for DT Code
Grey text	Text to be removed from FMC definition only for DT Code

11.2 DEFINITIONS

A

Access, Building. The physical point(s) and type of pedestrian access to a building from the public sidewalk. Also see building access.

Access, Site. The physical point(s) of vehicular access from a street or other right-of-way to a site.

Access, Lot. The physical point(s) of access to an individual lot for vehicles and pedestrians from a street, other right-of-way or sidewalk.

Accessory Structure. A subordinate building such as garages, tree houses, carports, storage sheds, shelters, pools or similar structures, the use of which is incidental to that of the main building (residential, commercial, or industrial) on the same lot and/or building site.

Accessory Dwelling (Carriage House). An apartment not greater than 500 square feet sharing ownership and utility connections with a main building. An accessory dwelling may or may not be within an outbuilding.

Accessory Building (Outbuilding). See ACCESSORY STRUCTURE.

ADA (Americans with Disabilities Act). United States public law enacted in 1990 guaranteeing rights for people with disabilities. This law protects people with disabilities against discrimination, provides "equal opportunity" for individuals with disabilities in housing, employment, transportation, government services and programs, etc., and requires that "reasonable accommodation" be made in public accommodations, including the workplace, for those with physical or mental disability.

Agriculture. The commercial operation of raising livestock and/or farming crops of fruit, vegetables or grain for sale.

Allee. A row of trees planted along a thoroughfare or sidewalk.

Alley. A low capacity thoroughfare with one, shared lane and no parking lanes, designed and intended for service and/or secondary access purposes (the rural version of an alley is a 'lane').

Antique or Collectible Store. A retail store that sells antiques, curios, gifts and souvenirs, and collectible items including sports cards and comic books. A store that primarily sells books is included under general retail. Does not include stores selling other types of second hand items (e.g., clothing), which are instead included in the definition of "Thrift Shop, Second Hand Store."

Apartment. A dwelling sharing a building and a lot with other dwellings and/or uses. Apartments may be for rent or for sale as condominiums.

Arcade. See FRONTAGE TYPES.

Art, Public. See PUBLIC ART WORK.

Awning / Valence Sign. See SIGNAGE TYPES.

Axial. The horizontal alignment of two elements such that two or more elements are in visual alignment, such as a street that

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terminates in a T-intersection on a particular block-face or two buildings on opposite ends of a block that face each other across a plaza or a facade designed to be axial to a T-intersection and the perpendicular street that it faces.

B

Bed and Breakfast Inn. A house-scale building occupied by a resident person or family, containing individual living quarters on a transient basis, for compensation, and in which a breakfast may be provided for guests. The breakfast provided shall not constitute a restaurant operation and may not be provided to persons other than guests.

Bicycle Path (Class 1 ', Class 2 '). A dedicated area, paved in a variety of materials (e.g., asphalt to decomposed granite) that is non-traversable by vehicles and is often shared with pedestrians.

Bicycle Route (Class 3 'Bike Lane'). An identified area, usually by white lines, that is part of the vehicular roadway that allows bicycle use.

Block. All property fronting on one side of a street between intersecting and intercepting streets, or between a street and a right-of-way, waterway, end of an existing cul-de-sac, or city-county boundary. Where the city-county boundary intersects or intercepts a street in a block as described herein, the block shall be considered to end at the city-county boundary.

Block Face. The aggregate of all the building facades on one side of a block. The block face provides the context for establishing architectural compatibility.

Block-Scale Building. The physical appearance when a building by its physical length and overall size is massed and organized to be larger than a house in its footprint.

Boarding House. A dwelling other than a hotel where lodging and meals for three or more persons is provided for compensation.

Bosque. A dense growth of trees with lawn or groundcover, or underbrush.

Breezeway. A roofed passageway, open on at least two sides where the roof is structurally integrated with the structure of the main building. A fence or wall not exceeding six feet in height may be permitted on one side of said breezeway.

Building Access. Buildings are accessed in either of two ways: a) WALK-UP or b) POINT access.

Walk-Up Access means when an individual suite or dwelling is accessed by the pedestrian directly from a public sidewalk or private open space directly accessed by the public sidewalk. House-scale buildings are accessed only by walk-up access

Point access means when individual suites or dwellings are accessed by the pedestrian through a common lobby. Block-scale buildings are accessed by either walk-up or point-access or, through a combination of the two.

Building, Accessory. Building(s) which are in support of the main building on the lot and subject to the building placement standards for accessory buildings.

Building Civic. See CIVIC BUILDING.

Building Function. The land uses accommodated by a building and its lot.

Building Height. The vertical extent of a building measured in stories to the eave of the highest story, not including a raised basement or a habitable attic. Height limits do not apply to masts, belfries, clock towers, chimney flues, and similar structures. Building height shall be measured from the average grade of the enfronting thoroughfare.

Building, Main ('primary'). A building, in compliance with the allowed building types in Section 5.0, which corresponds to the lot which contains or supports the primary function on the lot. Each lot may only contain one main building.

Building Placement. The maximum horizontal envelope available for placing a building on a lot.

Building Type. A structure defined by the combination of configuration, placement and function. The building types used in the downtown code are listed below in the order they appear in section 5.0 'Building standards':

A. Tower. A block scale building organized around a central core. The first five floors of this building type are expressed as a podium building that defines the streetscape. This allows for pedestrian-scale mid-rise buildings to define the street frontage with tall, thin towers extending higher, ensuring that the massing of tall buildings is in the spirit of downtown's historic towers, as well as diminishing shadows on the street and on adjacent properties. Tower buildings may accommodate the land uses identified in Table 3.

B. Flex Building. A block-scale building type designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. Second floor units may be directly accessed from the street through a stair; upper floors are accessed through a street level lobby. Flex buildings may accommodate the land uses identified in Table 3.

C. Lined Building. A block scale building that conceals a public (park-once) garage or other large scale faceless building, (such as a movie theater, or "big box" store) designed for occupancy by retail, service, and/or office uses on the ground floor, with upper floors configured for retail, service, office, and/or residential uses. The access corridor, if applicable, is included in the minimum depth. Lined buildings may accommodate the land uses identified in Table 3.

D. Flex Shed. A block-scale building designed for occupancy primarily by light manufacturing, workshop, and warehouse uses. Flex shed buildings may also accommodate residential uses provided that ground floor residential uses do not exceed 20% of the total ground floor area. 100% Of upper floor areas may be occupied by residential uses, subject to requirements.

This building type also accommodates the large loading and/or staging area requirements that light manufacturing and warehouse uses might need as well as support areas and parking to

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be located either to the side or the rear of the building in order to ensure that buildings front the sidewalk and street. The flex shed building type also accommodates the large loading and/or staging area requirements that light manufacturing and warehouse uses might need, but requires these support areas, including parking, to be located either to the side or the rear of the building in order to ensure that buildings front the sidewalk and street. Flex Shed buildings may accommodate the land uses identified in Table 3.

E. Hybrid Court. A combination of block-scale and house-scale buildings to arrange suites and/or dwelling units around one or more common courtyards. The courtyard is intended to be a semi-public outdoor room that is an extension of the public realm. Hybrid Court buildings may accommodate the land uses identified in Table 3.

F. Court. A group of house scale dwelling units arranged to share one or more common courtyards. The courtyard is intended to be a semi-public outdoor room that is an extension of the public realm. Court buildings may accommodate the land uses identified in Table 3.

G. Live/Work. A block-scale integrated residence and working space, occupied and utilized by a single household in a building of at least 3 such units arrayed side by side. The interior is designed or structurally modified to accommodate joint residential occupancy and work activity. The ground floor work space is directly accessed from the primary street, and the living space at the rear or above is directly or indirectly accessed from the working space. This type is prohibited on a lot without alley access. Live/Work buildings may accommodate the land uses identified in Table 3.

H. Rowhouse. A block-scale building comprised of three or more attached two- or three-story dwelling units arrayed side by side, with the ground floor raised above grade. The front elevation and massing of each rowhouse building may be either symmetrical or asymmetrical, repetitive or unique in disposition, as long as the delineation of each individual unit is evident. Each dwelling unit is directly accessed from the front yard/ street. This type is prohibited on a lot without alley access. Rowhouse buildings may accommodate the land uses identified in Table 3.

I. Bungalow Court (House Court). Four or more house scale single dwellings arranged around a shared courtyard, with pedestrian access to the building entrances from the courtyard and/or fronting street. The courtyard is wholly open to the street and parking is placed in the rear of the lot or behind each unit. Bungalow Court buildings may accommodate the land uses identified in Table 3.

J. Rosewalk. Six or more house scale single dwellings arranged linearly on either side of a common green. Having the same right-of-way width as a narrow neighborhood street, the rosewalk (in contrast to the bungalow court) must connect two parallel streets. Pedestrian access to the building entrances are accessed from the common green and/or primary street. Rosewalks are prohibited on corner lots without alley access. Rosewalk buildings may accommodate the land uses identified in Table 3.

K. Duplex, Triplex, and Quadplex. House-scale duplexes, triplexes, and quadplexes are buildings surrounded on all four sides by setbacks (front yard, side yard, rear yard) and share

similar setbacks, massing, scale, and frontage types as surrounding buildings. Duplex, Triplex, and Quadplex buildings may accommodate the land uses identified in Table 3.

L. Single Dwelling. A house-scale building that is surrounded on all four sides by setbacks (front yard, side yards, rear yard) and shares similar setbacks, massing, scale, and frontage types as surrounding houses. Single Dwelling buildings may accommodate the land uses identified in Table 3.

M. Carriage house. An attached or detached house-scale dwelling, also known as a ‘granny flat,’ which provides complete independent living facilities for one or more persons and which is located or established on the same lot on which a single dwelling is located. Carriage houses may contain permanent provisions for living, sleeping, eating, cooking, and sanitation.

Bulkhead. A low partition located between the grade and the glazed opening(s) of a storefront.

C

Card Room. Any building or structure, or any portion of a building or structure, or any premises or place where any person or persons are allowed to play a card game.

Church. See MEETING FACILITIES, Public or Private.

Civic. The term defining not-for-profit organizations dedicated to the arts, culture, education, government, transit and municipal parking facilities.

Civic Building. A building that is operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic Space. An open area dedicated for public use, typically for community gatherings. Civic Space is defined by the combination of certain physical constants defined by the relationship between their intended use, their size, their landscape and their enfronting buildings.

Colonnade. A series of columns similar to an ARCADE but spanned by straight lintels rather than arches, linked together, usually as an element of a BUILDING.

Commercial Recreation Facility, Indoor. Establishments providing indoor amusement and entertainment services for a fee or admission charge, including:

- bowling alleys
- coin-operated amusement arcades
- dance halls, clubs and ballrooms
- electronic game arcades (video games, pinball, etc.)
- ice skating and roller skating
- internet/cyber café
- pool and billiard rooms as primary uses

This land use does not include adult businesses. Four or more electronic games or coin-operated amusements in any establishment, or a premises where 50 percent or more of the floor area is occupied by amusement devices, are considered an electronic

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game arcade as described above; three or fewer machines are not considered a land use separate from the primary use of the site.

Commercial Frontage. The non-residential frontage of a building. Non-residential activities subject to city approval are allowed within this space, which must be at least 30 feet in depth as measured from the inside wall along or nearest the adjacent sidewalk or other public space. These spaces are limited to the first floor and as such, have different building requirements than upper floors (e.G., Large storefront windows, signage, etc.).

Community Assembly (Lodge, Place of Worship). See MEETING FACILITIES, Public or Private.

Context. The particular combination of elements that create a specific environment. A neighborhood zoning district such as ng is administratively similar to the land-use zoning districts in conventional zoning ordinances, except that in addition to specifying the building use, density, height and setback, all the relevant elements and characteristics of the intended environment are integrated. The integration includes the characteristics of the lot and building as well as those of the enfronting public streetscape. This approach is applied accordingly to the other components of the downtown code: open space types, thoroughfare types, building types, frontage types and signage types.

Coverage. See LOT COVERAGE.

Curb. The edge of the vehicular pavement detailed as a raised curb or a swale. The curb usually incorporates the drainage system.

Curb Radius. A term used by transportation engineers to describe the sharpness of a corner. A large curb radius enables vehicles to go around corners faster. A small curb radius slows down turning vehicles. A large curb radius also increases the distance a pedestrian must walk to cross the street.

D

Density, Dwellings. The number of dwelling units within a standard measure of land area, usually as units per acre. The Downtown Code does not regulate per density and instead allows as many dwellings as are allowed by the parking requirements of the zoning district and through compliance with all other applicable requirements.

Density, Population. The number of persons projected to reside within a standard measure of land area, usually as units per acre.

Design Speed. The velocity at which a thoroughfare can be comfortably driven without the constraints of signage or enforcement. There are 4 ranges of speed:

- Very low: below 20mph,
- Low: 20-25mph,
- Moderate: 25-35mph, and
- High: above 35mph

Design speed determines the character and context for a particular segment of the thoroughfare system.

Design-Lot. The land area that corresponds to an allowed building type for the purposes of complying with the lot width and depth requirements of Section 5.0 for the applicable zoning district.

Developable areas. Those areas of a site that are not identified or dedicated as open space.

Director. The City of Fresno DARM Director, or designee.

Domestic violence shelter. Emergency shelter for victims of domestic violence or abuse.

Drive-through restaurant. A facility where food is prepared and served on the premises and which also allow motorists to order and purchase food without leaving their vehicles.

Drive-through sales/service. Facilities where services and purchases of minor items may be obtained by motorists without leaving their vehicles. Examples of such facilities include drive-up bank teller windows, pharmacies, dry cleaners, coffee kiosks and other similar uses. Excludes drive-through restaurants.

Driveway. A vehicular lane within a lot, usually leading to a garage. A driveway may be used for parking as allowed in the downtown code.

Dwelling. A house-scale main building, or a portion of a house-scale or block-scale main building or a manufactured unit designed for and used exclusively for residential occupancy by one family as defined in fmc 12-105-f-1 but not to include hotels, motels, boarding or lodging houses.

Dwelling, second. A second dwelling either attached to, or detached from, the existing one-family dwelling on a lot in a single family residential zone district as provided for by state government code section 65852.2, And subject to the standards of fmc 12-306-n-38 of this code.

Dwelling, multi-family. A main building which consists entirely or primarily of dwellings. See BUILDING TYPES.

Dwelling Unit. A building or portion thereof, or a mobile home, designed for residential occupation by one person or a group of two or more persons living together as a domestic unit as defined in FMC 12-105-F-1.

Dwelling Unit Types. The type of individual dwellings that exist independently or in combination depending upon the building type in which they are located:

- **Apartment.** A rental version of a flat, loft, or townhouse.
- **Condominium.** An ownership version of a flat, loft or townhouse
- **Flat.** A single-story unit.
- **Loft.** A double-story height unit with a mezzanine.
- **One-family dwelling.** A building designed for or used to house not more than one family or household.
- **Townhouse.** A two to three-story unit.

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E

- Edge-yard building.** A building with setbacks on all sides where the front yard is set back from the frontage.
- Elevation (building).** The exterior walls of a building not along a frontage line. Also referred to as facade when the elevation is along a frontage line.
- Emergency shelter.** Any facility, the primary purpose of which is to provide temporary or transitional shelter for the homeless in general or for specific populations of the homeless.
- Employee housing.** Housing as described, defined, and regulated by the employee housing act, sections 17000 et seq. Of the california health and safety code.
- Enfront.** The placement of an element along a frontage line, as in "shopfronts enfront the street."
- Entrance (building).** The principal point of access of pedestrians to a building. In the support of pedestrian activity, the principal entrance gives access to the main building directly from the sidewalk adjacent to the lot or from an open space directly accessed from the sidewalk.
- ### F
- Fabric Building.** A building which is not civic or otherwise especially important in the overall neighborhood of blocks and buildings. A building which contributes to the forming of PUBLIC space by being contextual so that civic and institutional buildings are emphasized.
- Facade.** The exterior wall of a building that is set along a frontage line and through its design and integration with the frontage of the lot, supports the intended physical environment of the zoning district in which the building is located.
- Family.** An individual or group of two or more persons occupying a dwelling and living together as a single housekeeping unit in which each resident has access to all parts of the dwelling and where the adult residents share expenses for food and/or rent. Family does not include larger institutional group living situations such as dormitories, fraternities, sororities, monasteries, convents, residential care facilities or military barracks, nor does it include such commercial group living arrangements such as boardinghouses, rooming houses, and the like.
- Family day care home/center.** A home that regularly provides, as an accessory use of a residentially zoned and occupied property, for the care, protection and supervision of fourteen or fewer children, in the provider’s own home, for periods of less than twenty-four hours/day, while the parents or guardians of the children are away and is either a small family day care home or a large family day care home.
- Farmer's Market, Certified.** Temporary markets, approved by the County Agricultural Commissioner and County Health Department, in which farmers sell their crops directly to the public. Certified Farmers Markets are generally conducted once or more weekly. To participate in these markets, farmers must obtain a certificate from the County Agricultural Commissioner verifying that they grow the items being sold.
- Forecourt.** See FRONTAGE TYPES.

- Forced Podium Hardscape.** A built condition which can occur when the podium created by the protruding roof of a sub-grade is minimally landscaped and not provided other design elements such as seating areas, fountains and gardens, to soften an otherwise featureless concrete appearance and provide areas within the courtyard that are attractive to, and usable, by residents and their visitors for active and passive pursuits.
- Frontage line.** Those lot lines that coincide with a public sidewalk or open space where the building has a front elevation (facade). Facades along frontage lines define the public realm and streetscape and are therefore more highly regulated than the elevations that coincide with other lot lines. When the lot has more than one frontage line, one shall be designated as the principal frontage line.
- Frontage type.** The element of a building between the public right-of-way and the private property associated with the building. Frontage types combined with the public realm create the perceptible streetscape. The frontage types are listed as they appear in the downtown code:
- A. Arcade.** Arcade frontages are composed of a building with ground floor facades which align with the property line, and upper floors which project over the property line to cover the sidewalk. A colonnade structurally and visually supports the building mass which encroaches into the public right-of-way. Arcades contain ground-floor storefronts, making them ideal for retail use as the arcade shelters the pedestrian and shades the storefront glass, preventing glare that might obscure views of merchandise. As allowed, the arcade also provides habitable space over the sidewalk creating a very urban street character.
- B. Gallery.** A gallery is a roof or deck projecting from the facade of a building, supported by columns located just behind the curb of the street. Galleries shelter the sidewalk with a roof or unenclosed, accessible, outdoor space making them ideal for retail use. Galleries may be one-, two-, or up to three stories in height as allowed by the zoning district, functioning as covered or uncovered porches at the second and third floors. Railing on top of the gallery is only required if the gallery roof is accessible as a deck.
- C. Shopfront.** Shopfronts are large openings in a facade that is at or near the sidewalk, enclosed with doors and transparent glass in a storefront assembly. This traditional retail frontage type is often provided with canopies or awnings, which may be fixed or retractable, to shelter pedestrians and shade the storefront glass from glare. The building entrance is at the grade of the sidewalk, and provides direct access to the commercial/retail uses on the ground floor. The storefront assembly may be recessed, as allowed by the zoning district, to provide a widened sidewalk or a covered area for outdoor dining.
- Awnings, shed roofs, or canopies may encroach into the public right-of-way and cover the sidewalk within two feet of the curb.
- D. Forecourt.** A forecourt is a public space formed by a recess in the façade of a building. The forecourt is typically at grade but may be raised from the sidewalk in compliance with ada accessibility standards.
- Forecourts are generally appropriate for commercial or civic uses, or when of sufficient size, they may be used for vehicular drop-off at a civic building or hotel. Forecourts may be combined with other frontage types as identified in the zoning district standards.
- Forecourts may be further defined by low walls or landscape between the sidewalk and adjacent property line. Forecourts may be

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landscaped or paved. Landscape may include lawn, grasses, small shrubs, and accent trees with sufficiently transparent canopies to allow views of the building facade.

E. Loading dock. The loading dock frontage is intended for industrial settings and may be used in urban settings that are no longer industrial. Exterior stairs are used to access the loading dock surface which is raised above the sidewalk level originally to facilitate the loading and unloading of goods into trains and trucks. For safety reasons, loading dock frontages utilize a railing, wall or fence at their perimeter.

F. Stoop. Stoops are stairs that provide access from the adjacent sidewalk to the elevated ground floor, securing privacy for the ground floor rooms near and facing the public street and passersby. This type is suitable for ground-floor residential uses with short setbacks as each stoop corresponds directly to the building entry(s). A roof may cover the stoop.

G. Porch. The porch frontage provides a physical transition from the sidewalk to the private lot and building while maintaining visual connection between buildings and the public space of the street. The porch frontage consists of a building with a front set back from the property line and a porch encroaching into the front yard the porch frontage accommodates non-residential as well as non-residential land uses.

H. Front yard. Front yards provide a physical transition from the sidewalk to the private lot and building. Front yard frontages consist of the building facade being set back from the front property line in a dimension large enough to create a front yard which is visually continuous with neighboring yards. The front yard may be raised from the sidewalk, creating a small retaining wall at the property line with entry steps to the yard.

Frontage zone. The areas of the lot which are within a certain distance of lot lines adjacent to a public sidewalk or open space and which have or will have facades.

G

Gallery. See FRONTAGE TYPES.

Garage. An accessory structure on a lot or portion of a building that provides dedicated space for parking of vehicles.

Gross square feet. For the purposes of expressing the maximum amount of floor area within a particular building type and for the purposes of calculating parking requirements, means the sum of the gross horizontal areas of all floors, mezzanines and lofts of the building. Horizontal dimensions shall be taken from the exterior faces of the exterior walls of the building and shall include all enclosed and conditioned areas except stairways and elevators.

Ground floor/ building footprint. The area resulting from the application of building placement requirements and as further articulated by particular building design. In calculating the area, only the conditioned floor space and the area occupied by covered passages shall be counted for purposes of calculating allowable upper floor area.

Ground floor facade. The facade(s) of a building that is at the same grade as the adjacent sidewalk.

Group Housing Facility. Any building, facility, premises, house, structure, dwelling unit, multiple dwelling, apartment house, or portion thereof, at which persons reside in a group occupancy setting, but not including a hotel, motel, fraternity, sorority, rooming and/or boarding house, rest home or family. This facility is generally characterized by the provision of a pre-arranged or organized household structure or program. Residents of a facility may also receive medical treatment in addition to any non-medical supportive services in a residential or congregate care setting, as opposed to a hospital. Group housing facilities, except those located in a single-family dwelling with six (6) or fewer persons, are subject to the provisions of FMC 12-306-N-43.

H

Half-Story. A story under a gable, hip or gambrel roof, plates of which are not more than three feet above the floor of such story.

Historic Resource. A resource as defined by Section 12-1600 of the Fresno Municipal Code.

Home occupation. An occupation conducted at a premises containing a dwelling unit as an incidental use by the occupant of that dwelling.

Hotel, motel. Any building or portion thereof containing six or more guest rooms used, designed, or intended to be used, let, or hired out to be occupied or which are occupied by six or more individuals for compensation, whether the compensation for hire be paid directly or indirectly.

House. A free-standing dwelling less than 100 feet long in any direction, occupied by one family, as defined in fmc 12-105-f-1.

House-Scale. The physical appearance when a building is massed and organized such that it is physically similar to a single-family house. Within the Downtown Code boundaries, this means a maximum building length of 100 feet in any direction.

House Court. See BUNGALOW COURT.

House-Derivative. The massing and organization of a building that reflects a single-family house either individually incrementally.

I

Infill Development. A site developed within existing urban fabric, balancing, completing and/or repairing the surrounding areas.

Inside Turning Radius. The curved edge of a thoroughfare at an intersection, measured at the inside edge of vehicular tracking. The smaller the turning radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn. Control of the curb radius is an important variable in the fostering of a pedestrian-friendly environment.

Incompatible Adjacency. The result when a land use or building are allowed to exceed the physical or operational limits that would otherwise maintain compatibility with neighboring properties.

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J

K

Commercial Kitchen. A facility dedicated to the production of food for sale and/or supplying other businesses.

L

Landscaping. The planting of vegetation of all types, and may also include the installation of exterior decoration, furniture, sculpture, or structures, including on-premises monument signs as defined in section 13-904-m and flagpoles which comply with all applicable provisions of section 12-306-n-9, the preservation and enhancement of land form and natural land features, the location and construction of aesthetically pleasing and functional approaches for structures, roadways, pedestrian ways, and enclosures, and the enhancement of the environment for human habitation by climate control, air movement, pollution control and aesthetics.

Large family day care home. The family residence of a child care provider in which nonmedical care, protection and supervision of seven to twelve children, including children who reside in the residence (determined according to applicable state regulations), are provided for periods of less than twenty-four hours per day.

Land use. The land use(s) accommodated by a building and its lot.

Layer. A range of depth of a lot within which certain elements are permitted.

Liquor Store. A retail store that primarily sells wine, beer, and/or spirits, that may specialize in one or more of the above, and may also sell convenience merchandise including food products.

Living Groups. Area organizations, clubs or associations such as fraternities, sororities or co-operatives that include as a principal purpose the sharing of a residence by members.

Lot. A parcel of real property with a separate and distinct number of other designation shown on a plat recorded in the office of the county recorder **which accommodates no more than one main building and contains accessory buildings as allowed by the zoning district.**

Lot, corner. A lot located at the intersection or interception of two or more streets at an angle of not more than one hundred twenty degrees. If the angle is greater than one hundred twenty degrees, the lot shall be considered an "interior lot."

Lot, corner, reversed. A corner lot, the side line of which is substantially a continuation of the front lot lines of the lots to its rear.

Lot, curve. A lot fronting on the outside curve of the right-of-way of a curved street, which street has a center line radius of two hundred fifty feet or less.

Lot, interior. A lot other than a corner lot.

Lot, key. A lot the side line of which is the rear line of one or more adjoining lots.

Lot, non-conforming. A lot having less area or dimension than that required in the **zoning** district in which it is located, and which was lawfully created prior to the zoning thereof whereby the larger area or dimension requirements were established; or any lot, other than one shown on a plat recorded in the office of the county recorder, which does not abut a public road or public right-of-way or approved private road right-of-way, and which was lawfully created prior to june 11, 1960.

Lot, through. A lot having frontage on two (2) dedicated streets, not including a corner or reversed corner lot. The special standards of section 12-306-n shall apply. **In such cases, the building and frontage standards of the downtown code shall provide requirements per the applicable zoning district(s).**

Lot area. The total of the area, measured in a horizontal plane, within the lot lines of a lot.

Lot coverage. That portion of a lot or building site which is occupied by any building or structure, excepting paved areas, walks and swimming pools, regardless of whether said building or structure is intended for human occupancy.

Lot depth. The horizontal distance between the front and rear lot lines measured **along each side lot line.** In the mean direction of the side lot lines.

Lot line. Any line bounding a lot as herein defined.

Lot line, front. The property line abutting a street **thoroughfare or public open space.** The special standards of section 12-306-n shall apply.

Lot line, rear. A property line not abutting a street **thoroughfare or public open space** which is opposite and most distant from the front lot line. The special standards of section 12-306-n shall apply.

Lot line, side. Any property line not a front lot line or rear lot line. The special standards of section 12-306-n shall apply.

Lot of record. A lot held in separate ownership as shown on the records of the county recorder at the time of the passage of an ordinance or regulation establishing the zoning district in which

11.0 DEFINITIONS

the lot is located.

Lot width. The horizontal distance along the principal frontage line of a parcel between the side lot lines which is necessary to accommodate the allowed building type.

M

Main Building. The primary building on a lot.

Manufacturing. This code distinguishes between various types of manufacturing and identifies if they are allowed in the zoning districts. Examples of such types include:

- non-perishable items
- perishable items such as food
- furniture and cabinets
- machinery
- general manufacturing

Marquee Sign. See SIGNAGE.

Medical Services, Clinic, Urgent Care. A facility other than a hospital where medical, mental health, surgical and other personal health services are provided on an outpatient basis. Examples of these uses include:

- medical offices of 5 or more licensed practitioners and/or medical specialties
- out-patient care facilities
- urgent care facilities
- other allied health services

These facilities may also include incidental medical laboratories. Counseling services by other than medical doctors or psychiatrists are included under "Offices - Professional/Administrative."

Medical Services, Doctor Office. A facility other than a hospital where medical, dental, mental health, surgical, and/or other personal health care services are provided on an outpatient basis, and that accommodates no more than four licensed primary practitioners (e.g., chiropractors, medical doctors, psychiatrists, etc., other than nursing staff) within an individual office suite. A facility with five or more licensed practitioners is instead classified under "Medical Services - Clinic, Urgent Care." Counseling services by other than medical doctors or psychiatrists are included under "Offices - Professional / Administrative."

Medical Services, Extended Care. Residential facilities providing nursing and health-related care as a primary use with in-patient beds. Examples of these uses include: board and care homes; convalescent and rest homes; extended care facilities; and skilled nursing facilities. Long-term personal care facilities that do not emphasize medical treatment are included under "Residential Care."

Meeting facilities. Consisting of group gatherings conducted indoors. Typical uses include churches, synagogues, mosques, temples, bingo halls, private clubs, fraternal, philanthropic and charitable organizations, and lodges. Does not include Theaters.

Mezzanine. An intermediate floor placed in any story or room with a clear height - above or below - of 7 feet. When the total

area of any such mezzanine floor exceeds 33 1/3 per cent of the total floor area in that room, it shall be considered as constituting an additional story. The clear height above or below the mezzanine floor construction shall be not less than 7 feet.

Motel. An establishment that provides lodging and parking, and in which the rooms are usually accessible from an outdoor parking area, based on an agreed payment of a fixed amount of money in exchange for use of the guest room for a fixed period of time, typically on a nightly or weekly basis, but not for more than twenty-nine (29) consecutive days, but excluding a hotel, group housing facility, emergency residential shelter, fraternity, sorority, rooming or boarding house, rest home or family.

N

Neighborhood market/convenience store. A neighborhood serving retail store of 5,000 square feet or less in gross floor area, which carries a range of merchandise oriented to daily convenience shopping needs. May include alcoholic beverage sales only where table 3 allows alcoholic beverage sales as part of a general retail use.

Net developable area. The private area defined by a block which is not to remain for public uses such as open space or thoroughfares.

Nonconforming buildings. A building or portion thereof which was lawful when established but which does not conform to subsequently established zoning or zoning regulations. See section 12-317 1.3A8 for regulations.

Nonconforming land use. A land use lawful when established but which does not conform to subsequently established zoning or zoning regulations. See section 12-317 1.3A8 for regulations.

O

Office. The Downtown Code distinguishes between the following types of office land uses. These do not include medical offices (see "Medical Service, Clinic, Laboratory, Urgent Care," and "Medical Service, Doctor Office.")

Business (Processing). Office-type facilities characterized by high employee densities, and occupied by businesses engaged in information processing, and other computer-dependent and/or telecommunications-based activities. Examples of these uses include:

- airline, lodging chain, and rental car company reservation centers
- computer software and hardware design and development
- consumer credit reporting
- data processing services
- health management organization (HMO) offices where no medical services are provided
- insurance claim processing
- mail order and electronic commerce transaction processing

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- telecommunications facility design and management
- telemarketing

Professional/Administrative). Office-type facilities occupied by businesses that provide professional services, or are engaged in the production of intellectual property. Examples of these uses include:

- accounting, auditing and bookkeeping services
- advertising agencies
- attorneys
- business associations, chambers of commerce
- commercial art and design services
- construction contractors (office facilities only)
- counseling services
- court reporting services
- detective agencies and similar services
- design services including architecture, engineering, landscape architecture, urban planning
- educational, scientific and research organizations
- business incubator
- financial management and investment counseling
- literary and talent agencies
- management and public relations services
- media postproduction services
- news services
- photographers and photography studios
- political campaign headquarters
- psychologists
- secretarial, stenographic, word processing, and temporary clerical employee services
- security and commodity brokers
- writers and artists offices

Business. Establishments providing direct services to consumers. Examples of these uses include employment agencies, insurance agent offices, real estate offices, travel agencies, utility company offices, elected official satellite offices, etc. This use does not include "Bank, Financial Services," which are separately defined.

Overlay. The method for addressing additional topics such as terminated vistas, certain types of commercial frontage, the conversion of non-conforming land uses and structures. Each topic is identified as to its purpose and requirements as well as to which parcels it applies. See Figure 2 for Overlays and their particular boundaries.

P

Parking Area, Private. An area, other than a street, used for the parking of automotive vehicles capable of moving under their own power and restricted from general public use, but shall not include parking provided for residential uses unless such parking provides spaces for more than four cars.

Parking area, public. An area, other than a private parking area or street, used for the parking of vehicles capable of moving under their own power, either free or for remuneration.

Parking area, residential. An area, other than a street, located on the subject lot for the parking of vehicles owned by the residents of such lot. Such areas shall be permitted only in the several agricultural districts.

Parking area, temporary. An area providing for public or private off-street parking, which is not intended to satisfy the off-street parking requirements of the applicable zoning district ordinance for a use as provided therein subject for any applicable zone district or pursuant to section 12-306-i-2, and which is established for a temporary period in accordance with section 12-306-i-7.

Parkway (planting strip). The area between the sidewalk and the curb which is reserved for trees which are intended to shade the sidewalk and provide spatial definition to the streetscape.

“Park-once” (shared parking policy). An accounting for parking spaces that are available to more than one function. The requirement is based on a range of parking-demand found in mature, mixed-use centers. The shared parking ratio varies according to multiple functions in close proximity unlikely to require the spaces at the same time. This approach to parking uses a variety of parking spaces in off-street (surface lots and garages) and on-street (parallel and diagonal) to achieve a balanced and distributed supply of parking.

Paseo (passage). A public place or path designed for walking that is often within a block, between buildings or along the edge of a public open space.

Patio (courtyard). A private or public courtyard enclosed by at least two walls of the main building and at least one wall of an adjacent building.

Patio (cover). An overhead structure which partially covers an open area within the lot adjacent to a building.

Pedestrian first. The practice of addressing the needs of people, once out of their automobiles, through a series of interdependent urban design and streetscape principles (e.G., Wide sidewalks, street trees and shade, on-street parking, outdoor dining, inviting storefronts, the feeling of being in an ‘outdoor room’, short crosswalk distances, interconnected and short blocks).

Pedestrian shed. An area defined by the average distance that may be traversed by the average person at an easy pace from the area’s edge to its center in approximately 5 minutes. This distance is used to determine the size of a neighborhood. This dimension averages one quarter of a mile or approximately 1400 feet for generally flat terrain.

Personal services. Establishments providing non-medical services to individuals as a primary use. Examples of these uses include:

- Salon, barber and beauty
- Pet grooming without boarding
- Clothing / Garment rental and repair
- Tailor
- Dry cleaning pick-up stores with limited equipment
- Laundromat (self-service laundries)

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- Shoe repair
- Home electronics and small appliance repair
- Locksmith
- Fortune teller
- Palm and card reader
- Psychic

These uses may also include accessory retail sales of products related to the services provided.

Personal services, restricted. Personal services that may tend to have adverse effects upon surrounding areas and which may need to be dispersed to minimize their adverse impacts. Examples of these uses include:

- Bailbonds
- Check cashing stores
- Massage (licensed, therapeutic, non-sexual)
- Pawnshops
- Spas and hot tubs for hourly rental
- Tattoo and body piercing services
- Tanning salons

Pharmacy, Prescription Pharmacy. A business establishment where drugs are sold or dispensed at retail or displayed for sale at retail, the primary business of which is the compounding and dispensing of medicine according to prescriptions written by physicians, and a pharmacist who is licensed under the laws of the State of California is on duty at all times when such establishment is open for business. The facility shall conform to the following criteria:

- a. The facility shall not occupy more than 1000 square feet of floor space.
- b. There shall be no more than three full-time registered pharmacists employed.
- c. The facility shall be limited to retail sales of pharmaceuticals, first-aid and sickroom supplies.
- d. The facility shall be arranged such that the customer waiting area is separated from all merchandise by a counter or partition.
- e. The facility shall be located within a medical office complex and shall not have direct access to the public street.
- f. Outdoor advertising shall conform to the property development standards of the district wherein the facility is located.

Place, Sense of. The physical condition when a combination of factors are present to generate a certain physical environment that aligns with the intentions of the DNCP and FCSP.

Planter. An area dedicated to landscaping with plants and/or trees.

Porch. See FRONTAGE TYPES.

Principal Building. The main building on a lot for which the lot was generated.

Private frontage. The privately held layer between the frontage line and the principal building facade. Structures and landscaping within the private frontage are held to specific standards to

support the intended streetscape of the zoning district. The private frontage layer may overlap the public streetscape in the case of awnings, galleries and arcades.

Projecting Sign. See SIGNAGE.

Professional Office. See OFFICE, Professional / Administrative.

Property Development Standard. Any definitive, measurable characteristic or aspect of a development, specified by the **down-town code** zoning ordinance of the fresno municipal code, such as but not limited to yard setbacks, parking, building height, space between buildings, lot area and dimensions, defined linear distances such as for signs, spacing requirements, and size of districts. It does not however, apply to any standard related to the use of property such as population density nor to any standard called for in any adopted plan.

Property Line. See LOT LINE.

Public Art Work.

- a. Public art work **as defined in the FMC** for the purposes of inclusion in the development process shall be defined as follows:
 - (1) Sculpture: free-standing, wall supported or suspended; kinetic, electronic; in any appropriate material or combination of materials.
 - (2) Murals or portable paintings: in any appropriate material or variety of materials, with or without collage or the addition of non-traditional materials or means.
 - (3) Photography, original works of graphic art, limited edition prints, works on/of paper, original paintings.
 - (4) Earthworks, fiberworks, waterworks, neon, glass, mosaics, or any combination or forms of media including sound, literary elements, holographic images, or hybrids of media and new genres.
 - (5) Furnishings or fixtures, including but not limited to gates, railings, streetlights or seating, if created by artists as unique elements.
 - (6) Artistic or aesthetic elements of the overall architecture or landscape design if created by a professional artist or a design team that includes a professional visual artist.
- b. The following items shall not be eligible for inclusion as public artwork:
 - (1) Directional elements such as supergraphics, signage or color coding except where these elements are integral parts of an overall design created by a professional visual artist. "Art objects" which are mass produced or of standard manufacture, such as playground equipment, fountains or statuary elements, unless incorporated into an artwork by a project artist.
 - (2) Mass-produced reproductions by mechanical or other means, of original works of art.
 - (3) Decorative, ornamental, architectural or functional elements which are designed by the building architect, as opposed to elements created by an artist commissioned for that purpose.

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Public Frontage. The area between the frontage line of the lot and the curb of the vehicular lanes, and the type and dimension of curbs, walks, planters, street trees and streetlights.

Public Garage (Park-Once garage). A garage (below or above-grade) which provides the public with parking spaces for commercial, service and office uses.

Public Market. See FARMER'S MARKET.

Q

R

RCFE (Residential Care Facility for Elderly). See GROUP CARE HOME.

Rear yard Building. A building that occupies the full frontage, leaving the rear of the lot as the sole yard. This type, with its continuous facade, steadily defines the public thoroughfare. The rear elevations may be articulated for functional purposes. In its residential form, this type of building is the rowhouse. For its commercial form, this type of building is the flex building.

Recess line. A horizontal line, the full width of a facade, above which the upper stories are set back a minimum distance from the ground floor facade.

Repair, Vehicles. This code distinguishes between a variety of vehicular repair activities and identifies which are allowed in the various zoning districts. Examples include the following:

- commercial: vehicles such as delivery vans and/or trucks
- non-commercial: passenger vehicles
- recreational: vehicles such as boats, motorhomes, motor-cycles, other off-road vehicles

Residential. Premises available for long-term dwelling.

Residential / commercial mixed use project. A project in the c-p, c-1, c-2, c-3, c-4, c-5, c-6 and cc zone **any of the downtown code zoning districts**, and in the c-m and m-1 districts when located within the boundaries of the central area plan, **that proposes a residential use mixed with commercial and/or light industrial land uses within a finite site and is planned in a unified, integrated manner, incorporates design features, results in the efficient use of land, is compatible with the surrounding environment and is consistent with adopted city plans and DNCP and FCSP, as applicable, and the applicable requirements of the Downtown Code.** policies. A residential/commercial mixed use project shall only be permitted with a conditional use permit issued pursuant to Sections 12-405 and 12-406 of this code.

Restaurant. A commercial establishment where, during all business hours, food is prepared for and served to the customer, for consumption on or off the premises. It shall be operated as a bona fide eating place that maintains approved and permitted suitable kitchen facilities within the establishment, thereby making actual and substantial sales of meals. A restaurant may provide entertainment for the customer by performers of the arts (music, dance, comedy, readings, etc.), and differs from a Night Club in that it does not provide floor space for customer dancing and dancing is prohibited. A restaurant differs from a Tavern because it must prepare and serve food at all times during busi-

ness hours and the sale of alcoholic beverages is secondary to the sale of food. **As allowed by the downtown code, a restaurant may operate on the sidewalk or open space adjacent to the main building in which the restaurant is located.**

Restaurant, Drive-Through. See DRIVE THROUGH RESTAURANT.

Retail. Stores and shops selling many lines of merchandise. Examples of these stores and lines of merchandise include:

- antiques or collectibles
- art galleries, retail
- art supplies, including framing services
- bicycles
- books, magazines, and newspapers
- cameras and photographic supplies
- clothing, shoes, and accessories
- department stores
- drug stores and pharmacies
- dry goods
- fabrics and sewing supplies
- florists and houseplant stores (indoor sales only; outdoor sales are "Building and Landscape Materials Sales")
- hobby materials
- jewelry
- luggage and leather goods
- musical instruments (small), parts and accessories (large instruments are under "Furniture, Furnishings, and Appliance Store")
- orthopedic supplies
- small wares, specialty shops
- sporting goods and equipment
- stationery
- thirft shop (second hand store)
- toys and games
- variety stores
- videos, DVDs, records, CDs, including rental stores

Does not include adult businesses which are separately defined.

Retail Store. A business selling goods, wares, or merchandise directly to the ultimate consumer.

Roof Sign. See SIGNAGE.

Road. shall mean the same as "Street." **A particular thoroughfare type that is most applicable to rural or industrial areas because of the characteristics of its public frontages.**

Rooming House. See BOARDING HOUSE.

Rural Residential. A residential land use on parcels located in **the NE zoning district**, a semi-rural environment consistent with an unincorporated area which allows the use of the keeping of farm animals and incidental agricultural activities and agricultural buildings.

S

Satellite Dish Antenna. A Satellite Receive-Only Earth Station Antenna and Support Mechanism **subject to the** . The Special Standards of Practice and Regulation, **FMC** Section 12-306-N-40, shall apply.

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Second Hand Store. See **THRIFT SHOP**. A retail business which sells used merchandise.

Service Station (Fueling Station). An Automobile Service Station, Truck Service Station, and any other type of vehicle service station.

Setback, Building. The area of a lot measured from a lot line to a building facade or elevation that must be maintained clear of permanent structures excepting galleries, fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces and decks (that align with the first floor level) which are permitted to encroach into the setback.

Setback line, front yard (frontage zone). The line which defines the depth of the required front yard for the lot in order to generate and support the intended public realm of the zoning district. Said setback line shall be parallel with the right-of-way line or highway setback line when one has been established.

Setback line, rear yard or side yard. The line which defines the width or depth of the required rear or side yard. Said setback line shall be parallel with the property line, removed therefrom by the perpendicular distance prescribed for the yard in the zoning district.

School. Includes the following facilities:

Elementary, Middle, Secondary. A public or private academic educational institution, including elementary (kindergarten through 6th grade), middle and junior high schools (7th and 8th grades), secondary and high schools (9th through 12th grades), and facilities that provide any combination of those levels. May also include any of these schools that also provide room and board.

Business, Trade Schools, Colleges. A school that provides education and/or training, including tutoring, or vocational training, in limited subjects. Examples of these schools include:

- art school
- ballet and other dance school
- business, secretarial, and vocational school
- computers and electronics school
- drama school
- driver education school
- establishments providing courses by mail
- language school
- martial arts
- music school
- professional school (law, medicine, etc.)
- seminaries/religious ministry training facility
- trade school

Does not include family day care centers (see "Family Day Care Center for 14 or Fewer Children" and "Family Day Care Center for more than 14 Children"). See also the definition of "Studio - Art, Dance, Martial Arts, Music, etc." for smaller-scale facilities offering specialized instruction.

Shopfront. See FRONTAGE TYPES.

Shopfront Frontage Line. Frontage line designating the require-

ment for a shopfront, making the ground level available for commercial use.

Sideyard building. The physical arrangement when a building occupies one side of the lot with the setback to the other side. The visual opening of the side yard on the street frontage causes such a building to appear freestanding. A shallow front setback defines a more urban condition. This type permits systematic climatic orientation in response to the sun or the breeze.

Sidewalk. The paved layer of the public frontage dedicated exclusively to pedestrian activity.

Signage. Any device used for visual communication including any announcement, declaration, demonstration, display, illustration, insignia or symbol used to advertise or promote a product, service or business to the public, together with all parts, materials, frame and background.

This definition shall not include official notices issued by a court or public body or officer or directional, warning or informational sign or structures required by or authorized by law or by federal, state, or county or city authority.

A. Wall sign. A sign that is painted or applied directly to the wall, typically above the shopfront or more creatively as approved by the city. This type consists of a single externally illuminated panel or individual letters including a logo and does not include cabinet signs. This type of sign is intended for viewing from across the street and along the sidewalk.

B. Window sign. A sign that is painted or applied directly to the storefront window(s) and/or door(s). This type consists of individual letters, including a logo with allowances for contrasting background. This type of sign is intended for viewing from across the street and at close range.

C. Awning / canopy sign. A sign that is integral to the awning or canopy above a shopfront. This type of sign may be located either on the valence face of the awning that faces the street or on the valence perpendicular to the building. Also included is a feature area on the main panel. For canopies, this type of sign is located on top of and along the front edge of the canopy. This type of sign is intended for viewing at close range.

D. Sidewalk sign. A two-sided, non-illuminated, portable sign that is placed outside of the shopfront on the adjacent sidewalk for viewing at close range. The sidewalk sign is intended for use by restaurants, cafes, other food-oriented businesses, theaters and other such activities.

E. Marquee sign. A vertically-oriented two- to three-sided sign that projects from the facade over a sidewalk, public open space or other public right-of-way and may project above the building's parapet. This type of sign is intended for viewing along the sidewalk and down the street from the adjacent block. Marquee shall mean a permanent roofed structure attached to and supported by the building and projecting over public property.

F. Projecting sign. A two-sided sign that projects over a sidewalk (public or private) or open space (public or private). This type of sign is intended for viewing at close range.

G. Monument sign. A sign that is located within frontages where the building is setback substantially from the sidewalk and the sign is to be viewed from a distance along the street. This type of sign typically occurs as part of site-defining land-

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scape, in the form of a low wall that may include gateway that encloses outdoor dining or open space areas. This type of sign may occur as a freestanding sign subject to location and size limitations aimed at scale and compatibility with pedestrian frontages.

H. Yard / porch sign. This sign type consists of two related signs that occur within the front yard and porch areas of a building's frontage.

Yard - a two-sided sign that is located on a post within frontages where the building is setback from the sidewalk to be viewed along the sidewalk at close range.

Porch - a sign that is hung from the porch entry to the building to be viewed from the sidewalk at close range.

I. Roof sign. A sign that is for use on block-scale buildings that are at least 5 stories tall. This type of sign is intended for viewing from a distance to help emphasize the identity and presence of a particular area as a whole and therefore, the signage is allowed to be more inventive.

J. Pole sign. A vertically-oriented sign that is detached from the main building, located along the primary frontage, consisting of a single structural support with the sign mounted at the top. This type of sign is intended for viewing from a distance to identify a business set back and not readily visible from the street.

Single Room Occupancy. Sometimes called a single resident occupancy, is a multiple tenant building that houses one or two people in individual rooms. Tenants usually share bathrooms and/or kitchens, while some SRO rooms may include kitchenettes, bathrooms, or half-baths.

Site Plan. A plan **diagram**, prepared to scale, showing accurately and with complete dimensioning, all of the **proposed blocks, lots, buildings and uses or modifications** proposed for a specific parcel of land.

Site Plan Review. The review by the **DRAM** Director **or designee** of a site plan and other studies to assist said Director in determining the manner in which the applicant intends to make use of his **the subject** property.

Stand, Temporary. **A freestanding structure not within an agricultural area intended for short-term use not to exceed 30 days. Examples include those temporary structures used at Farmer's Markets and fruit stands found in agricultural areas.** STAND, TEMPORARY shall mean the same as "Structure, Temporary." The Special Standard of Section 12-306-N shall apply.

Stoop. See FRONTAGE TYPES.

Story. A habitable level within a building from finished floor to finished ceiling.

Story. A space **level** in a building between the surface of any floor and the surface of the floor next above, or if there be no floor above, then the space between such floor and the ceiling of roof above. **Attics and raised basements are not considered a story for the purposes of determining building height.**

Story, One-Half. See HALF-STORY.

Street. A public thoroughfare or right-of-way dedicated, deeded or condemned for use as such, other than an alley, which affords **the principal means of access to abutting property.** This definition includes an avenue, place, way, drive, lane, boulevard, highway, road, and any other thoroughfare except as excluded in this Zoning Ordinance.

Street, Side. That **The** street bounding a corner or reversed corner lot and which extends in the same direction as the line determining the depth of the lot.

Street Line. The boundary line between the street right-of-way and abutting property.

Streetscape. The urban element that provides the major part of the public realm as well as paved lanes for vehicles. A streetscape consists of two key attributes: capacity and context. Capacity is the number of vehicles that can move safely through a segment within a given time period. It is physically manifested by the number of lanes and their width, and by the curb radius. Context is physically manifested by the appropriate Frontage types as determined by the zoning district in which the streetscape is located.

Street wall. An opaque, freestanding wall built along the frontage line, or coplanar with the facade, often for the purpose of masking a parking lot from the adjacent thoroughfare.

Structure. Anything constructed or built, any edifice or building of any kind, or any piece of work artificially built up or composed of parts joined together in some definite manner, which requires location on the ground or is attached to something having a location on the ground, including swimming and wading pools and covered patios, excepting outdoor areas such as paved areas, walks, tennis courts, and similar recreation areas.

Structure, Advertising. Shall mean the same as "Advertising Structure."

Structural Alteration. Any change in the supporting members of a building, such as in a bearing wall, column, beam or girder, floor or ceiling joists, roof rafters, roof diaphragms, foundations, piles, or retaining walls or similar components.

Supermarket. A **grocery** market having fifteen thousand or more square feet of floor area devoted principally to the sale of food.

Studio - Art, Dance, Martial Arts, Music (School). Small scale facilities, typically accommodating no more than two groups of students at a time, in no more than two instructional spaces. Larger facilities are included under the definition of "Schools - Business, Trade Schools, Colleges." Examples of these facilities include:

- individual and group instruction and training in the arts;
- production rehearsal;
- photography, and the processing of photographs produced only by users of the studio facilities;
- martial arts training studios;
- gymnastics instruction, and
- aerobics and gymnastics studios with no other fitness facilities or equipment

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Also includes production studios for individual musicians, painters, sculptors, photographers, and other artists.

T

Tavern. An establishment whose primary business is the sale of alcoholic beverages to customers for consumption on the premises. This does not include on-site manufacturing of alcoholic beverages. While a Tavern may have facilities for performers of the arts (music, comedy, etc.) for the entertainment of the customer, it differs from a Night Club in that customer dancing is prohibited. A Tavern differs from a Restaurant in that it is not required to prepare and serve food.

Telecommunications Facilities. Public, commercial and private electromagnetic and photoelectrical transmission, broadcast, repeater and receiving stations for radio, television, telegraph, telephone, data network, and wireless communications, including commercial earth stations for satellite-based communications. Includes antennas, commercial satellite dish antennas, and equipment buildings. Does not include telephone, telegraph and cable television transmission facilities utilizing hard-wired or direct cable connections.

Terrace. A level, paved area accessible directly from a building as its extension.

Thoroughfare (Street). A vehicular way incorporating moving lanes and parking lanes (except alleys/lanes which have no parking lanes) within a right-of-way.

Thoroughfare Types. The range of rights-of-way for use by vehicular and pedestrian traffic and for providing access to lots and open space, consisting of vehicular lanes and public frontages. A wide variety of thoroughfare types applies to the Downtown Code boundaries with each type being identified as one of three principal movement types of thoroughfares that comprise an interconnected, varied and hierarchical network. The three principal movement types are:

Free Flow. A thoroughfare which has dedicated, striped lanes of travel and tends to be a more highly traveled thoroughfare. Typical speeds are up to 55 mph.

Slow Flow. A thoroughfare, of moderate capacity (shorter in length than a free flow street) which does not have striped, dedicated lanes of travel but has enough width for cars to pass each other comfortably but at a slow speed. Typical speeds are up to 20 mph.

Yield Flow. A thoroughfare of low capacity, shortest in length, and of a type where a single travel lane is shared by cars in both directions. Typical speeds are up to 15 mph.

Thrift Shop (Second Hand Store). A secondhand store operated on a nonprofit basis which sells donated merchandise. A thrift shop shall be operated by a nonprofit organization only and any profits used exclusively for charitable purposes.

Traffic-Calming. A set of techniques which serves to reduce the speed of traffic such as lane-narrowing, on-street parking, chicanes, yield points, sidewalk bulge-outs, speed bumps, surface variations, mid-block deflections, and visual cues. Traffic-calming is a retrofit technique unnecessary when thoroughfares are correctly designed for the appropriate speed at initial construction.

Transect. A system of classification deploying the conceptual range of ‘rural-to-urban’ to arrange, in useful order, the typical context groupings of natural and urban areas. This gradient, when rationalized and expressed in zoning districts, becomes the basis of the Regulating Plan supporting the Downtown Code.

Transit-Oriented Development (TOD). A mixed-use area designed to maximize access to public transport, often incorporating features to encourage transit ridership. A TOD neighborhood typically has a center with a transit station or stop (train station, tram stop, or bus stop), surrounded by relatively high-density development with progressively lower-density development spreading outwards from the center. TODs generally are located within a radius of one-quarter to one-half mile from a transit stop to provide residents with easy access to transit.

Transitional Housing. Accommodation for people, ready to move beyond emergency shelter into a more independent living situation, provided by a local authority or a housing association.

Transition Line. A horizontal line, the full width of a facade expressed by a material change or by a continuous horizontal articulation such as a cornice or a balcony.

Type. A form determined by function and confirmed by culture. A type is physically defined by its function, and its configuration, and in the case of buildings, its disposition on the lot including frontage and height.

U

Urban Fabric. The pattern of developed land into neighborhoods, districts or corridors which is divided into blocks that are defined by thoroughfares. Urban fabric is in contrast to rural areas.

Use, Land. See LAND USE.

Use, Accessory. A land use incidental and accessory to the principal land use of a lot or a building located on the same lot.

V

Vacation Rental. A furnished apartment or house rented out on a temporary basis to tourists as an alternative to a hotel.

Vernacular. The common language of a region, particularly in reference to the methods of construction which use locally available resources and traditions to address local needs and circumstances. Vernacular architecture tends to evolve over time to reflect the environmental, cultural, and historical context in which it exists.

W

X

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Y

Yard. Any open space on the same lot with a building or a dwelling group **that adjoins or surrounds a building and**, which open space is unoccupied and unobstructed from the ground upward to the sky, except for the **allowed** projections, accessory buildings or structures, including on-premises signs and flagpoles. which comply with all applicable provisions of Section 12-306-N-9, permitted by this Zoning Ordinance.

Yard, Front. **The** a space between the front yard setback line and the front lot line or highway setback line, and extending the full width of the lot.

Yard, Rear. **The** a space between the rear yard setback line and the rear lot line, extending the full width of the lot.

Yard, Side. **The** a space extending from the front yard, or from the front lot line where no front yard is required by the **Down-town Code** is Zoning Ordinance, to the rear yard, or rear lot line, between a side lot line and the side yard setback line.

Yard / Porch Sign. See SIGNAGE.

Z

Zaguan. A a pedestrian passage within a building that connects the public sidewalk to interior courtyards or that connects two or more courtyards. A zaguan is typically covered by an upper floor(s) and is no more than one room in length.

Zoning District. One of several geographic areas on the Downtown Code Zoning Map (Figure 2) identified to implement the DNCP and FCSP, as applicable, through the allocation of development and land use standards.

Zoning Map (Figure 2). The official map that is part of FMC Chapter 12 and delineates the boundaries of each zoning district in the Downtown Code.

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INTRODUCTION

The Downtown Development Code (Downtown Code) implements the Downtown Neighborhoods Community Plan (DNCP) and the Fulton Corridor Specific Plan (FCSP). The Downtown Code does so by building upon central Fresno's strengths and particular characteristics through a tailored and articulate set of zoning standards. These zoning standards are based on three key pieces of information:

- A. Historical Basis
- B. Public Planning Process
- C. Vision-Based Standards

A. Historical Basis.

The following is provided for background purposes and is not intended as regulatory. Among the Downtown Code's many purposes, a main purpose is to respond to and further the center city's unique physical structure of neighborhoods, districts and corridors. In order to put Fresno's structure and pattern in the context of the Downtown Code, the following summary of Fresno's first 140 years is provided:

In 1870 the Central Pacific Railroad began its diagonal push down the San Joaquin Valley and in 1872 the railroad reached what is now Fresno. The Contract and Finance Company, a subsidiary of the Central Pacific Railroad, bought 4,480 acres and surveyor Edward H. Mix laid out the new town in blocks 320 feet by 400 feet, with 20 foot alleys, lots 25 x 150 feet fronting on 80-foot wide streets parallel to and on both sides of the tracks. The plan was remarkably rigid, interrupted only by the space reserved for a future courthouse and the broad swaths through the center of town for the tracks, depot and yards.

Fresno grew slowly and in 1874 became the county seat. In the 1880s the desert was turned into profitable farmland with the introduction of irrigation and agricultural colonies. By 1890 the population of Fresno was over 10,000, and land outside of the original town site was developed with new neighborhoods. These new subdivisions were surveyed to be parallel to the surrounding agricultural sections and were laid out with streets oriented north-south, east-west. The first streetcars were introduced in 1892, and this greater mobility allowed for the construction of a variety of streetcar suburbs.

Fresno's pattern of interconnected walkable blocks and streets had been established with significant and beautiful commercial streetscapes of Victorian-era buildings in the downtown and a variety of large and small houses nearby in surrounding stately neighborhoods.

Beginning in the early 20th century, the downtown was completely transformed from an environment of buildings that were primarily under five stories to one where tall buildings were becoming the norm. The elegant Victorian style blocks and hotels were demolished or in the case of smaller buildings were eventually refaced with a “modern” storefront. What emerged was a more “rational” Classic Revival city influenced by the latest trends in architectural design emanating from large cities such as New York, Chicago and San Francisco as well as Paris, France.

The first “high-rise” neoclassical office building was the Griffith-McKenzie Building, also known at the Helm Building, a 10-story steel frame structure constructed in 1914 and designed by the San Francisco architect George Kelham. Numerous other office buildings were constructed until the Depression of 1929 halted the building boom in downtown Fresno.

During the Depression, monumental civic buildings were constructed downtown with funding from New Deal agencies such as the Public Works Administration (PWA) and the Works Progress Administration (WPA). Notable landmarks from this era include the Fresno (Veteran’s) Memorial Auditorium (1935-36) and the Fresno County Hall of Records (1935-6). In the 1960's, redevelopment permanently altered the downtown landscape with the demolition of several early Classic Revival buildings that were replaced by parking lots. In 1964, six blocks of Fulton Street were closed for a pedestrian mall, designed by landscape architect, Garrett Eckbo. In the following 50 years, Fresno's center city continued to change with the addition of numerous “Mid-century Modern” buildings.

Moving forward, the above history establishes Fresno's center city as a place that began with strong intentions toward making a significant and appealing community. Examining Fresno's center city, its history and the two plans that this code is implementing (DNCP and FCSP), the following key principles of traditional city design are identified as having generated early Fresno and to continue its revitalization into the 21st century:

- 1) Neighborhoods and corridors are made of an interconnected network of streets and blocks;
- 2) Streets are designed for vehicles and pedestrians;
- 3) Buildings face and shape the public realm or 'streetscape';
- 4) Open Space is distributed to serve a variety of needs; and
- 5) Buildings support a sustainable environment and are flexible on land use.

These principles and Fresno's history inform and guide the intent of the Downtown Code.

INTRODUCTION

B. Public Planning Process.

The Downtown Code was prepared based on the outcomes of a public process that applied policy direction and design solutions to property within the Downtown Code Boundaries (Figure 1). Through this public process, residents, merchants, property owners, and the development community participated in identifying the land uses and development standards necessary to implement the desired outcomes of the public process.

Accordingly, the Downtown Code contains provisions for its updating and amendment over the course of its implementation. Such updates or amendments are to be evaluated and determined in a public process similar to the one used to prepare the Downtown Code. The Downtown Code provides for this need in Section 1.3C.

C. Vision-Based Development Standards.

The Downtown Code is structured to directly respond to both the variety and comprehensiveness of the vision for the 7,290 acres in Figure 1. This structure is based on the following principles of what are commonly referred to as 'form-based' or 'vision-based' codes. This approach has been in effect for over 20 years with the State of California officially recognizing it in 2004 through the signing of AB 1268. In effect, the key distinction between the Downtown Code and conventional zoning codes is that the former is based on a vision and corresponding range of intentions and expectations resulting from a public process. Conventional zoning codes are also the result of a public process but with far less clarity about intentions, especially on the basis of how those intentions affect a particular geographic area.

The following key principles are key to the Downtown Code's structure and purpose:

- C1. Zoning Districts:** A vision-based code is defined around districts, neighborhoods and corridors as distinct from conventional zoning districts which often bear no relationship to the transportation framework or the larger area. In addition, each zoning district is not based only on land use as in conventional zoning codes but represents a set of development patterns, land uses and intensities that generate an 'environment' or range of places.
- C2. Regulatory Focus:** A vision-based code de-emphasizes density and land use-regulation in favor of standards for building form. A vision-based code recognizes that uses may change over time, but the building and its physical environment will endure.
- C3. Land Use:** A vision-based code emphasizes mixed-uses and a mix of housing types to bring destinations into close proximity to housing and to provide housing choices to meet many individuals' needs at different times in their lives. In addition, a vision-based code provides greater flexibility in the range of land uses that can occur in a building to make buildings sustainable and able to respond to changing economies.
- C4. Design:** A vision-based code gives greater attention to the streetscape and the design of public space, and the role of individual buildings in shaping public space. Vision-based codes recognize how critical public space is to defining and creating a sense of “place.”
- C5. Public Participation:** A vision-based code is based on design-focused public participation process for providing a thorough discussion of land use issues as the vision and the development standards are created. This helps reduce conflict, misunderstanding and the need for hearings as individual projects are reviewed.

1.0 PURPOSE AND APPLICATION

1.1 INTRODUCTION TO THE DOWNTOWN CODE

1.1A. Authority of the Downtown Code. As a charter City and per Fresno Municipal Code Artile 2, section 200, the Downtown Code is enacted based on the authority vested in the City of Fresno by the State of California Constitution, Article XI to apply zoning regulations to property in conformance with the City's General Plan currently in effect. As a sub-part of the Fresno Municipal Code which applies to all property within the Downtown Code boundaries (Figure 1), the Downtown Code also applies to all property within the Downtown Code Boundaries. Therefore, all property within the Downtown Code boundaries is subject to the Downtown Code.

1.1B. Responsive Code Structure and Development Standards. In response to the respective visions for the DNCP and the FCSP, the Downtown Code is organized by geography of place, physical character and development intensity. Generally, the particular vision and direction for all of the area falls into five types of 'environments' or zoning districts. In support of the DNCP and FCSP, the Downtown Code's standards are allocated to five categories of zoning districts throughout the code boundaries:

- 1.1B1. City Center Zoning Districts.** Areas within Fresno's core that serve the entire community and in the case of certain areas, the region. Examples include the downtown, civic center and the unique center-city urban neighborhoods.
- 1.1B2. Urban Center Zoning Districts.** Areas that puncutate corridors and serve sub-regional, community and neighborhood level needs
- 1.1B3. Corridor Zoning Districts.** Areas that border neighborhoods and are typically along major streets that link several areas and sometimes run the length of the community.
- 1.1B4. Neighborhood Zoning Districts.** Areas that are primarily residential with some mixed-use activity.
- 1.1B5. Special Districts.** Areas that by their nature and scale of activity do not comprise or belong in neighborhoods or along corridors. Examples include industrial areas, airports, hospitals.

The Downtown Code regulates the same topics as Chapter 12 of the FMC but also identifies equally important topics such as building types, frontages, open space types, walkable blocks, and streetscapes. Through this more articulate set of topics and standards, the updated vision is fully enabled with the variety and subtlety expected in the vision. As a result, most improvements or projects that comply with the Downtown Code and do not involve a request for administrative deviation, a conditonal use permit, a subdivision, an amendment to the Downtown Code, or an historic resource that is outside of the Historic Resource Overlay can be approved by ministerial process. The ability to significantly expand what can be approved by the Director is in direct relation to the format and level of information contained in the Downtown Code.

1.1C. Organization and Use of Downtown Code. The Downtown Code is organized into the following eleven sections to enable the vision, intent and variety of intended outcomes identified in the the DNCP and FCSP. Property and rights-of-way within the Downtown Code boundaries (Figure 1) shall comply with all applicable requirements of the Downtown Code:

- 1.1C1. Purpose and Application of Downtown Code (Section 1.0).** Section 1.0 establishes the purpose and role of the Downtown Code within Fresno's regulatory structure, identifies the property and rights-of-way subject to the Downtown Code, and identifies the administrative provisions to be used in implementing the Downtown Code;
- 1.1C2. Zoning Districts and Regulating Plan (Section 2.0).** Section 2.0 establishes and defines the zoning districts and overlays that are to maintain and/or generate the intended physical character and land use activity. Figure 2, Regulating Plan identifies the zoning districts and the parcels subject to their requirements;
- 1.1C3. Land Use Standards (Section 3.0).** Section 3.0 identifies the land use types allowed in each zoning district established by the Regulating Plan. A parcel or building subject to the Downtown Code shall be occupied only by land uses allowed within the applicable zoning district;
- 1.1C4. Development Standards (Section 4.0).** Section 4.0 identifies the standards for how a building is located on its site and is to incremen- tally shape the intended public realm through requirements for build- ing placement, height and frontage, parking placement, and access;
- 1.1C5. Building Standards (Section 5.0).** Section 5.0 identifies the stan- dards for compatible buildings in a variety of physical settings through building types for each zoning district;
- 1.1C6. Frontage Standards (Section 6.0).** Section 6.0 identifies the stan- dards for how individual buildings front and shape the adjoining streetscape(s) to create pedestrian-oriented buildings with active frontages through frontage types for each zoning district;
- 1.1C7. Signage Standards (Section 7.0).** Section 7.0 identifies the stan- dards for signage to be consistent with the character of buildings and the frontages intended for each zoning district through signage types for each zoning district;
- 1.1C8. Open Space and Landscape Standards (Section 8.0).** Section 8.0 identifies the standards for incorporating a variety of open spaces throughout each neighborhood and the Downtown through open space types for each zoning district;
- 1.1C9. Walkable Block and Street Standards (Section 9.0).** Section 9.0 identifies the standards for a walkable network of blocks to support the intended physical character and range of land use activity in each zoning district;
- 1.1C10. Special Standards (Section 10.0).** Section 10.0 identifies the standards for particular elements of buildings, sites, and certain land uses to ensure a consistent and high level of quality in building design, materials, and to ensure land use compatibility;
- 1.1C11. Definitions (Section 11.0).** Section 11.0 describes the specialized terms or phrases used in the DNCP or FCSP that either do not exist in the Fresno Municipal Code or require a new definition for the pur- poses of implementing the particular vision of the DNCP or FCSP.

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1.0 PURPOSE AND APPLICATION

1.1 INTRODUCTION TO THE DOWNTOWN CODE

1.1D. Role and Purpose of the Downtown Code (FMC Chapter 12.5). The Downtown Code is adopted to provide the integrated set of development and landuse standards that implements the wide variety of intended outcomes of the DNCP and the FCSP.

The Downtown Code has been prepared to reflect the General Plan currently in effect, addressing key issues such as land use and key development standards such as lot coverage, building height, building setbacks and parking.

In order to reflect the recently adopted DNCP and FCSP, the Downtown Code consists of standards aimed at fully enabling and supporting the updated vision for the entire 7,290-acres identified in Figure 1.

1.1E. Relationship of Downtown Code to Fresno General Plan. The Downtown Code is declared to be consistent with the Fresno General Plan currently in effect, as required by Government Code 65000, et seq., California Statutes. The Downtown Code implements the Downtown Neighborhoods Community Plan (DNCP) and the Fulton Corridor Specific Plan (FCSP), both of which are refinements of Fresno's policy direction in the General Plan currently in effect for the area identified in Figure 1.

General Plan policy, as refined and articulated through the DNCP and FCSP is to be implemented through a series of updates, replacements, and additions to various regulations and procedures used on a daily basis by the City of Fresno. The DNCP and FCSP identify such actions on the basis of being near, mid, or long term priorities based on the community vision. Among the key priorities is to update or replace the necessary zoning standards to enable the wide variety of intended outcomes described in the vision. The Downtown Code is structured and written to enable the intended outcomes of the DNCP and FCSP.

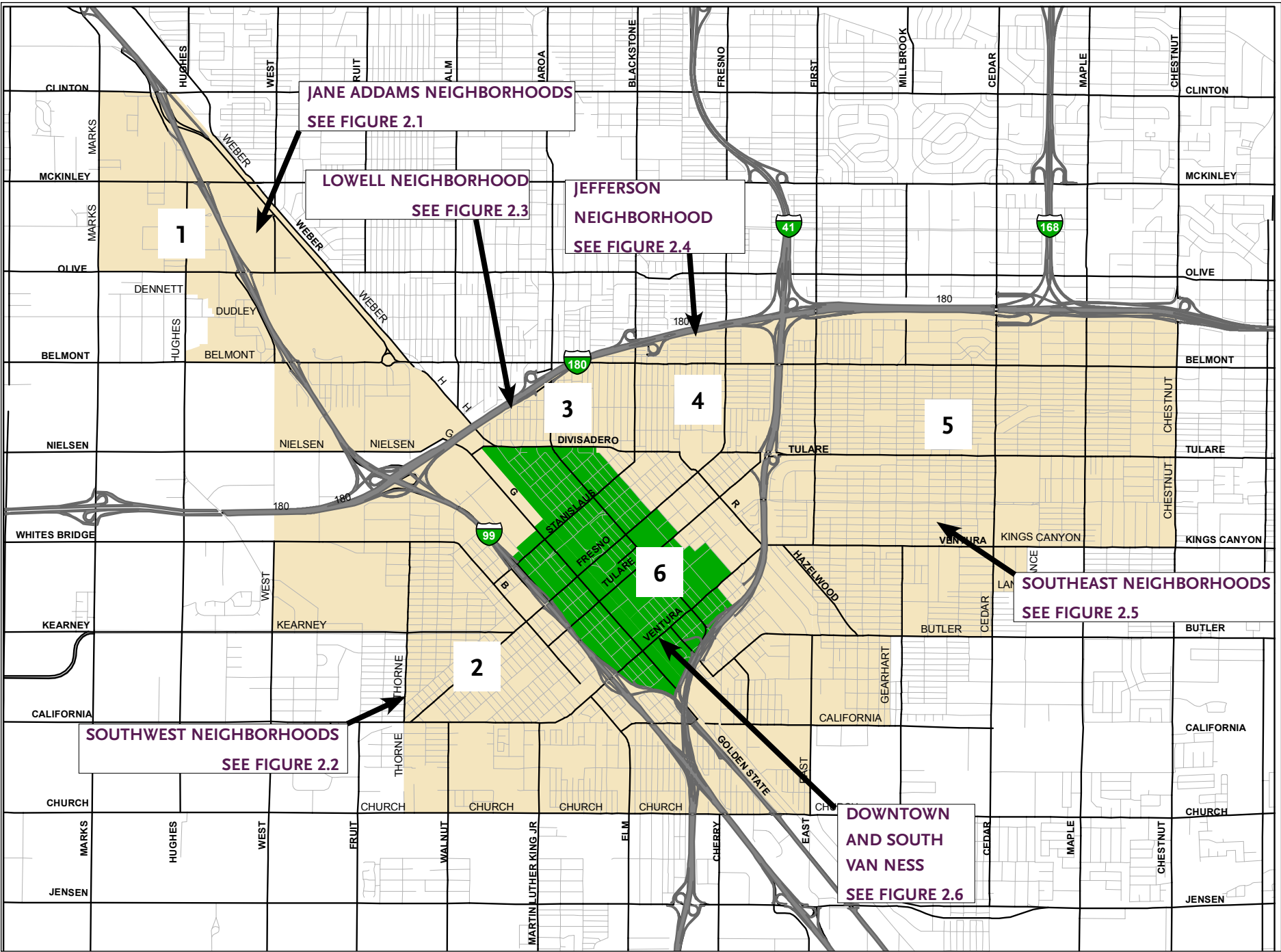
1.1F. Relationship of Downtown Code to Fresno Municipal Code. Chapter 12.5 of the Fresno Municipal Code shall be referred to as the 'Downtown Code'. The Downtown Code provides all requirements for development and land use activity within the boundaries identified in Figure 1. Except as specifically referenced within the Downtown Code, the FMC requirements in place prior to the adoption of the Downtown Code are hereby replaced by Chapter 12.5.

1.1G. Relationship of Downtown Code to Existing Community Plans and Specific Plans.



- a. Existing Community Plans.** The Downtown Code implements the Downtown Neighborhoods Community Plan. Within the Downtown Code boundaries, the DNCP boundary overlaps four Community Plans that were replaced by the DNCP: the Central Area Community Plan, the West Area Community Plan, the Edison Community Plan, and the Roosevelt Community Plan. The goals, policies, and actions of the DNCP replace the goals, policies, and actions of these underlying plans. Accordingly, by implementing the DNCP, the Downtown Code replaces all land use and development standards contained in the prior Community Plans.
- b. Existing Specific Plans.** The Downtown Code implements the Fulton Corridor Specific Plan. The FCSP boundary amends the prior boundary of the Fulton Lowell Specific Plan. The goals, policies, and actions of the FCSP replace the goals, policies, and actions of the Fulton Lowell Specific Plan. Accordingly, by implementing the FCSP, the Downtown Code replaces all land use and development standards contained in the Fulton Lowell Specific Plan.

1.0 PURPOSE AND APPLICATION

DOWNTOWN CODE BOUNDARIES: **FIGURE 1**



KEY TO FIGURE 1

-  Parcels within DNCP subject to Downtown Code
-  Parcels within FCSP subject to Downtown Code

- 3** See referenced figure for zoning district information
- 1** - See Figure 2.1 Jane Addams Neighborhoods pg 2 - 9
- 2** - See Figure 2.2 Southwest Neighborhoods pg 2 - 11
- 3** - See Figure 2.3 Lowell Neighborhood pg 2 - 13
- 4** - See Figure 2.4 Jefferson Neighborhood pg 2 - 14
- 5** - See Figure 2.5 Southeast Neighborhoods pg 2 - 15
- 6** - See Figure 2.6 Downtown and S. Van Ness pg 2 - 17

1.0 PURPOSE AND APPLICATION

1.2 INTENT OF DOWNTOWN CODE

1.2A. Regulations to Implement the DNCP and FCSP. The Downtown Code is organized and written to achieve the community vision for the DNCP and FCSP as stated in each of those plans and based on the principles described in section 1.2C.

Based on the community vision, as implemented by the principles in Section 1.2C, the Downtown Code's requirements are keyed to Figure 2, 'Regulating Plan' which designates the appropriate form, scale and character of development including compatible land-use activity.

1.2B. Direction from the DNCP and FCSP. The Downtown Code is adopted to preserve, protect, and promote the public health, safety, peace, comfort, convenience, prosperity and general welfare of residents and businesses as stated in the DNCP and FCSP.

1.2C. Principles. The Downtown Code is designed to implement the DNCP and FCSP visions and foster predictable built results and a high-quality public realm of streets and open spaces by using physical form –rather than separation of uses – as the organizing principle for the Code. The Downtown Code does so by addressing the relationship between building facades and the public realm, the form and mass of buildings in relation to one another, and the scale and types of streets and blocks.

Fresno's prevalent physical community structure within the Downtown Code boundaries was originally built per a similar approach that has since become known as Traditional Neighborhood, District and Corridor Design.

Traditional Neighborhood, District and Corridor Design derives from the principles used to build great cities all across America prior to World War II. These cities were compact and provided a balance between town and country. They were centered on a mixed-use downtown, which in turn was surrounded by a ring of residential neighborhoods. On the outskirts of town were farms and ranches, and beyond the farms was undisturbed nature. All aspects of the City - from its overall size, to the size of its blocks, to the design of its sidewalks, to the scale of its buildings - were designed with the pedestrian in mind. In these cities, the public realm of beautiful streets and spacious public parks was just as important as the buildings which defined the public realm's edges. Fresno is one of these cities.

Key principles that carry forward Fresno's community structure and implement the DNCP and FCSP's wide variety of intended outcomes over time, are as follows:

1.0 PURPOSE AND APPLICATION

1.2 INTENT OF DOWNTOWN CODE

1.2C1. Neighborhoods and Corridors consist of an interconnected network of streets and blocks.

- a. Streets form an interconnected network that disperses and reduces the length of automobile trips, encouraging walking and bicycling;
- b. Transit is convenient for residents and coordinated with the location of shopping, workplaces and transit;
- c. A mixture of compact, pedestrian-oriented and mixed use neighborhoods based on traditional neighborhood design principles are supported by revitalized mixed-use corridors;
- d. A variety of corridors provides a wide range of services and shopping for neighborhood and regional-serving needs.

1.2C2. Streets are designed for as many modes as possible in support of the intended physical environment.

- a. Streets are attractive to pedestrians while conveniently and efficiently accommodating the needs of cyclists and the automobile;
- b. The design of streets reinforces safe environments but not at the expense of accessibility.

1.2C3. Buildings face and shape the public realm or 'streetscape'.

- a. A mixture of land uses and open spaces situates shops, workplaces, residences, and civic buildings within walking distance of transit and one another;
- b. New and remodeled buildings work together to define the pedestrian-oriented public space and the streetscapes are harmonious with each other and the intended physical character;
- c. A variety of building types and sizes shape the streetscpae while being contextual to their surroundings.

1.2C4. Open space and civic uses are distributed to serve a variety of needs

- a. A variety of open spaces form an interconnected network ranging from neighborhood playgrounds to parks and plazas in response to the intended physical character and intensity of each location;
- b. Civic buildings are distinct from other buildings such as houses, mixed use buildings, offices, and stores to express their particular symbolic character or community-wide role;
- c. Civic buildings and public gathering places are of high quality and located to reinforce community.

1.2C5. Buildings support their environment and are flexible on land use.

- a. Land use activity and development support improved physical health;
- b. Preservation and renewal of historic resources provide the continuity of Fresno's heritage;
- c. Land use activities that neither form neighborhoods or are appropriate along corridors are organized into districts aimed at enabling the land use activity with maximum compatibility for neighboring properties and uses;
- d. Within neighborhoods, a range of housing types offers choices to a wide range of people.

1.2C6. Reinvestment is aimed at sustainability.

- a. Reinvestment in existing buildings utilizes valuable resources efficiently while contributing to the reanimation of many areas;
- b. Reinvestment in streetscapes and open spaces increases their appeal to the greater community and that of the surrounding business and housing;
- c. Reinvestment in the Downtown and surrounding neighborhoods is sustainability across a variety of subjects with the overall objective of revitalization on the individual terms of the various and distinct places contained within.

1.0 PURPOSE AND APPLICATION

1.3 APPLICABILITY OF DOWNTOWN CODE

1.3A. Use of Downtown Code. The Downtown Code shall be administered by the Fresno City Council, hereafter referred to as the “Council;” the Planning Commission, hereafter referred to as the “Commission;” the Development and Resource Management Director, hereafter referred to as the “Director;” and the Fresno Development and Resource Management Department, hereafter referred to as the "DARM.”

1.3A1. Responsibility for Administration. The Fresno DARM shall be the primary body responsible for administering the Downtown Code subject to the provisions of Section 1.4, 'Administration';

1.3B. Applicability of Downtown Code to Property within Code Boundaries.

Property, including structures, land uses and physical improvements such as signage, landscaping, and lighting within the boundaries of the Downtown Code (Figure 1) shall comply with all applicable requirements of the Downtown Code as follows:

1.3B1. Zoning District(s) Requirements. All property subject to the Downtown Code shall comply with the relevant requirements of the applicable zoning district(s);

1.3B2. Effect of Downtown Code Requirements over other Fresno Municipal Code (FMC) Requirements. Where a requirement exists for the same topic in both the Downtown Code and other chapters of the FMC, the requirement of the Downtown Code shall prevail unless specified otherwise;

1.3B3. Permit Approval Requirements. Each structure and land use shall be established, constructed, reconstructed, enlarged, altered, moved or replaced in compliance with the following requirements:

- a. Allowable use.** The land use must be one that is allowed by Table 3 in the zoning district where the site is located.
- b. Permit and Approval Requirements.** Any and all permits or other approvals required by the Downtown Code shall be obtained before the issuance of any required grading, building, or other construction permit, and before the proposed structure(s) is constructed and land use established or otherwise put into operation.
- c. Development standards, conditions of approval.** Each land use and structure shall comply with the applicable development standards of the Downtown Code for the zoning district in which the site is located.
- d. Other review procedures.** By way of example but without limitations, the following procedural requirements of the Zoning Regulations and State law shall also apply within the Downtown Code boundaries:

Alcoholic Beverage Sales (FMC 12-304, 12-326)
Development Agreement Procedure (FMC 12-1411)
Enforcement Procedure (FMC 10-7)
Subdivision Procedures (FMC 12-10)
Density Bonus Procedures (FMC 12-324)
Group Housing Facilities

1.3B4. Improvements, Modifications or Expansions to Sites, Structures.

- a. Improvements to Conforming Structures or Sites.** Applications that involve an improvement to a conforming site, an existing conforming structure(s), or a modification/expansion of an existing conforming structure(s), sign(s) are subject to the applicable requirements of the Downtown Code;
- b. Improvements to Non-Conforming Structures or Sites.** Applications that involve an improvement to a non-conforming site, an existing non-conforming structure(s,) or a modification/expansion of an existing non-conforming structure(s), sign(s) shall comply with the applicable requirements of Section 1.3B10.
- c. Civic Buildings.** Applications that involve a civic building as defined by the Downtown Code shall comply with the applicable requirements of Section 1.3B.9;
- d. Historic Buildings or Resources.** Applications that involve a building immediately adjacent to or on the same site as an identified historic resource, as defined by the City's Historic Preservation Ordinance (FMC 12-1601), shall comply with the applicable requirements of Section 1.3B7;

1.0 PURPOSE AND APPLICATION

1.3 APPLICABILITY OF DOWNTOWN CODE

- 1.3B5. Modification or Subdivision of Existing Parcel(s).** Applications involving the modification of an existing parcel or the subdivision of an existing parcel shall comply with the applicable requirements of the applicable zoning district(s) and Section 9.0 'Walkable Block and Street Standards'. Sites immediately adjacent to or containing an identified historic resource, as defined by the City's Historic Preservation Ordinance (FMC 12-1601), shall comply with the applicable requirements of Section 1.3B7;
- 1.3B6. Approved Entitlement(s).** Entitlements approved prior to the adoption of the Downtown Code that have yet to be constructed are not subject to the Downtown Code. The entitlement(s) may not be extended beyond the four year approval period and upon expiration, the owner must demonstrate substantial completion in constructing the approved structure(s) or the property shall then comply with the Downtown Code. Substantial completion means at least 90 percent completion of the approved structure(s) as determined by the City of Fresno Building Official.
- 1.3B7. Historic Resources.** All property immediately adjacent to or containing an identified historic resource, as defined by the City's Historic Preservation Ordinance (FMC 12-1601), is subject to the Downtown Code as follows:
- a. All relevant requirements of FMC Chapter 12-1601 'Historic Preservation Ordinance' apply;
 - b. Land use activity shall comply with the requirements of Downtown Code section 3.0 'Land Use Standards' for the applicable zoning district(s);
 - c. Improvements, modifications and expansions to structures and the construction of additional structures shall comply with the requirements of Section 4.0 'Development Standards' for the applicable zoning district(s) and Section 10.4B 'Special Standards for Historic Buildings';
 - d. Sites immediately adjacent to or containing an identified historic resource, as defined by the City's Historic Preservation Ordinance (FMC 12-1601), shall comply with the requirements of Section 10.4B 'Special Standards for Historic Buildings'.
- 1.3B8. Pre-1954 Structures.** Structures built prior to February 13, 1954 are exempt from the parking requirements of the Downtown Code. Additions to such structures shall comply with the parking requirements of the applicable zoning district.
- 1.3B9. Civic Buildings.** Applications involving the modification or construction of a building to be used for civic purposes as defined in Section 11.0 'Definitions', shall comply with the following:
- a. Section 5.0 'Building Standards' are not required of civic buildings;
 - b. All other Sections of the Downtown Code apply.

1.3B10. Non-Conforming Sites, Structures or Land Uses.

- a. Maintenance and Repair of Non-Conformities.** Ordinary maintenance and repairs of a non-conforming structure or sign that was lawful before the adoption of the Downtown Code shall not require compliance with the provisions of the Downtown Code if the maintenance or repair does not increase the non-conformity.
- b. Removal of Non-Conformities.** Upon a non-conformity losing its non-conforming status, as identified in FMC 12-317 or in Section 1.3B10.e for non-conformities within the Transition Overlay, the non-conformity shall be removed or made to conform to the applicable standards.

- c. Incremental Removal of Non-Conformities.** Prior to losing its non-conforming status, as identified in FMC 12-317 or in Section 1.3B.10e for non-conformities within the Transition Overlay, a non-conformity may be incrementally improved to achieve compliance with the applicable standards. The incremental removal of a non-conformity shall not prevent improvement(s) to the rest of the building or site or require incremental improvement of another non-conformity, except for expansion of floor area. When a structure is non-conforming due to violating the applicable building setbacks, no incremental expansion of floor area will be allowed until the violation is completely removed. Incremental expansion of floor area shall only be allowed as required by the applicable zoning district.

Incremental or complete removal of a building facade that is not within the specified frontage zone for the applicable zoning district is allowed provided that any building expansion must comply with the applicable frontage zone and building setback requirements of the zoning district.

- d. Non-Conforming Sites, Structures, and Land Uses not within Transition Overlay.** Applications that involve a non-conforming site, an improvement to an existing non-conforming structure(s), or a modification/expansion of an existing non-conforming structure(s), sign(s), or land use not within the Transition Overlay in Figure 2 shall continue under the provisions of FMC 12-317;
- e. Non-Conforming Sites, Structures, and Land Uses within Transition Overlay.** Applications that involve an improvement to a non-conforming site, an existing non-conforming structure(s,) or a modification/expansion of an existing non-conforming structure(s), sign(s) within the Transition Overlay are subject to the requirements of the Downtown Code when the non-conformity loses its non-conforming status. A non-conformity within the Transition Overlay will lose its non-conforming status when any of the following occur or the property owner causes the following to occur:
 - i. A non-conforming land use ceases operations for 90 consecutive days;
 - ii. A non-conforming land use is changed or proposed to be changed to another non-conforming land use;
 - iii. A non-conforming building is expanded or proposed to be expanded by 10 percent or more floor area;
 - iv. A non-conforming sign is modified or proposed to be modified to not lessen the non-conformity;
 - v. A non-conforming improvement such as a parking lot or accessory structure is modified or proposed to be modified to not lessen the non-conformity;
 - vi. A non-conforming façade is modified or proposed to be modified to not lessen the non-conformity.

If a particular non-conformity loses its non-conforming status, such an occurrence does not affect the status of other non-conformities on the property.

1.0 PURPOSE AND APPLICATION

1.3 APPLICABILITY OF DOWNTOWN CODE

1.3C. Amendments to Downtown Code. Over the course of implementation, it is foreseeable that amendments to the Downtown Code may be necessary. The Downtown Code is a document intended to implement the DNCP and the FCSP and as such, amendments may be made to the Downtown Code which are consistent with the applicable goals and policies of the DNCP or FCSP further such implementation. Amendments to the Downtown Code shall be processed per the requirements of Section 1.3C1.

1.3C1. Process for Amending the Downtown Code. The Downtown Code may be amended by amending the text, tables or diagrams of the Downtown Code or by amending Figure 2 or Figure 9.

a. Amendments to Text, Tables or Diagrams. Amendments to text, tables or diagrams shall be processed as follows:

- i. Amendments may only be applied for annually for the first five years after the adoption of the Downtown Code, then every two years thereafter, as set by the City Council;
- ii. The amendment shall be filed with the DARM per the applicable filing fee and required materials. The filing fee is not required when the amendment is filed by the City;
- iii. The application requesting an amendment shall clearly identify the Section(s), Table(s) or Diagram(s) proposed for amendment and shall provide a statement identifying the need and purpose for the requested amendment and how the request is consistent with the intent of the Downtown Code.

For applications that propose an additional building type, frontage, type, signage type, open space type or street type, the request shall provide the following information:

- a statement identifying that the type(s) is not similar to any of the allowed types identified in the Downtown Code;
 - a diagram showing the proposed type(s) in plan and section (elevation diagram required for signage) to identify its configuration and key elements;
 - a minimum of three examples of the type(s) to show the type in its physical context;
- iv. The amendment shall be reviewed by the DRC who shall make a recommendation to the Director for presentation to the Planning Commission. The Planning Commission shall hold a duly noticed public hearing to consider the amendment and make a recommendation to the City Council for final action;
 - v. At least 10 days prior to the public hearing, notice of the public hearing shall be published at least once in at least two newspapers of general circulation within the City of Fresno and shall be posted on the City of Fresno's website;
 - vi. The amendment shall be in compliance with the applicable findings of the Downtown Code Section(s) being amended.

b. Amendments to Figure 2. Amendments to the boundary of a zoning district(s) or Overlay identified in Figure 2 shall be processed as follows.

- i. Amendments may only be applied for annually for the first five years after the adoption of the Downtown Code, then every two years, as set by the City Council;
- ii. The amendment shall be filed with the DARM and per the applicable filing fee and required materials. The filing fee is not required when the amendment is filed by the City;

- iii. The application requesting an amendment shall clearly identify the properties proposed for amendment and shall provide a statement identifying the need and purpose for the requested amendment and how the request is consistent with the intent of the Downtown Code;
- iv. Except where the amendment involves the extension of an existing zoning district boundary,, amendments to the boundary of a zoning district must be for a site at least 40,000 square feet in size and shall not result in a new zoning district for the site;
- v. Amendments to the boundary of a zoning district or overlay for sites less than 10 acres shall not result in a new zoning district or overlay for the site. The boundaries may only be adjusted to reflect new or modified rights-of-way or open space(s) on the site;
- vi. Amendments to the boundary of a zoning district or overlay for sites of 10 acres or more are allowed to result in the boundaries being reconfigured to reflect new or modified rights-of-way or open space(s) on the site, including a new zoning district (s) for the site in compliance with the requirements of Section 1.3C.2;
- vii. The amendment shall be reviewed by the DRC who shall make a recommendation to the Director for presentation to the Planning Commission. The Planning Commission shall hold a duly noticed public hearing to consider the amendment and make a recommendation to the City Council for final action;
- viii. At least 10 days prior to the public hearing, written notice of the public hearing shall be delivered by mail to all property owners within 1,000 feet of the subject property or all properties involved in the case of multiple properties;
- ix. The amendment shall be in compliance with the applicable findings of the Downtown Code Section(s) being amended.

c. Amendments to Figure 9. Amendments to the alignment or assignment of a street type(s) identified in Figure 9 shall be processed as follows.

- i. Amendments may only be applied for annually for the first five years after the adoption of the Downtown Code, then every two years thereafter, as set by the City Council;
- ii. The amendment shall be filed with the DARM and per the applicable filing fee and required materials. The filing fee is not required when the amendment is filed by the City;
- iii. The application requesting an amendment shall clearly identify the street(s) alignment or street type assignment proposed for amendment and shall provide a statement identifying the need and purpose for the requested amendment and how the request is consistent with the intent of the Downtown Code.
- iv. Amendments to the alignment or assignment of a street type identified in Figure 9 shall be evaluated per the following:
 - the intended physical context identified in the DNCP or FCSP, as applicable;
 - the transition from one physical context to another and whether or not such a transition supports the intended physical context;
- v. Amendments to the to the alignment or assignment of a street type identified in Figure 9 shall not result in less connectivity of the network of blocks and streets;

1.0 PURPOSE AND APPLICATION

1.3 APPLICABILITY OF DOWNTOWN CODE

- vi. Amendments to the alignment or assignment of a street type identified in Figure 9 shall not result in a new zoning district for the site. The adjacent boundaries may only be adjusted to reflect new or modified rights-of-way or open space(s). For realignments that are part of an Infill Plan per Section 1.3C2, the Infill Plan process will identify any new zoning district(s) for the involved site(s);
- vii. The amendment shall be reviewed by the DRC who shall make a recommendation to the Director for presentation to the Planning Commission. The Planning Commission shall hold a duly noticed public hearing to consider the amendment and make a recommendation to the City Council for final action;
- viii. At least 10 days prior to the public hearing, written notice of the public hearing shall be delivered by mail to all property owners within 1000 feet of the subject property or all properties involved in the case of multiple properties;
- ix. The amendment shall be in compliance with the applicable findings of the Downtown Code Section(s) being amended.

1.3C2. Generative Standards. In response to changing needs over the course of implementing the Downtown Code, the owner of a parcel or abutting parcels consisting of at least 10 acres of contiguous lots may apply at any time to prepare an Infill Plan per the following:

- a. Public Process.** Through a public process that involves the immediate neighborhood in which the site is located, the Infill Plan may adjust the street alignments and street types assigned in Figure 9, and adjust the zoning district boundaries as identified in Figure 2 or introduce new zoning districts provided that:
- i. At least 10 days prior to beginning the public process required in subsection a.ii below, written notice of the public process shall be delivered by mail to all property owners within 1,500 feet of the site;
 - ii. The process consists of at least three meetings where the applicant will meet with property owners, merchants and residents in the area to: a) solicit input, b) propose initial ideas for the site, and c) present the proposed Infill Plan, in compliance with Section 10.2A, prior to submitting it to the City;
 - iii. Only after the above public process has occurred can the Infill Plan be submitted for further processing by the City. After the completion of the above public process, the Infill Plan will be reviewed by the DRC to evaluate the Plan for: a) compliance with all applicable requirements, b) any proposed changes to the Downtown Code, and c) input or comment from property owners, merchants and residents in the area;
 - iv. The Infill Plan shall be reviewed by the DRC who shall make a recommendation to the Director for presentation to the Planning Commission. The Planning Commission shall hold a duly noticed public hearing to consider the amendment and make a recommendation to the City Council for final action;
 - v. At least 10 days prior to the public hearing, written notice of the public hearing shall be delivered by mail to all property owners within 1,500 feet of the subject property or all properties involved in the case of multiple properties;
 - vi. The Infill Plan shall be in compliance with the applicable findings of the Downtown Code Section(s).

b. Infill Plan Requirements.

- i. The Infill Plan shall be generated based on a public process as required in Section 1.3C2.a;
- ii. New zoning districts may be introduced to the site provided that appropriate transitions are maintained with adjacent areas and that such adjustments or assignments of new zoning districts are consistent with Section 1.2 'Intent' of the Downtown Code and the vision for either the DNCP or FCSP, as applicable. Appropriate transitions shall be evaluated at the discretion of the City;
- iii. The Infill Plan shall show the following at a minimum:
 - The physical context within 1,500 feet of the site, identifying the size of lots and height of buildings on each block;
 - The proposed block network and any required or proposed open space;
 - The proposed adjustments to zoning districts or introduction of new zoning districts and their boundaries;
 - The proposed lots on each block and proposed building type(s) for each lot;
- iv. The Infill Plans shall be subject to the applicable CEQA requirements.

1.3C3. Comprehensive Review of Downtown Code. Every years for the first five years after the adoption of the Downtown Code and every two years thereafter, the Director shall conduct a comprehensive review of Figure 2 to evaluate the development direction of the neighborhoods, districts, corridors and downtown to determine if additional amendments are appropriate. This review shall be made in writing and presented to the Planning Commission and City Council for review and consideration.

1.0 PURPOSE AND APPLICATION

1.4 ADMINISTRATION OF DOWNTOWN CODE

1.4A. Review Authority. This Section of the Downtown Code identifies the responsible body or individual that has the responsibility and authority to review and act upon applications submitted to the City.

1.4A1.Applications. The following types of applications shall be reviewed and acted upon by the identified body or individual.

- a. Ministerial Applications.** The Director shall be the Review Authority for ministerial applications as listed in Table 1A and in compliance with the procedures identified in Section 1.4B. No application involving a historic resource shall be processed per the ministerial process.
- b. Discretionary Applications.** Discretionary application sshall be reviewed as listed in Table 1A and in compliance with the procedures identified in Section 1.4B.

TABLE 1A REVIEW AUTHORITY					
Application		Review Authority			
Ministerial		D	HPC	PC	CC
M1	Zone Clearance for Business License	A			
M2	Zone Clearance for Building Permit	A			
M3	Zone Clearance for Tenant Improvement	A			
M4	Site Plan to modify/expand an exstg bldg	A			
M5	Site Plan to construct a new building	A			
M6	Facade Modification/Renovation Permit	A			
M7	Sign Permit (for sign types A-H)	A			
M8	Temporary Use Permit	A			
M9	Sidewalk Dining Permit	A			
M10	Lot Line Adjustment, Voluntary Parcel Merger	A			
Discretionary					
D1	Sign Permit (for sign types I and J)	FD			
D2	Administrative Deviation per Table 1B	FD			
D3	Any application involving a historic resource	R	A	RA	RA
D4	Conditional Use Permit per Table 3	D		RA	RA
D5	Infill Plan	R		R	FD
D6	Downtown Code amendment (text, table, diagram)	R		R	FD
D7	Zoning District boundary amendment to Figure 2	R		R	FD
D8	Change of Zoning District in Figure 2	R		R	FD
D9	Parcel Map	R		FD	
D10	Tract Map	R		R	FD
D11	Variance	D		RA	RA

KEY	to Table 1A			
	Review Authority		Actions	
D	DARM Director		A	Approves
HPC	Historic Preservation Commission		R	Recommends
PC	Planning Commission		RA	Reviews on Appeal
CC	City Council		D	Decision may be appealed
			FD	Final Decision

1.4B. Processing and Procedures. Property subject to the Downtown Code shall comply with the applicable filing requirements of the DARM and the applicable requirements of this Section.

1.4B1. Downtown Review Committee (DRC). In order to facilitate and coordinate processing and review of applications submitted per the Downtown Code, the DRC shall review all applications for compliance with the Downtown Code and as identified in the procedures in Section 1.4B3, except the following:

- Zone Clearances
- Temporary Use Permits
- Sign Permits
- Sidewalk Dining Permits

The DRC shall consist of a representative of the following departments: DARM, Public Works, Police, Fire, Parks. Other staff may participate as needed to assist in the review process.

a. Ministerial Applications. For ministerial applications, the DRC shall review applications for compliance with the applicable requirements of the Downtown Code and report on the results to the Director. Upon determining that an application is in compliance with the applicable requirements, the Director shall approve the application and communicate the results to the applicant.

b. Discretionary Applications. For discretionary applications, the DRC shall review applications for compliance with the applicable requirements of the Downtown Code and make a recommendation that may include modifications of the application to the Director. Upon reviewing the DRC's recommendation, the Review Authority shall review and consider the application per the procedures set forth in Section 1.4B.3.

1.4B2. Architectural Advisor. In order to facilitate the application and review process, the DRC shall include an architectural advisor who shall advise the DRC for the following types of applications established in Section 1.4A.1:

- a. Ministerial Applications**

 - Site Plan to modify or expand an existing building
 - Site Plan to construct a new building
 - Facade Modification/Renovation Permit

- b. Discretionary Applications**

 - Any application involving a historic resource
 - Conditional Use Permit per Table 3
 - Infill Plan
 - Subdivision of Land

1.4B3.Applications. The following types of applications may be filed. Each application and its requirements is described below:

- a. Applications for a Zone Clearance.** A zone clearance is required for the following:

 - a new land use or business to be established
 - an existing land use or business to be expanded
 - a new building to be constructed from an approved Site Plan
 - an existing building to be modified from an approved Site Plan

DARM staff shall review the application for compliance with the applicable requirements. If the application is in compliance with all applicable requirements, the Director shall approve the zone clearance and the applicant shall be able to apply for a business license, or a building permit to install or construct tenant improvements, a building modification, or a new building.

1.0 PURPOSE AND APPLICATION

- b. Applications for a Site Plan.** A Site Plan is required to construct a new building or to modify or expand an existing building. For applications that require a Site Plan approval and do not involve a historic resource, CUP, Subdivision, or Variance, upon receiving the DRC's recommendation that the application is in compliance with all applicable requirements of Sections 3.0, 4.0, 5.0 and 6.0 of the Downtown Code, the Director shall approve the application.

c. Applications for a Facade Modification/Renovation Permit. A Facade Modification/Renovation Permit is required for applications that involve the modification or renovation of an existing facade that is adjacent to or visible from a public street or open space. For applications that require a Facade Modification/Renovation Permit and do not involve a historic resource, CUP, Subdivision, or Variance, upon receiving the DRC's recommendation that the application is in compliance with all applicable requirements of Sections 4.0, 5.0 and 6.0 of the Downtown Code, the Director shall approve the application.

d. Applications for a Sign Permit. A Sign Permit is required to construct a new sign or to modify or expand an existing sign.

i. Applications for Signage Types A-H and do not involve a historic resource, CUP, Subdivision, or Variance, the Director shall approve the application in accordance with the applicable requirements and findings of Section 7.0 of the Downtown Code.

ii. Applications for Signage Types I and J, the DRC's recommendation shall be reviewed by Director to determine if the application will be approved or be approved subject to modifications, or be denied.

e. Applications for a Temporary Use Permit. A Temporary Use Permit is required for certain activities as identified in Table 3. For applications that require a Temporary Use Permit and do not involve a CUP, Subdivision, or Variance, the Director shall approve the application in accordance with the applicable requirements and findings of Table 3 of the Downtown Code.

f. Applications for a Sidewalk Dining Permit. A Sidewalk Dining Permit is required for dining within a public sidewalk or open space. For applications that require a Sidewalk Dining Permit and do not involve a CUP, Subdivision, or Variance, the Director shall approve the application in accordance with the applicable requirements and findings of Table 3 and Section 10.3B of the Downtown Code.

g. Applications for a Lot Line Adjustment or Voluntary Parcel Merger. A Lot Line Adjustment or Voluntary Parcel Merger is required to adjust the existing lot line of a parcel or to merge parcels. For applications that require a Lot Line Adjustment or Voluntary Parcel Merger and do not involve a historic resource, CUP, Subdivision, or Variance, the Director shall approve the application in accordance with the applicable requirements and findings of the applicable zoning district of the Downtown Code.

h. Applications for Administrative Deviation. For applications that request a deviation from an applicable development standard and do not involve a historic resource, CUP, Subdivision, or Variance, the Director may grant up to the maximum amount of deviation available in Table 1B upon reviewing the application per the applicable requirements and findings of the Downtown Code.

i. Applications immediately adjacent to or containing a Historic Resource. For applications that are immediately adjacent to or contain a historic resource, as defined by the City's Historic Preservation Ordinance (FMC 12-1601), the DRC shall review the application for compliance with all applicable requirements of the zoning district in which the site is located and Sections 5.0, 6.0, 7.0 and 10.4B and shall make a recommendation that may include modifications to the application for the Director's consideration. Upon receiving the DRC's recommendation for the application and that the application is in compliance with all applicable requirements of the Downtown Code, the Director shall make a recommendation to the Historic Preservation Commission (HPC). The HPC shall review the Director's recommendation and make a decision on the application.
- j. Applications requiring a Conditional Use Permit.** Certain land uses have been identified in Table 3 as being of such community-wide interest or concern that such land uses need a public process to ensure that community concerns are appropriately identified and addressed. For applications that require a Conditional Use Permit ('CUP'), the DRC shall review the application for compliance with all applicable requirements of the zoning district in which the site is located and Sections 3.0, 4.0, 5.0, 6.0, 7.0 and 10.0 and shall make a recommendation that may include modifications to the application for the Director's consideration. Upon receiving the DRC's recommendations for the application and that the application is in compliance with all applicable requirements of the Downtown Code, the Director shall set community workshops as follows, for the purpose of receiving input from the community prior to making a decision on the application:

i. At least 10 days prior to beginning the public process required in subsection j.ii below, written notice of the process shall be delivered by mail to all property owners within 500 feet of the site;

ii. The process consists of at least three meetings where the applicant will meet with property owners, merchants and residents in the area to: a) solicit input, b) propose initial ideas for the site, and c) present the proposal, prior to submitting it to the City;

iii. Only after the above public process has occurred can the CUP application be submitted for further processing by the City. After the completion of the above public process, the application will be reviewed by the DRC to evaluate and incorporate input or comment from the public process prior to the Director making a decision on the application;

k. Applications involving an amendment to the Downtown Code. For applications that propose amending any portion of the Downtown Code, such applications shall comply with Section 1.3C.

l. Applications for a Subdivision. Approval of a subdivision of land is required for the division of an existing parcel into additional parcels.

i. Parcel Map. Applications that involve the subdivision of land into fewer than five parcels or airspace parcels within a building, shall be reviewed by the DRC for compliance with all applicable requirements of the zoning district in which the site is located and Section 9.0. The DRC shall make a recommendation that may include modifications to the application for the Director's consideration. Upon receiving the DRC's recommendations for the application and that the application is in compliance with all applicable requirements of the Downtown Code, the Director shall make a recommendation on the application for the Planning Commission's final action.

ii. Tract Map. Applications that involve the subdivision of land into five or more parcels or airspace parcels shall be reviewed by the DRC for compliance with all applicable requirements of the zoning district in which the site is located and Section 9.0. The DRC shall make a recommendation that may include modifications to the application for the Director's consideration. Upon receiving the DRC's recommendations for the application and that the application is in compliance with all applicable requirements of the Downtown Code, the Director shall make a recommendation for the Planning Commission to consider in a public hearing. The Planning Commission shall make a recommendation on the application for the City Council's final action.

m. Applications for a Variance. In the event that special circumstances, as found by the Director to apply to a property, including size, shape, location, or surroundings, deprives such property of privileges enjoyed by other property in the identical zoning district, the Director may approve a variance in accordance with provisions the applicable requirements of the Downtown Code, including the findings set forth in FMC Chapter 12-405.A.1.

1.0 PURPOSE AND APPLICATION

1.4 ADMINISTRATION OF DOWNTOWN CODE

1.4C. Appeals and Procedures. Property subject to the Downtown Code is required to comply with clear and detailed standards that were developed in a public planning process. As such, applications approved pursuant to the Downtown Code standards and in compliance with the applicable findings represent the community's expectations. Therefore, appeals of certain decisions may be made per the requirements in Section 1.4C.1.

1.4C1. Requirements. Actions of the Review Authority may be appealed in accordance with the following requirements:

- a. Appeal Subjects and Jurisdiction.** The following may not be appealed:
- i. Application of the Downtown Code standards or definitions, including the standards and definitions
 - ii. Zone Clearances
 - iii. Facade Modification/Renovation Permit (non-historic resource)
 - iv. Sign Permits
 - v. Temporary Use Permits
 - vi. Sidewalk Dining Permits
 - vii. Lot Line Adjustments/Voluntary Parcel Mergers
 - viii. Administrative Deviations
 - ix. Building Permits
- b. Eligibility for Appeal.** An appeal in compliance with this Section may be filed by any aggrieved person or group, the 'appellant', that meets the following requirements:
- i. The person or group filing the appeal must reside or own property within 500 feet of the subject property for which the action is being appealed;
 - ii. If a person or group is represented by an attorney, that attorney shall be admitted to practice law in the State of California;
 - iii. If a group such as a LLC or Corporation is filing the appeal, documentation must be provided with the appeal that the group is active;
 - iv. The appeal must be filed by a living person, who has standing to appeal, and such person shall be the person to act on behalf of a group if a group is involved in the appeal;
 - v. The appeal may only be filed by a person who, in person or through a representative, appeared at the public hearing in connection with the decision being appealed, or who otherwise informed the City in writing of the nature of their concerns before the hearing or decision.
 - vi. Any action of the Planning Commission, Historic Preservation Commission, or decisions by the Director on Conditional Use Permits and Variances, in compliance with the Downtown Code may be appealed by a Councilmember acting as an individual.
 - vii. Appeals filed by the Mayor or a Councilmember are exempt from filing fee requirements.

- c. Timing of Appeal.** Appeals shall be submitted in writing and specifically state the pertinent facts and the basis for the appeal.
- i. Appeals shall be filed with the DARM within 15 days following the actual date the decision was rendered.
 - ii. Appeals shall be submitted on the form required by the DARM and contain the required information.
 - iii. The appeal shall be accompanied by the filing fee identified in the Planning Fee Schedule on file with the DARM. The filing fee shall be reimbursed to the appellant if the appeal is upheld by the Review Authority.
 - iv. Once an appeal is filed, any action on the associated project is suspended until the appeal is processed and a final decision is rendered by the applicable review authority.

d. Scope of Appeals. An appeal of a decision that is subject to appeal as identified in Section 1.4C1.a shall be limited to issues raised in writing before the decision, or in the case of a public hearing, to the issues raised in writing prior to or at the public hearing, or information that was not known at the time of the decision that is being appealed. It is the appellant's responsibility to identify the following, as applicable, in writing for the appeal to be accepted and filed for processing:

- i. The appeal shall include, at a minimum, the specific grounds for the appeal, where there was an error or alleged abuse of discretion by the previous review authority (e.g., Commission, Historic Preservation Commission, Director, or other City official) in the consideration and action on the matter being appealed, and/or where the decision was not supported by the evidence on the record.
- ii. the specific error(s) made that nullifies the decision such as the lack of compliance with applicable standards; or
- iii. the specific alleged abuse of discretion by the previous review authority.

Appeals that fail to identify either of the above shall not be accepted as an official appeal and shall be returned to the appellant without further processing.

e. Submittal of Information in a Timely Manner. All information that the appellant or any person, entity or group interested in the appeal, wants considered during the appeal process shall be submitted no later than 48 hours prior to the hearing. Information submitted less than 48 hours prior to the hearing shall not be accepted and shall not be considerable at the hearing unless a majority of the quorum votes to accept the late documents.

1.0 PURPOSE AND APPLICATION

1.4 ADMINISTRATION OF DOWNTOWN CODE

1.4C2. Appeal Hearing. Appeal hearings for appeals that have been accepted for processing shall be conducted in accordance with the following requirements:

a. Report and Scheduling of Appeal Hearing. When an appeal has been accepted and filed for processing, the Director shall prepare a report on the matter, including all of the application materials in question, and schedule the matter for a public hearing by the appropriate review authority, identified in Section 1.4C.1a.

Whenever a public hearing is required to be set pursuant to this subsection, the Director shall set the time and place of the public hearing, which shall be within forty days after the initiation of the proceeding, order or other action which gives rise to the requirement.

b. Notice of Appeal Hearing. The Director shall give notice of the time, place, and subject matter of a public hearing for the appeal, at least ten days prior to the date set for the hearing. Errors in the giving of notice or the failure of any person to receive notice shall not invalidate any proceeding requiring notice. The Director shall ensure that notices comply with the following:

- i. Publication. By publication at least once in a newspaper of general circulation in the city.
- ii. Mailing. By mailing, through the United States mail:
 - a. To every person whose name and address appears on the last equalized County Assessment Roll as the owner of any property within the territory covered by the proceedings and within 1,000 feet of the exterior boundaries of such territory.
 - b. To every person filing with the Director a written request for notice with respect to an identified proceeding specified in such request.
 - c. To any person designated in the appeal to receive such notice.
- iii. Posting. By posting with a single notice all property which is the subject of the matter.

c Appeal Hearing Procedure.

- i. Hearing. The public hearing shall be heard at the place for which set and noticed, commencing at the time indicated, or as soon thereafter as the matter can be heard.
- ii. Continuance. Any hearing may be continued by a majority of the members present, or in the absence of a quorum shall be continued by the clerk or secretary of the hearing body, to a time and place certain, which shall be publicly announced, and no further notice shall be required.
- iii. Quorum. Four members shall constitute a quorum.
- iv. Rules of Procedure. The hearing body may establish any reasonable rules of procedure for the conduct of such hearings as are consistent with this chapter and may require any person who is to testify before it to be placed under oath or affirmation.

d. Decisions. Except as provided by any specific procedure, upon the close of an appeal hearing, or at such other time as a matter is presented to it for action, the failure of the Council or Commission to enact, grant, approve, or recommend the same shall constitute a denial of the appeal unless action on the matter is continued for presentment to a later date.

e. Notice of Decisions. Following the final decision on an appeal of an application for a permit or other approval required by the Downtown Code, the City shall provide notice of its final decision to the appellant, and to any person who specifically requested notice of the City’s final action.

- i. The notice of the final decision shall contain applicable findings, conditions of approval, and any necessary reporting/monitoring requirements deemed necessary to mitigate any impacts and protect the public convenience, health, interest, safety, or general welfare of the City.
- ii. All notices of decisions on appeals shall be published or mailed within seven days after the decision is made.
- iii. All notices of decisions on appeals shall be published and mailed pursuant to Section 1.4C.2b.

1.0 PURPOSE AND APPLICATION

1.4 ADMINISTRATION OF DOWNTOWN CODE

1.4D. Administrative Deviation Property subject to the Downtown Code is eligible for requests to deviate from certain standards provided that the Director is provided with sufficient information with which to support the request and make the required findings.

1.4D1. Administrative Deviation. Table 1B identifies two categories of deviation available from certain development standards for which the Director may grant a deviation up to the amount identified. Each of the identified development standards is unique in its role on a site or building and therefore, has been allocated the appropriate maximum amount of administrative deviation. Administrative deviations are not subject to appeal. For property within the Downtown Code boundaries, these administrative deviation provisions replace FMC 12-407 'Minor Deviations'.

- a. Basic (up to 15 percent).** When the Director determines that a request for administrative deviation is for a development standard identified in Table 1B, the Director shall first determine if the request involves qualifying 'green' features as identified in Section 10.4H. If the request contains no qualifying green or public art features, the request shall be processed as a 'basic' administrative deviation. The Director may grant the requested deviation from the applicable standard(s), up to the amount specified for 'basic' deviations in Table 1B provided that the request is consistent with the applicable required findings;
- b. Green Building (up to 20 percent).** When the Director determines that a request for administrative deviation is directly related to a proposed feature of the site or building that involves green features per Section 10.4H, the Director may grant a deviation from the applicable development standard(s) by up to the amount specified in Table 1B provided that the request is consistent with the applicable required findings;

TABLE 1B ADMINISTRATIVE DEVIATION		
DEVELOPMENT STANDARD	MAX DEVIATION	
	Basic	Green
A. Lot Width / Depth (f - findings 5.3)	15%	20%
B. Building Placement (f - findings 4.3)		
Front Setback	15%	20%
Side Street Setback	15%	20%
Interior Side Setback	10%	20%
Rear Setback	15%	20%
Alley Setback	15%	20%
C. Building Size (f - findings 5.3)		
Building Height (total feet [a])	10%	20%
Volume / Massing (total for bldg)	10%	20%
Building Length	15%	20%
D. Parking Placement (f - findings 4.3)		
Front Setback	15%	20%
Side Street Setback	10%	15%
Interior Side Setback	10%	15%
Rear Setback	15%	20%
E. Open Space Acreage (f - findings Section 8.3)	15%	20%
F. Height of Fences, Walls (f - findings Section 10.1.D)		
Within Front Setback	10%	15%
Not within Front Setback	15%	20%
G. Street Section (f - findings Section 9.3)	10%	15%

Key to Table 1B

15%

Maximum amount of deviation from the standard that may granted

X

Deviation not applicable for the particular standard

f

Subject to compliance with the identified 'Required Fiindings' of the Downtown Code;

No deviation from a standard shall exceed the amount identified in Table 1B.

Upon determination by the Director, or designee, that the request for an administrative modification exceeds the limit(s) authorized by Table 1B, such request shall be deemed ineligible for a modification. The application shall be terminated.

a

Excluding allowed architectural features that may project above the maximum height for the building, as specified in the development standards for the applicable zoning district.

1.0 PURPOSE AND APPLICATION

1.5 REQUIRED FINDINGS

1.5A. Required Findings to Approve Applications. Applications and requests for administrative deviation subject to the Downtown Code shall comply with the following general findings:

- 1. The application complies with all applicable provisions of the Downtown Code;
- 2. The application satisfies the required findings in each applicable Section of the Downtown Code as identified in Table 1B;
- 3. Administrative Deviation has not been previously granted to the subject property for any of the current requests.

TABLE 1C

Table 1C illustrates the ministerial applications to be submitted per the Downtown Code and the required action(s) by an applicant. This is a summary and subject to the actual processing and review by the City of Fresno.

Ministerial Applications		
Zone Clearance for:	Site Plan for:	Facade Modification/Renovation
<div><div><div><div><div>M1</div><div>• for a Business License to open a business</div></div><div><div>M2</div><div>• for a Building Permit to construct a tenant improvement. If historic resource see process D3.</div></div></div></div><div>IDENTIFY applicable zoning district in Figure 2</div><div>IDENTIFY if proposed land use is allowed in Table 3</div><div>If allowed in zoning district, apply all identified requirements of Table 3</div><div>APPROVED by DARM</div><div>Applicant can now obtain Business License</div></div>	<div><div><div><div><div>M4</div><div>• to expand an existing building(s). If historic resource see process D3</div></div><div><div>M5</div><div>• to construct a new building(s)</div></div></div></div><div>IDENTIFY applicable zoning district in Figure 2</div><div>IDENTIFY development standards in applicable zoning district</div><div>SELECT from allowed building type(s) in Section A.2 of applicable zoning district development standards</div><div>SELECT from allowed frontage type(s) in Section A.3 of the applicable zoning district development standards</div><div>DESIGN project per applicable standards</div><div>Option: Submit Preliminary Design to DARM for initial compliance review</div><div>SUBMIT APPLICATION AND PLANS to DARM for processing</div><div>APPROVED by DARM if in compliance with applicable development standards, Section 5.0 and Section 6.0</div><div>Applicant can now apply for a zone clearance to submit CD's</div></div>	<div><div><div><div><div>M6</div><div>(max 1 building per application)</div></div><div><div></div><div>• to modify or renovate an existing façade. If historic resource see process D3</div></div></div></div><div>IDENTIFY applicable zoning district in Figure 2</div><div>IDENTIFY development standards in applicable zoning district</div><div>SELECT from allowed frontage type(s) in Section A.3 of the zoning district development standards</div><div>DESIGN façade modification/renovation per applicable standards of zoning district and Section 6.0</div><div>Option: Submit Preliminary Design to DARM for initial compliance review</div><div>SUBMIT APPLICATION AND PLANS to DARM for processing</div><div>APPROVED by DARM if in compliance with applicable development standards and Section 6.0</div><div>Applicant can now file CD's with Building Department to obtain a building permit.</div></div>

APPLICATION AND APPROVAL PROCESS

TABLE 1C

Ministerial Applications		
Sign Permit (Types A-H)	Temporary Use Permit	LLA / Voluntary Lot Merger
<p>M7 (max 1 building per application)</p> <ul style="list-style-type: none">to construct a new sign (Types A-H)to modify or renovate an existing sign. If historic resource see process D3 <p>IDENTIFY applicable zoning district in Figure 2</p> <p>SELECT from allowed signage type(s) in Table 7</p> <p>DESIGN sign or modification/renovation per applicable standards of Table 7</p> <p>Option: Submit Preliminary Design to DARM for initial compliance review</p> <p>SUBMIT APPLICATION AND PLANS to DARM for processing</p> <p>APPROVED by DARM if in compliance with Section 7.0</p> <p>Applicant can now file CD's with Building Department if a building/electrical permit is required.</p>	<p>M8 • to operate a seasonal or temporary land use</p> <p>IDENTIFY applicable zoning district in Figure 2</p> <p>IDENTIFY if proposed land use is allowed in Table 3 If allowed in zoning district, apply all identified requirements of Table 3</p> <p>APPROVED by DARM</p> <p>Applicant can now setup and operate the temporary land use as specified.</p>	<p>M10 • to adjust an existing lot line • to voluntarily merge two or more parcels</p> <p>IDENTIFY applicable zoning district in Figure 2</p> <p>SELECT from allowed building type(s) per Section A.2 of the applicable zoning district</p> <p>IDENTIFY lot width, depth requirements in Table 5</p> <p>PREPARE Plan per requirements of Table 5</p> <p>SUBMIT Plan to DARM for review and processing</p> <p>APPROVED by DARM if in compliance with applicable development standards and Section 5.0</p> <p>Applicant can now file the approval with the County Recorder</p>
	<div><div>Sidewalk Dining Permit</div><p>M9 • to establish and operate outdoor dining within a public sidewalk or open space</p><p>IDENTIFY applicable zoning district in Figure 2</p><p>IDENTIFY if proposed land use is allowed in Table 3 If allowed in zoning district, apply all applicable requirements of Section 10.3B</p><p>APPROVED by DARM</p><p>Applicant can now setup and operate the sidewalk dining as specified.</p></div>	

TABLE 1C, CONT'D

Table 1C illustrates the discretionary applications to be submitted per the Downtown Code and the required action(s) by an applicant. This is a summary and subject to the actual processing and review by the City of Fresno.

Discretionary Applications		
Sign Permit (Types I and J)	Administrative Deviation	Historic Resource [1]
<p>D1. (max 1 building per application)</p> <ul style="list-style-type: none">• to construct a new sign (Types I and J)• to modify or renovate an existing sign type I or J. <p>If historic resource see process D2</p> <p>IDENTIFY applicable zoning district in Figure 2</p> <p>SELECT from allowed signage type(s) in Table 7</p> <p>VERIFY minimum building stories required for Type I and minimum site frontage for Type J</p> <p>If eligible per applicable requirements, PREPARE request for Administrative Deviation stating the following:</p> <p>DESIGN sign or modification/renovation per applicable standards of Table 7</p> <p>Option: Submit Preliminary Design to DARM for initial compliance review</p> <p>SUBMIT APPLICATION AND PLANS to DARM for processing</p> <p>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</p> <p>REVIEW by Director per applicable findings required in Section 7.3</p> <p>DECISION by Director</p> <p>Applicant informed of decision.</p> <p>If approved, applicant can now file CD's with Building Department if a building/electrical permit is required.</p>	<p>D2. • to request deviation from a development standard per Table 1B. If historic resource see process D3. Deviations not allowed by Table 1B shall be subject to the process for Variances.</p> <p>IDENTIFY applicable zoning district in Figure 2</p> <p>IDENTIFY standard(s) for which the deviation(s) is being requested</p> <p>IDENTIFY if Table 1B allows the particular standard(s) as eligible for administrative deviation</p> <p>If eligible per Table 1B, PREPARE request for Administrative Deviation stating the following:</p> <p>a) why the request is necessary and what results from applying the standard without the requested deviation, and</p> <p>b) how the request is consistent with the intent of the sections of the Downtown Code involved in the request.</p> <p>SUBMIT application to DARM for review and decision.</p> <p>REVIEW by Director per applicable findings required in Table 1B</p> <p>DECISION by Director</p> <p>Applicant informed of decision.</p>	<p>D3 • to construct a tenant improvement in an existing historic resource</p> <ul style="list-style-type: none">• to construct or modify a sign on a historic resource• to expand an existing historic resource(s)• to construct a new building on a site that contains a historic resource <p>IDENTIFY applicable zoning district in Figure 2</p> <p>IDENTIFY development standards in the applicable zoning district</p> <p>As applicable, IDENTIFY (for existing), SELECT (for new) from:</p> <p>a) allowed building type(s) in Section A.2 of the applicable zoning district development standards</p> <p>b) allowed frontage type(s) in Section A.3 of the applicable zoning district development standards</p> <p>c) allowed signage type(s) in Table 7 for the applicable zoning district</p> <p>DESIGN project per applicable standards</p> <p>Option: Submit Preliminary Design to DARM for initial compliance review</p> <p>SUBMIT APPLICATION AND PLANS to DARM for processing</p> <p>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</p> <p>CEQA DOCUMENTATION (as applicable) prepared by DARM</p> <p>HPC REPORT prepared by Director for presentation at HPC public hearing</p> <p>REVIEW by HPC</p> <p>DECISION by HPC</p> <p>If approved, applicant can now prepare and submit CD's for Zone Clearance</p> <p>[1] As defined by FMC 12-1601</p>

APPLICATION AND APPROVAL PROCESS

TABLE 1C

Discretionary Applications		
CUP	Infill Plan	Amendments to DT Code
<div><div><div><div><div>D4</div><div>• to establish a land use identified in Table 3 as requiring a CUP</div></div></div><div>IDENTIFY applicable zoning district in Figure 2</div><div>Option: Submit Preliminary Design to DARM for initial compliance review</div><div>SUBMIT CUP application to DARM for review and processing</div><div>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</div><div>CEQA DOCUMENTATION (as applicable) prepared by DARM</div><div>PUBLIC REVIEW of application set by Director to receive feedback and comments through community workshops per 1.3C2.a.(iv)</div><div>REVIEW by Director</div><div>DECISION by Director</div><div>If approved, applicant can now prepare and submit CD's for Zone Clearance</div></div></div>	<div><div><div><div><div>D5</div><div>• to adjust the zoning district boundaries for a site of at least 10 acres</div><div>• to introduce a new zoning district to a site of at least 10 acres</div></div></div><div>IDENTIFY applicable zoning district(s) in Figure 2</div><div>PREPARE application per requirements of applicable zoning district(s) to show blocks, streets, open space(s) and adjusted or new zoning district(s)</div><div>SUBMIT application to DARM for review and processing</div><div>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</div><div>PUBLIC REVIEW of application set by Director to receive feedback and comments through community workshops (per 1.3C.2a)</div><div>CEQA DOCUMENTATION (as applicable) prepared by DARM</div><div>PC REPORT prepared by Director for presentation at PC public hearing per 1.3C1a(iv)</div><div>REVIEW and RECOMMENDATION by PC</div><div>REVIEW and DECISION by CC</div><div>If approved, applicant can now prepare and submit CD's for Zone Clearance</div></div></div>	<div><div><div><div><div>D6</div><div>• to change the text, a table(s) or diagram(s) of the Downtown Code</div></div></div><div>PREPARE application per requirements of Section 1.3C1a</div><div>SUBMIT application to DARM for review, processing</div><div>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</div><div>CEQA DOCUMENTATION (as applicable) prepared by DARM</div><div>PC REPORT prepared by Director for presentation at PC public hearing per 1.3C1a(v)</div><div>REVIEW and RECOMMENDATION by PC</div><div>REVIEW and DECISION by CC</div><div>If adopted, applicable portion(s) of Downtown Code are amended to reflect decision.</div><div><div><div><div><div>D7</div><div>• to change a zoning district boundary (Figure 2) and/or Figure 9 of the Downtown Code</div></div></div><div><div><div>D8</div><div>• to change a zoning district (Figure 2)</div></div></div></div><div>PREPARE application per requirements of Section 1.3C1b</div><div>SUBMIT application to DARM for review, processing</div><div>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</div><div>CEQA DOCUMENTATION (as applicable) prepared by DARM</div><div>PC REPORT prepared by Director for presentation at PC public hearing per 1.3C1b(viii)</div><div>REVIEW and RECOMMENDATION by PC</div><div>REVIEW and DECISION by CC</div><div>If adopted, applicable portion(s) of Figure 2 and Figure 9 are amended to reflect decision.</div></div></div></div>
Subdivision		
<div><div><div><div><div>D9</div><div>• to generate less than 5 parcels from existing parcel</div></div></div><div>IDENTIFY applicable zoning district(s) in Figure 2</div><div>IDENTIFY block and street standards for zoning district in Tables 9A and 9B</div><div>PREPARE application per requirements of applicable zoning district(s) to show blocks, streets, open space(s) and adjusted or new zoning district(s), in compliance with requirements for content in FMC 12-1004.</div><div>Option: Submit Preliminary Design to DARM for initial compliance review</div><div>SUBMIT application to DARM for review, processing</div><div>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</div><div>CEQA DOCUMENTATION (as applicable) prepared by DARM</div><div>PC REPORT prepared by Director for presentation at PC public hearing per FMC 12-1005</div><div>REVIEW and DECISION by PC</div><div>If approved, applicant can now prepare and submit Final Map for processing</div></div></div>	<div><div><div><div><div>D10</div><div>• to generate 5 or more parcels from existing parcel</div></div></div><div>IDENTIFY applicable zoning district(s) in Figure 2</div><div>IDENTIFY block and street standards for zoning district in Tables 9A and 9B</div><div>PREPARE application per requirements of applicable zoning district(s) to show blocks, streets, open space(s) and adjusted or new zoning district(s), in compliance with requirements for content in FMC 12-1004.</div><div>Option: Submit Preliminary Design to DARM for initial compliance review</div><div>SUBMIT application to DARM for review, processing</div><div>REVIEW by DRC for compliance with applicable standards and to recommend modifications to application</div><div>CEQA DOCUMENTATION (as applicable) prepared by DARM</div><div>PC REPORT prepared by Director for presentation at PC public hearing per FMC 12-1005</div><div>REVIEW and RECOMMENDATION by PC</div><div>REVIEW and DECISION by CC</div><div>If approved, applicant can now prepare and submit Final Map for processing</div></div></div>	<div><div><div><div><div>D11</div><div>• to deviate from a Downtown Code standard beyond that allowed by Section 1.4D 'Administrative Deviation' based on site's special circumstances</div></div></div><div>IDENTIFY applicable zoning district(s) in Figure 2</div><div>IDENTIFY standard(s) for which variance is being requested</div><div>PREPARE request for Variance stating the following:<div><div><div>a) why the request is necessary and what results from applying the standard,</div><div>b) how the request is consistent with the intent of the sections of the Downtown Code involved in the request.</div></div></div><div>SUBMIT application to DARM for review, decision.</div><div>REVIEW by Director per applicable findings required in FMC 12-405A.1</div><div>DECISION by Director</div><div>Applicant informed of decision.</div></div></div></div>

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