

City of Fresno, Planning & Development Department

Design Guidelines for “Infill” Parcels of Land

July 14, 2005

The following design guidelines are intended to define the minimum standards for single-family residential homes on “infill” parcels of land. These guidelines apply to all new homes in established neighborhoods on infill parcels. Infill parcels are parcels that have either been bypassed, are vacant, and/or are parcels that are largely surrounded by urban uses.

Overall, design measures should include variations of the building footprints with indentations, projections and offsets. There shall be variations in the exterior walls by utilizing a variety of materials, colors, fenestration and features such as balconies, bay windows, verandas and entryways and varied roof forms with slopes, ridges and valleys. Furthermore, design measures should be utilized to avoid large scale massive and repetitive “institutional” visual appearances, and to provide a more varied, small scale appearance. The following guidelines shall be incorporated, to the extent feasible, into each proposed project, unless determined by the Planning and Development Department Director (Director) to be inappropriate. While these guidelines are intended to provide some flexibility, all other applicable city policies, ordinances, and regulations shall be complied with.

A. All building plans shall provide the following information:

- | | | |
|---|--------------------------|--|
| • Property lines & easements | • Legal description | • Address |
| • APN Number | • Sidewalk(s) | • Drive approach |
| • Utility pole(s)/fire hydrant(s) | • Setbacks (dimensioned) | • Building height |
| • North arrow and scale | • Lot area | • Building materials |
| • Proposed building area (include all buildings, delineated by first and second floors) | • Proposed lot coverage | • Existing and proposed improvements (i.e. paving, curb, gutter & sidewalk dimensioned to the center line of the street) |

B. Compatibility Report

The 2025 Fresno General Plan contains goals, objectives and policies that call for the preservation and revitalization of neighborhoods and the improvement of the city’s visual image. This will be attained through design standards aimed at site and building design that will avoid massive and repetitive appearances while simultaneously adding visual interest.

I. Submittal Requirements

- a. Review and submit the following information with all infill plans.
 - i) Color photographs of the subject property and the immediate surrounding area taken from each property line. Each photograph shall be clearly labeled (i.e. location and orientation).
 - ii) Itemized list of building materials to be used for the project (i.e. roofing, siding, etc.).

- iii) Any supporting documents from surrounding property owners or community groups (required in some areas and optional in others).

C. Guidelines

I. Building Placement and Scale

- a. Infill development shall reinforce the community character and shall respect the neighborhood pattern, including setbacks, orientation, and scale (i.e. height, mass, etc.).
- b. Two-story homes shall be harmonious with the existing neighborhood and shall be built to “human scale.”
- c. On multiple abutting parcels there shall be appropriate variation in elevation style.
- d. On corner parcels, the proposed home shall respect the streetscape and shall be oriented in a similar fashion as neighboring properties. However, the elevation facing the side street shall contain decorative features (i.e. projections) to stimulate visual interest and to add character.

II. Entrances/Front Porches

- a. The main entrance (i.e. front door) shall be visible from the public right-of-way and shall be prominently displayed, unless otherwise approved by the Director.
- b. On a block where there is a prevailing pattern of front porches for existing homes, new homes shall have a front porch.
- c. All porches shall be consistent with the style of the proposed home and the neighborhood.
- d. For parcels greater than 25 feet in width, the porch shall have a minimum dimension of seven feet (width) by five feet (depth).
- e. For parcels 25 feet in width or less, the porch shall have a minimum dimension of five feet by five feet.
- f. Vertical supports (i.e. posts, columns) shall be architecturally compatible with the building and shall be no less than six inches in diameter (see Figure 1). For craftsman style architecture, the lower four feet of the base shall be no less than 12 square inches.

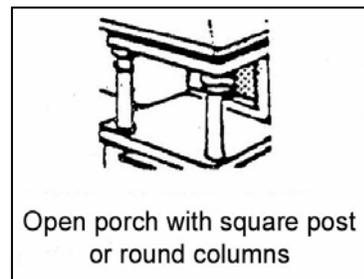
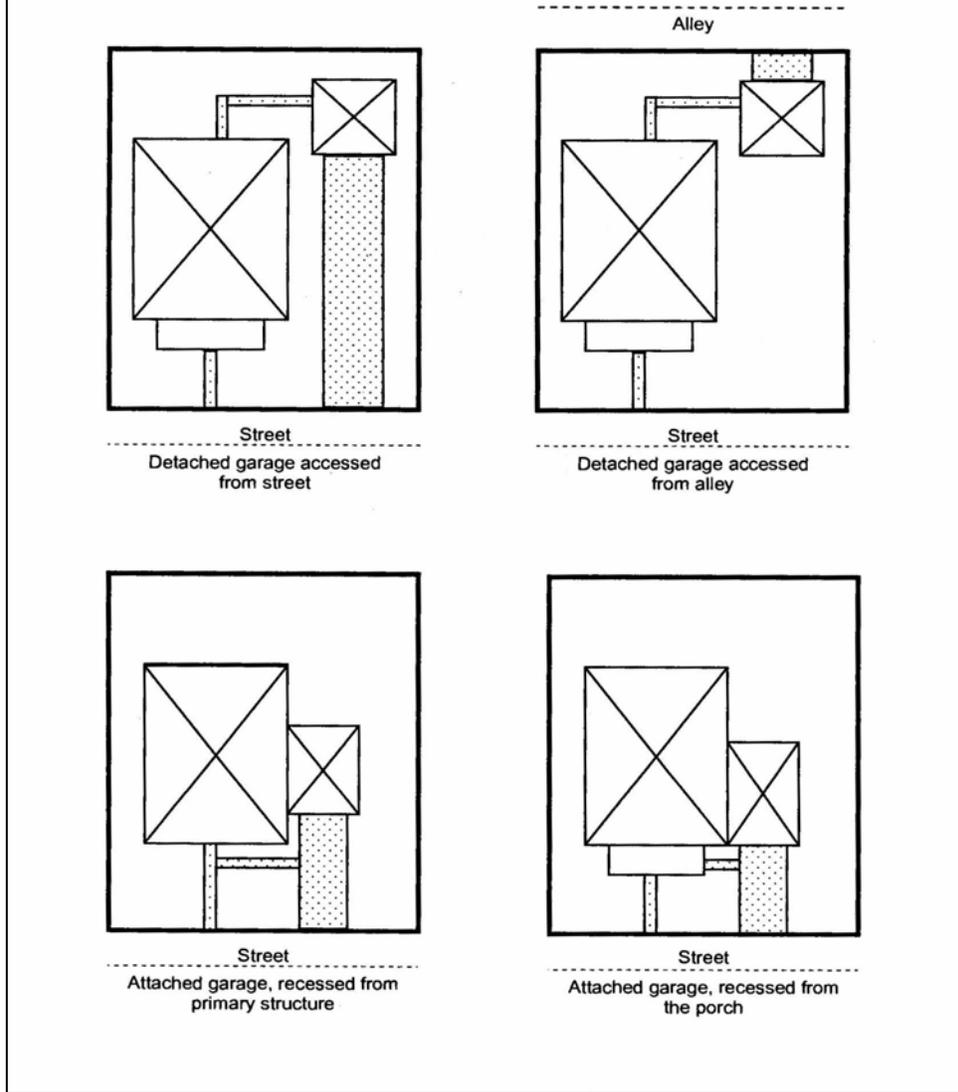


Figure 1

III. Pedestrian and Vehicular Access/Garages

- a. Garages shall not dominate the streetscape.
- b. Should the proposed garage be attached, it shall be recessed a minimum of five feet from main structure. Should a porch be provided, as defined in Section II above, the garage shall be recessed a minimum five feet from the vertical support closest to the front property line (see Figure 2).
- c. On a block where there is a prevailing pattern of residences that access their garage via an alley, new homes shall be required to access their garage from the alley unless otherwise approved by the Director (see Figure 2).
- d. Should the garage be accessed via the alley and no driveway approach/driveway is provided from the front yard, a pedestrian walkway shall be provided from the public right-of-way (i.e. street) to the residence. Pedestrian paths shall be delineated by stamped concrete, paving stones, brick, flagstone, or other paving material to clearly demarcate the path. Identify path and material on the plan (see Figure 2).
- e. Residences fronting on major streets (i.e. collector, arterials, etc.) shall have a detached garage, or an attached garage located at the rear of the lot (see Figure 2).
- f. Garages shall be similar to the home in terms of design, materials and color.
- g. The width of the garage doors (should the garage be attached to the residence) when facing the street are as follows:
 - i. Should a lot be 60 feet or greater in width, the maximum width of the garage door shall not exceed 40 percent of the total width of the structure.
 - ii. Should a lot be between 50 feet but less than 60 feet in width, the maximum width of the garage door shall not exceed 50 percent of the total width of the structure.
 - iii. For lots less than 50 feet in width, the maximum visible garage door shall not be greater than 12 feet in width, unless otherwise approved by the Director.
- h. On corner parcels, drive approaches shall be placed the furthest distance possible from the intersection

Figure 2



- i. Side entry garages (i.e. swing, side loading, etc.) and tandem garages (i.e. one behind the other, however no more than two cars may be parked behind one another) are encouraged. Side entry garages shall not be counted towards the garage door widths described above and shall have walls with decorative features facing the public right-of-way (see Figure 3).

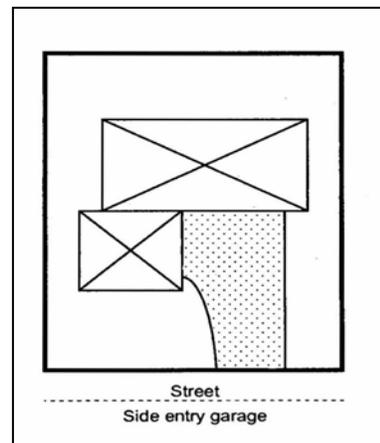


Figure 3

- j. If a carport is proposed it shall be similar to the house in terms of design, materials and color and shall include the following:
 - i. Roof pitch shall be compatible to home.
 - ii. Supports shall be at least six inches in diameter.

IV. Visual Image

- a. More than one roof gable or hip must be visible from the public right-of-way.
- b. Roof-mounted mechanical equipment shall be located below the roof ridge line and shall not be visible from the public right-of-way or shall be placed on the ground outside of required side yard setbacks.
- c. Include color and materials schedule on elevations. A minimum of two colors shall be provided.
- d. Plywood (i.e. T1-11) siding is prohibited.
- e. Exterior lighting fixtures shall be complementary to the architectural style of the house and shall be depicted on elevation plans.
- f. There shall be a minimum of two windows facing the public right-of-way. Credit for up to one of the required windows may be given for decorative windows on doors, garage doors and/or dormers.
- g. There shall be no "blank" walls. All sides shall contain design features and variation.
- h. Roof mounted vents shall be painted to match the color of the roof.
- i. Fascia boards shall be a minimum of two inches by eight inches.

V. Landscaping

- a. Landscaping shall be installed in all front yards prior to final occupancy. Depict landscaping, both existing and proposed on site plan.
- b. A minimum of 10 percent of all front yards (excluding driveways) shall be developed with planter areas other than turf. These areas shall contain shrubs, plants, flowers, ground cover, etc. Depict on the site plan.
- c. Per Section 12-306-N-24 of the Fresno Municipal Code, all single family residences must provide a minimum of two medium size trees (30 to 60 feet at maturity and a minimum of 15-gallons). Depict trees, including species, on the plan.
- d. Should there be an existing park strip, there shall be one medium size tree for every 60 feet of linear street frontage. This tree may count for one tree for the requirement above.

- e. All new single family residences shall provide automatic irrigation systems for the front yard. Depict on the site plan *or* separate landscape plan.
- f. All yards shall comply with the water efficient landscape standards in accordance with Section 12-306-N-23 of the Fresno Municipal Code.

VI. Fencing

- a. Should a fence be proposed, it shall be constructed of one of the following materials (depict location and material on the plan).
 - Wood
 - Masonry
 - Vinyl
 - Wrought iron
 - Stucco
 - Other materials, as approved by the Director
- b. Fence height and location shall comply with Section 12-306-H of the Fresno Municipal Code.
- c. Chain link fences shall not be visible from the public right-of-way.

VII. Menu of features (note: each home must incorporate a minimum of five features from the following list)

- a. Vinyl, wood, and/or rock and brick veneer siding
- b. Garage doors with decorative features (including windows)
- c. Side entry (i.e. swing) garages or tandem garages. Under this scenario, the garage door shall be perpendicular with the public right-of-way.
- d. Window types and styles consistent with the neighborhood
- e. Decorative windows - sidelights, fan windows, bay windows, single and double hung windows (see Figure 4)
- f. Window trim – polyfoam with stucco, shutters, wood and shall not be flush with the pane of the home (minimum of one inch by four inches)
- g. Decorative attic vents
- h. Decorative front doors (see Figure 5)
- i. Dormers (see Figure 6)
- j. Cornices
- k. Verandas (see Figure 7)
- l. Decorative stem walls
- m. Decorative columns
- n. A pedestrian walkway from the public right-of-way (i.e. street) to the residence. Pedestrian paths shall be delineated by stamped concrete, paving stones, brick, flagstone, or other paving material (other than a conventional concrete or painted walkway) to clearly demarcate the path and to provide a safe walking area. Identify path material on the plan.
- o. A decorative driveway made of stamped concrete, paving stones, brick, flagstone, or other paving material (other than conventional concrete driveways or painted driveways).
- p. A porte-cochere over the driveway leading to a detached garage. The structure must comply with all applicable policies.
- q. Rain gutters.

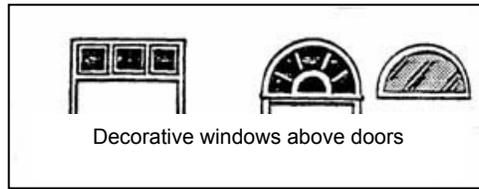


Figure 4

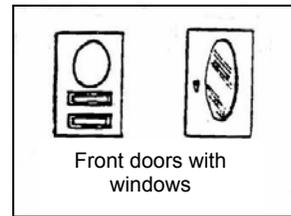


Figure 5

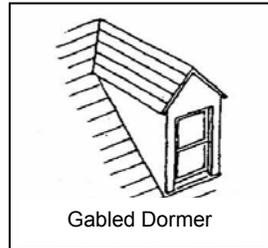


Figure 6

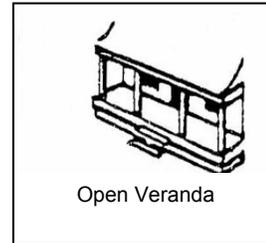


Figure 7

D. No Fee Minor Deviation

A no fee minor deviation shall be granted pursuant to Section 12-407 of the Fresno Municipal Code. A minor deviation allows a *reduction* in the space between buildings and yard space by 10 percent, or an *increase* in height limitations or lot coverage by no more than 10 percent.

Provide the following on the site plan:

Site Summary	
Address:	XXXX XXXXX Street/Avenue/Drive, etc.
APN No.:	XXX-XXX-XXX
Legal description:	XXXXXXXXXXXXXXXXXXXXXXX
Lot area:	Gross: XX,XXX square feet (.XX acres) Net: XX,XXX square feet (.XX acres)
Existing Land Use Designation Community Plan/Specific Plan Area	XXXXX Density Residential Planned Land Use XXX Community Plan/XXX Specific Plan Area
Existing Zoning:	R-X <i>(note: include conditions of zoning, if applicable)</i>
Existing use:	Vacant
Proposed use:	Single Family Residence
Proposed no. of buildings	XX buildings
Proposed Building Height (of each proposed structure)	XX Feet
Proposed SFR =	Living Area = X, XXX square feet Garage/carport* = XXX square feet Porch** = XXX square feet Patio** = XXX square feet
Proposed lot coverage =	XX% (XX% permitted) Buildings: XX,XXX square feet Garages/carports: X,XXX square feet Porch/Patio: X,XXX square feet Total: XX,XXX square feet
Landscaping =	Front yard landscape area: XXX square feet Size of planter area: XXX square feet
Building materials & paint colors (i.e. roof, walls, etc.):	
<i>Include a north arrow, scale and a vicinity map on the Site Plan.</i>	