



# REPORT TO THE PLANNING COMMISSION

AGENDA ITEM NO.  
COMMISSION MEETING 10/07/15

October 7, 2015

  
DEPARTMENT DIRECTOR

FROM: MIKE SANCHEZ, Assistant Director  
Development Services Division 

THROUGH: BONIQUE EMERSON, AICP, Planning Manager   
Development Services Division

BY: STAFF   
Development Services Division

SUBJECT: CONSIDERATION OF CONDITIONAL USE PERMIT APPLICATION NO. C-14-093 AND RELATED ENVIRONMENTAL ASSESSMENT NO. C-14-093

## RECOMMENDATION

Staff recommends that the Planning Commission take the following actions:

1. **APPROVE** Environmental Assessment No. C-14-093, a determination that the proposed project is exempt from CEQA through a Class 32 Categorical Exemption
2. **CONSIDER AND TAKE ACTION on Conditional Use Permit Application No. C-14-093** which proposes the construction of a four story student housing project.

## EXECUTIVE SUMMARY

Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to a 0.79 acre property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximately 65,000 square-foot four story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and three stories of apartment living with two elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (High Density Multiple Family Residential). The R-4 zone district is consistent with the General Plan Land Use of Residential – High Density. As proposed, the project falls within the density requirements of the Residential – High Density planned land use (30-45 Dwelling Units/Acre).

**PROJECT INFORMATION**

PROJECT	Conditional Use Permit Application No. C-14-093 proposes the construction of an approximate 65,000 square-foot four story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and three stories of apartment living with two elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms).
APPLICANT	Sid Evans of Trilogy Properties LLC
LOCATION	1470 East Bulldog Lane, Fresno, Fresno County Located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium in Fresno. (APN: 418-163-06s) <b>(Council District 4, Councilmember Caprioglio)</b>
SITE SIZE	Approximately 0.79 net acres
PLANNED LAND USE	"Residential - High Density" land use designation approved for this site by the Fresno General Plan.
ZONING	R-4 ( <i>High Density Multiple Family Residential</i> )
PLAN DESIGNATION AND CONSISTENCY	The R-4 (High Density Multiple Family Residential) zone district is consistent with the General Plan Land Use of Residential – High Density.
ENVIRONMENTAL FINDING	This project is exempt under Section 32/Class 32 of the State of California Environmental Quality Act (CEQA) Guidelines.
PLAN COMMITTEE RECOMMENDATION	At the July 27, 2015 meeting the District 4 Plan Implementation Committee voted to deny the project.
STAFF RECOMMENDATION	Consider and Take Action on Conditional Use Permit Application No. C-14-093.

**BORDERING PROPERTY INFORMATION**

	<b>Planned Land Use</b>	<b>Existing Zoning</b>	<b>Existing Land Use</b>
<b>North</b>	Residential High Density	<b>R-4</b> <i>High Density Multiple Family Residential</i>	Fraternity Residential
<b>East</b>	Residential High Density	<b>R-4</b> <i>High Density Multiple Family Residential</i>	Fraternity Residential
<b>South</b>	Residential High Density	<b>R-4</b> <i>High Density Multiple Family Residential</i>	Multiple Family Residential
<b>West</b>	Residential High Density	<b>R-4</b> <i>High Density Multiple Family Residential</i>	Fraternity Residential

**ENVIRONMENTAL FINDING**

Section 15332/Class 32 exempts from the provisions of CEQA, construction of projects characterized as in-fill development meeting the following conditions: a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, b) the proposed development occurs within city limits on a project site of no more than five acre and is substantially surrounded by urban uses, c) the project site has no value as habitat for endangered, rare or threatened species, d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and e) the site can be adequately served by all required utilities and public services.

This site is located within the City limits and is consistent with the Fresno General Plan designation, policies, and zoning. The existing R-4 zone district is consistent with the "Residential – High Density" land use designation approved for this site by the Fresno General Plan, the Hoover Community Plan, and the Fresno Yosemite International Airport Land Use Compatibility Plan. The proposed development occurs on a project site of approximately 0.79 acres, which is less than the five acre maximum, and is substantially surrounded by urban uses. The site has no value as habitat for endangered, rare or threatened species and can be adequately served by all required utilities and public services. No adverse environmental impacts will occur as a result of the proposed project. None of the exceptions to Categorical Exemptions set forth in the CEQA Guidelines, Section 15300.2 apply to this project. Furthermore, the proposed project is not expected to have a significant effect on the

environment. Accordingly, a categorical exemption, as noted above, has been prepared for the project.

## **BACKGROUND / ANALYSIS**

### **Project Description**

Conditional Use Permit Application No. C-14-093 proposes the construction of an approximate 65,000 square-foot four story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and three stories of apartment living with two elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms).

### **On-site Parking**

Per Fresno Municipal Code (FMC) Section 12-306-I-6-c, *"When there is more than one dwelling unit on a single lot there shall be one and one-half parking spaces for each dwelling unit, one of which shall be in a carport or garage. In the event that a requirement for one-half parking space results under this ratio, the parking space requirement shall be increased to the next highest whole number. "*

Therefore, for multi-family residential projects, there shall be one and one-half parking stalls for each unit.

$$30 \text{ units} \times 1.5 \text{ stalls per unit} = \underline{45 \text{ parking spaces required}}$$

The project is proposing 45 parking spaces and therefore meets the minimum code requirements for this type of development. A stacked parking with a mechanical lift system is proposed for 23 of the 45 parking stalls. In addition, there will be 20 short term bicycle stalls and 112 long term bicycle stalls located within a secure and enclosed area of the building.

### **Density**

Pursuant to Table 3-1 (Citywide Standards for Density and Development Intensity) of the Fresno General Plan and Section 12-403-B-1 (Zone District Consistency Table) of the FMC, the R-4 (High Density Multiple Family Residential) zone district is consistent with a Residential High Density planned land use designation. As proposed, the project falls within the density requirements of the high density planned land use (30-45 Dwelling Units/Acre). The proposed density cannot go over the density allowed within the High Density residential planned land use of 45 dwelling units per acre. The project proposes 30 multiple family dwelling units, which is equivalent to 37.9 units per acre, less than the 45 units per acre allowed. Therefore, the proposed project complies with the land use densities allowed under the Fresno General Plan, Hoover Community Plan, and Fresno Yosemite International Airport Land Use Compatibility Plan, and the FMC as it relates to density.

The property lies within the R-4 (High Density Multiple Family Residential) zone district, which has a maximum density of one (1) unit per 1,000 square feet, or 34 dwelling units. The proposed project complies with the R-4 zone district as well.

### **Lot Coverage**

The applicant has been granted a minor deviation to allow for a modification of development standards for a maximum 10 percent reduction in development standards (FMC Section 12-407). The applicant will utilize the minor deviation to bring the project into compliance with the maximum lot coverage requirements. The maximum lot coverage for the R-4 zone district is 60 percent. The application will utilize a ten percent deviation to allow the lot coverage to increase to 66 percent, as follows:

Building Coverage = 21,455 sq. ft.  
Site Area = 34,279 sq. ft.

$$\text{Lot Coverage} = \text{Building Coverage} / \text{Site Area}$$

21,455 sq. ft / 34,279 sq. ft. = 62.6 percent, therefore 2.6 percent over the allowed 60 percent. With a minor deviation of ten percent = 60% x 0.10 = 66% lot coverage allowed with minor deviation.

34,279 sq. ft. x 0.66 = 22,624 sq. ft. building coverage allowed with a minor deviation  
21,455 sq. ft. < 22,624 sq. ft.

Therefore, with a minor deviation, the lot coverage as proposed is acceptable.

### **The District 4 Plan Implementation Committee**

The District 4 Plan Implementation Committee met on October 27, 2014 to discuss the project design. At that meeting the committee recommended that the applicant meet with the Fresno State University Foundation, Alumni representatives, and other interested individuals to discuss the project. The Committee met again on April 27, 2015 with no action and further direction given to the applicant to meet with interested individuals on the project design. On July 27, 2015, the District 4 Plan Implementation Committee met again with the applicant and the interested parties. The discussion centered primarily on parking and building height concerns as well as the overall fit within the existing neighborhood. The Committee was not supportive of the project as proposed. At the July 27, 2015 meeting the District 4 Plan Implementation Committee voted to deny the project by a vote of 5-0-0.

### **Letters in Response to the Project**

There have been concerns from interested individuals about this project. Opposition letters have been received with the primary concerns as follows:

**Parking:** Parking is an issue in the surrounding area. Adding 30 units, with a total of 96 bedrooms, will add to an already impacted parking situation in the area.

Staff response: Parking requirements are found in FMC section 12-306-I-6-c, where 1.5 parking stalls are required for each unit. With 30 units proposed, the minimum required parking to meet code is then 45 parking stalls. The project is proposing 45 parking stalls, therefore meeting the minimum code requirement for parking. However, because the building will be used for student housing, there is a possibility that there will be many more cars owned by the tenants than parking spaces available.

**Traffic:** Added traffic would contribute to the existing traffic on Bulldog Lane, Barstow Avenue, and Sixth Street.

Staff response: Public Works Traffic Engineering has reviewed the proposed project and assessed the adjacent streets to ensure that the proposal, with conditions, would not have significant impacts on traffic and the surrounding community. After review by the Public Works Department, Traffic Engineering Division has determined that a Traffic Impact Study is not required.

**Compatibility:** The project is not compatible with the fraternity or sorority houses that currently exist adjacent to and within the immediate area of the site.

Staff response: The applicant has submitted an operational statement as part of the entitlement process, which indicates student housing. The property is zoned R-4, High Density Multi-family Residential, which allows the property to be developed as multi-family units. The Fresno General Plan has designated the site as Residential High Density. Therefore the project, as proposed, is consistent with the General Plan and is allowed in the R-4 zone district. However, it is true that this will be a new building type for the area and it may stand out in the neighborhood.

**Covenants, Conditions, and Restrictions:** In the document "Declaration of Restrictions" recorded with the county of Fresno on November 14, 1960, Covenants, Conditions, and Restrictions (CCR) limit development of the subject site to housing for student or faculty organizations associated with Fresno State College (sic).

Staff response: The City has reviewed the CCR's and has determined the City is not party to the CCR's and that the conditional use permit stands apart from the CCR's since there is a chance that the CCR's may be terminated or amended. Therefore the city cannot enforce development restrictions, in particular limiting housing to only student or faculty organizations associated with California State University, Fresno.

**Existing Neighborhoods, Use:** The proposed development does not respect the characteristics of the existing neighborhood.

Staff response: The Residential Development Capacity under the General Plan identifies established neighborhoods north of Shaw Avenue as areas for increased capacity for Multi-family developments (Chapter 1, Table 1-3). The properties immediately adjacent to the subject site are composed of student housing, in particular fraternities. While within the overall surrounding neighborhoods, there exists a combination of student and multi-family residential buildings.

**Existing Neighborhoods, bulk:** The proposed development does not respect the characteristics, in terms of bulk (mass) of the existing neighborhood, that being primarily two story buildings.

Staff Response: The Fresno General Plan supports and encourages higher density within the Residential – High Density Planned Land Use areas. In the Citywide Land Use Classification, Residential section of the General Plan, Multi-family residential buildings may be up to eight stories in height in High Density locations with garage spaces integrated into the ground level of the development. The subject site has been identified as Residential – High Density in the Fresno General Plan and therefore consistent with the Fresno General Plan. However, although the project is consistent with the Fresno General Plan, the proposed project, when constructed, may seem out of place in terms of bulk and massing. The General Plan policies are meant to be implemented by the new Development Code which has not been adopted. When the new Development Code is adopted, massing and interface standards will be mandated for these types of project. The current zoning code does not provide a mechanism for staff to impose these types of requirements.

**Height:** The height of a four story building does not match the surrounding two story buildings immediately adjacent or within the area.

Staff Response: While there are some three story structures located within the immediate area, the typical structures are two stories in height. The maximum height per FMC Section 12-214.5-D-1, as allowed for the R-4 zone district, is 60 feet. The maximum height proposed is 55 feet, and therefore meets the code.

**Aesthetics:** The aesthetics are not complimentary to the surrounding neighborhood.

Staff Response: The elevations of the proposed building contain modern and contemporary design elements enhancing the buildings appearance to fit in with the surrounding neighborhood aesthetics.

**El Dorado Neighborhood Plan:** The property is required to adhere to the goals and policies of the El Dorado Neighborhood Plan.

Staff response: The subject site is outside the area of the El Dorado Neighborhood Plan.

**Noise:** Noise from the fraternity houses will prompt for additional calls for police service to the Fresno Police Department.

Staff response: The Fresno Police Department has reviewed the project and has placed conditions to ensure that the proposal adheres to public safety and property management as conditions of approval. Further, in the city of Fresno excessive noise is prohibited by the Fresno Municipal Code, (Chapter 10, Article 1, Noise Regulations). Residents can call the Fresno Police Department when excessive noise causes a public nuisance.

## **LAND USE PLANS AND POLICIES**

### **Fresno General Plan, Hoover Community Plan and Fresno Yosemite International Airport Land Use Compatibility Plan**

The subject property is located within the boundaries of the Hoover Community Plan, the Fresno Yosemite International Airport Land Use Compatibility Plan and the Fresno General Plan. Applicable development standards and policies are listed in the Project Comments from Planning (Property Development Standards Checklist) and as follows:

The Hoover Community Plan contains policies and objectives to provide a framework for public and private actions which will guide the long-term balanced growth of the community.

The Hoover Community Plan has two primary objectives that relate to the proposed project:

- 1. To encourage growth in the Hoover Community which will improve the quality of the environment.*
- 2. To provide housing in the Hoover Community to accommodate the housing needs of a broad range of socio-economic groups.*

The Hoover Community Plan and the Fresno Yosemite International Airport Land Use Compatibility Plan states to "Plan for the diversity of residential types, densities and locations necessary to achieve the plan concept and accomplish the plan goals to provide for adequate housing opportunities, balanced urban growth, and efficient use of resources and public facilities."

### **Fresno General Plan**

The Fresno General Plan designates the subject site for Residential - High Density planned land use and provides objectives to guide in the development of these projects. The following are excerpts of such objectives:

**UF-1** Emphasize the opportunity for a diversity of districts, neighborhoods, and housing types.

**UF-1-a** Diverse Neighborhoods. Support development projects that provide Fresno with a diversity of urban and suburban neighborhood opportunities.

Commentary: Future growth will occur in a range of higher, medium, and lower densities in existing and new mixed-use urban centers, compact neighborhoods, and suburban areas. This policy also envisions making use of underutilized land, reducing long-term farmland conversion, supporting transit and multiple transportation modes, mixing and balancing compatible residential and retail uses in new growth areas, and existing infill areas to produce economic opportunities, jobs, housing options, recreation, and other choices.

**UF-1-d** Range of Housing Types. Provide for diversity and variation of building types, densities, and scales of development in order to reinforce the identity of individual neighborhoods, foster a variety of market-based options for living and working to suit a large range of income levels, and further affordable housing opportunities throughout the city.

**UF-1-e** Unique Neighborhoods. Promote and protect unique neighborhoods and mixed use areas throughout Fresno that respect and support various ethnic, cultural and historic enclaves; provide a range of housing options, including furthering affordable housing opportunities; and convey a unique character and lifestyle attractive to Fresnoans. Support unique areas through more specific planning processes that directly engage community members in creative and innovative design efforts.

**UF-1-f** Complete Neighborhoods, Densities, and Development Standards. Use Complete Neighborhood design concepts and development standards to achieve the development of Complete Neighborhoods and the residential density targets of the General Plan.

**UF-12** Locate roughly one-half of future residential development in infill areas—defined as being within the City on December 31, 2012— including the Downtown core area and surrounding neighborhoods, mixed-use centers and transit-oriented development along major BRT corridors, and other non-corridor infill areas, and vacant land.

**LU-2-a** Infill Development and Redevelopment. Promote development of vacant, underdeveloped, and re-developable land within the City Limits where urban services are available by considering the establishment and implementation of supportive regulations and programs.

**LU-5** Plan for a diverse housing stock that will support balanced urban growth, and make efficient use of resources and public facilities.

**LU-5-f** High Density Residential Uses. Promote high-density residential uses to support Activity Centers and BRT Corridors, and walkable access to transit stops.

### **Circulation Element Plan Policies and Major Street System Traffic Capacity**

The subject property is located on the north side of East Bulldog Lane between North Sixth Street and North Millbrook Avenue. Public Works Traffic Engineering has analyzed the project and has determined that the trips generated by the project are 15 A.M. peak hour trips and 19

P.M. peak hour trips and has concluded that a Traffic Impact Study is not required for this project. Impacts to the circulation system have been reviewed by the Public Works Department, Traffic Engineering Division and conditions have been placed on the project to insure the site is adequately served by the existing circulation system and has determined that the streets adjacent to the subject site will be able to accommodate the quantity and kind of traffic which may be potentially generated.

## CONCLUSION / RECOMMENDATION

The appropriateness of the proposed project has been examined with respect to its consistency with goals and policies of the Fresno General, the Hoover Community Plan, and the Fresno Yosemite International Airport Land Use Compatibility Plan. These factors have been evaluated as described above and by the accompanying environmental assessment. Upon consideration of this evaluation, staff recommends that the Planning Commission consider this staff report, proposed conditions of approval, the categorical exemption prepare, and public testimony in determining whether the proposed conditional use permit request should be granted or denied based on the findings discussed in Section 12-405-A-2 of the Fresno Municipal Code, which are as follows:

- a. All applicable provisions of this Code are complied with and the site of the proposed use is adequate in size and shape to accommodate said use, and accommodate all yards, spaces, walls, and fences, parking, loading, recycling areas, landscaping, and other required features; and,
- b. The site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use; and,
- c. The proposed use will not be detrimental to the public welfare or injurious to property or improvements in the area in which the property is located.

If the Planning Commission decides to grant approval of the proposed project, the Commission must find that there is substantial evidence in the administrative record to make these findings. Staff believes that there is substantial evidence to support findings A and B. Some of the evidence that could be considered by the Planning Commission in support of findings A and B are noted below.

- a. All applicable provisions of this Code are complied with and the site of the proposed use is adequate in size and shape to accommodate said use, and accommodate all yards, spaces, walls, and fences, parking, loading, recycling areas, landscaping, and other required features; and,
  - Conditional Use Permit Application No. C-14-093 will comply with all applicable codes and policies including parking, landscaping, walls, etc., given that the special conditions of project approval will ensure that all conditions are met prior to

the issuance of building permits and or commencement of land use activity. Furthermore, Conditional Use Permit Application No. C-14-093 meets all provisions of the Code and policies contained in the Fresno General Plan, the Hoover Community Plan, and the Fresno Yosemite International Airport Land Use Compatibility Plan. A minor deviation to the development standards for the proposed project is proposed for a reduction in the required lot coverage. This minor deviation has little impact on the project as the applicant is only requesting a 4.2 percent reduction in lot coverage and not the full 10 percent as allowed with the approved minor deviation. Furthermore, the applicant will be required to submit corrected exhibits, inclusive of all of the Conditions of Approval, which will ensure that all requirements are met.

- b. The site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use; and,
- Conditional Use Permit Application No. C-14-093 is located on the north side of East Bulldog Lane (Local), between North Sixth Street (Local) and North Millbrook Avenue (Local) which have been analyzed by the Public Works Department, Traffic Engineering Division. The Traffic Division reviewed the proposed project and assessed the adjacent streets to ensure that the proposal, with conditions, would not have significant impacts on traffic and the surrounding community. After review by the Public Works Department, Traffic Engineering Division has determined that no Traffic Impact Study is required.

Finding C, listed below, is critical in determining whether or not this project can be either approved or denied. Listed below for the Commission's consideration is a partial list of reasons that could support both approval or denial of the proposed project:

- c. The proposed use will not be detrimental to the public welfare or injurious to property or improvements in the area in which the property is located.

#### Support Finding

- No negative impacts on air, water, noise or traffic were identified in the environmental review of this project prepared by the City of Fresno Development and Resource Management Department.
- The proposed project will provide student housing in an area that is easily accessible to the Fresno State Campus.

#### Oppose Finding (taken from appellants' e-mail)

- The proposed building may be out of character in the area due to its size, bulk and massing.

- Adequate parking may not be provided given that there may be four students living in each unit which equates to 96 students with only 45 parking spaces. This could lead to visual blight in the area with an excessive number of cars parked on the street.

## Options

1. Approve making the following motion:
  - a. **APPROVE** the Class 32 categorical exemption prepared for Environmental Assessment (EA) No. C-14-093
  - b. **APPROVE Conditional Use Permit Application No. C-14-093** which proposes construction of a four story student housing project, subject to the Conditions of Approval dated October 7, 2015.
2. Deny making the following motion:
  - a. **DENY** Conditional Use Permit Application No. C-14-093 requesting authorization to construct a four story student housing project, determining that finding C found in Section 12-405-A-2 of the Fresno Municipal Code cannot be made based on substantial evidence in the record.

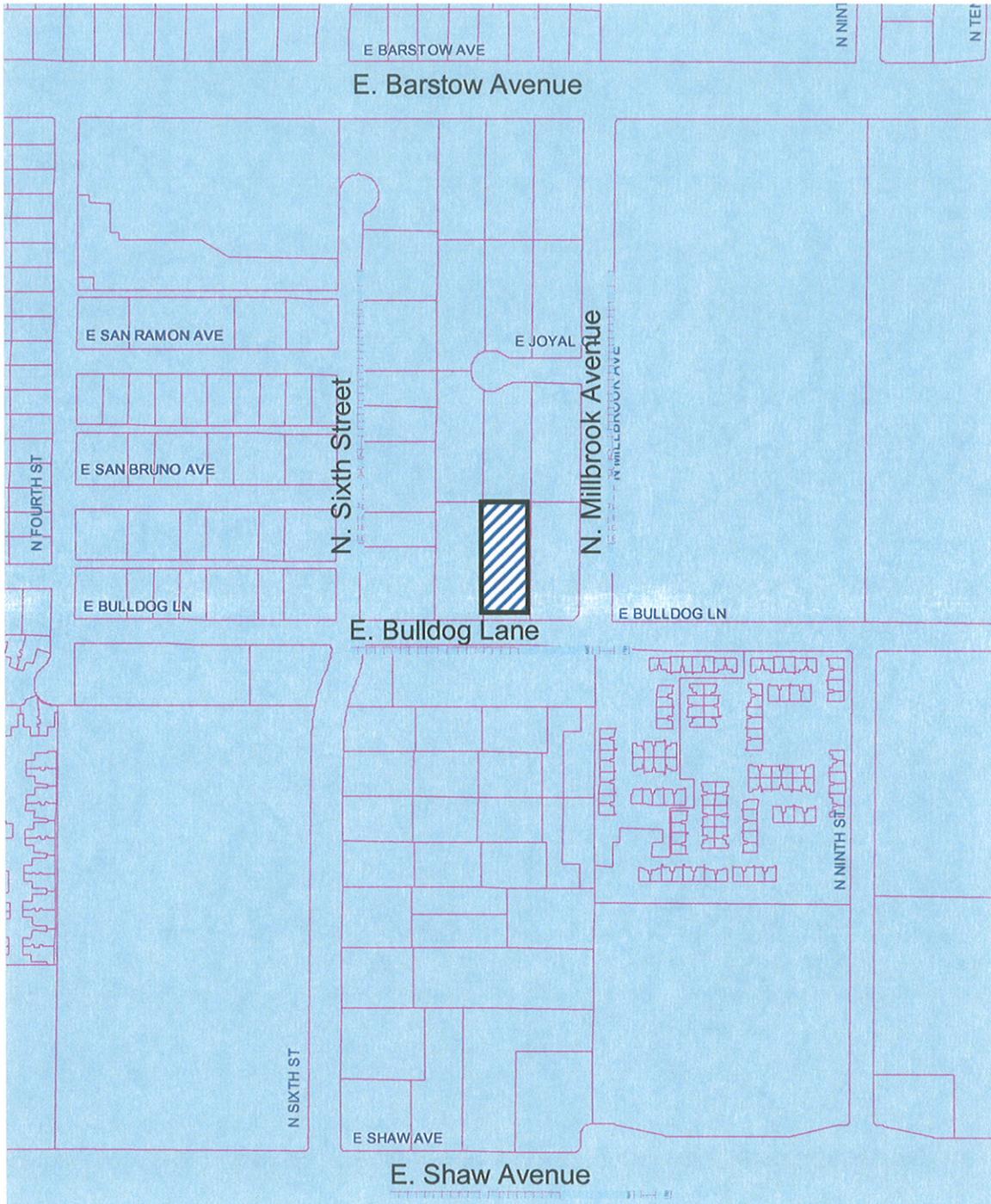
Action by the Planning Commission is final unless appealed to City Council in accordance with the Fresno Municipal Code.

## Conclusion

Attachments: Exhibit "A" Vicinity Map  
Exhibit "B" Aerial Photograph  
Exhibit "C" Public Hearing Notice Mailing List Vicinity Map  
Exhibit "D" Zone District Map  
Exhibit "E" Conditions of Approval for Conditional Use Permit Application C-14-093 dated October 7, 2015  
Exhibit "F" Site Plan and Site Details  
Exhibit "G" Environmental Assessment No. C-14-093  
Exhibit "H" Opposition Letters:  
Nat Dibudou, email dated September 28, 2015  
Mark Scott, email dated September 29, 2015

Exhibit A:  
Vicinity Map

# VICINITY MAP



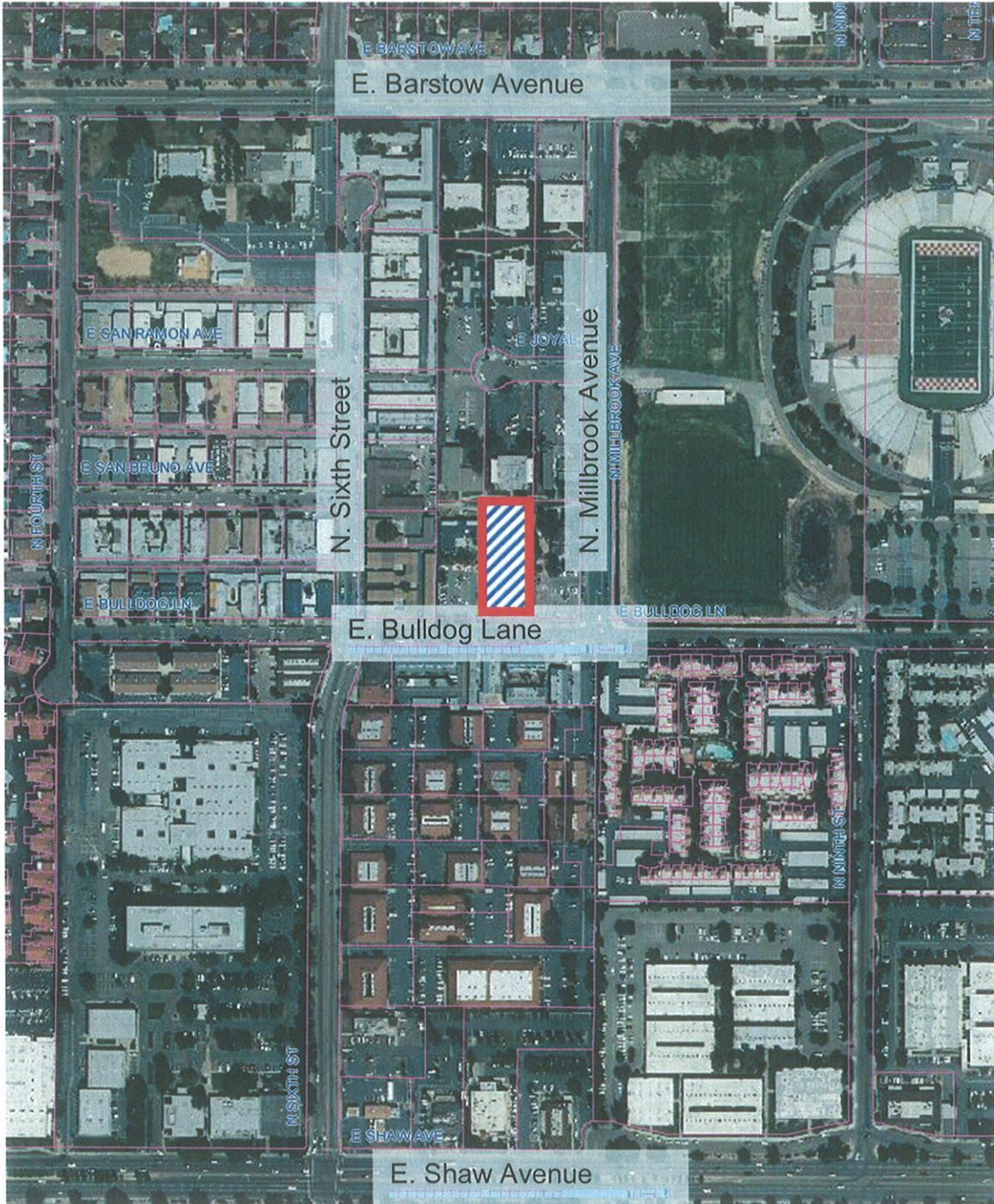
## LEGEND

Subject Property



Exhibit B:  
Aerial Photograph

# 2015 AERIAL



## LEGEND

Subject Property

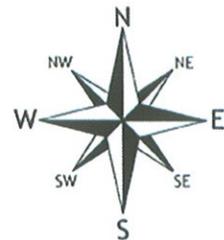
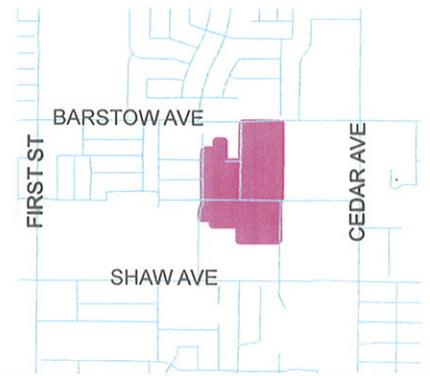


Exhibit 3:  
Public Hearing Noticing Map

199424 C-14-093

Offered at: 350 Feet, Legal Notices, Owners  
1816306s



Address List Map, c:\gisdm5\automap\adrlist.mxd, Thu Sep 24 11:41:17 2015

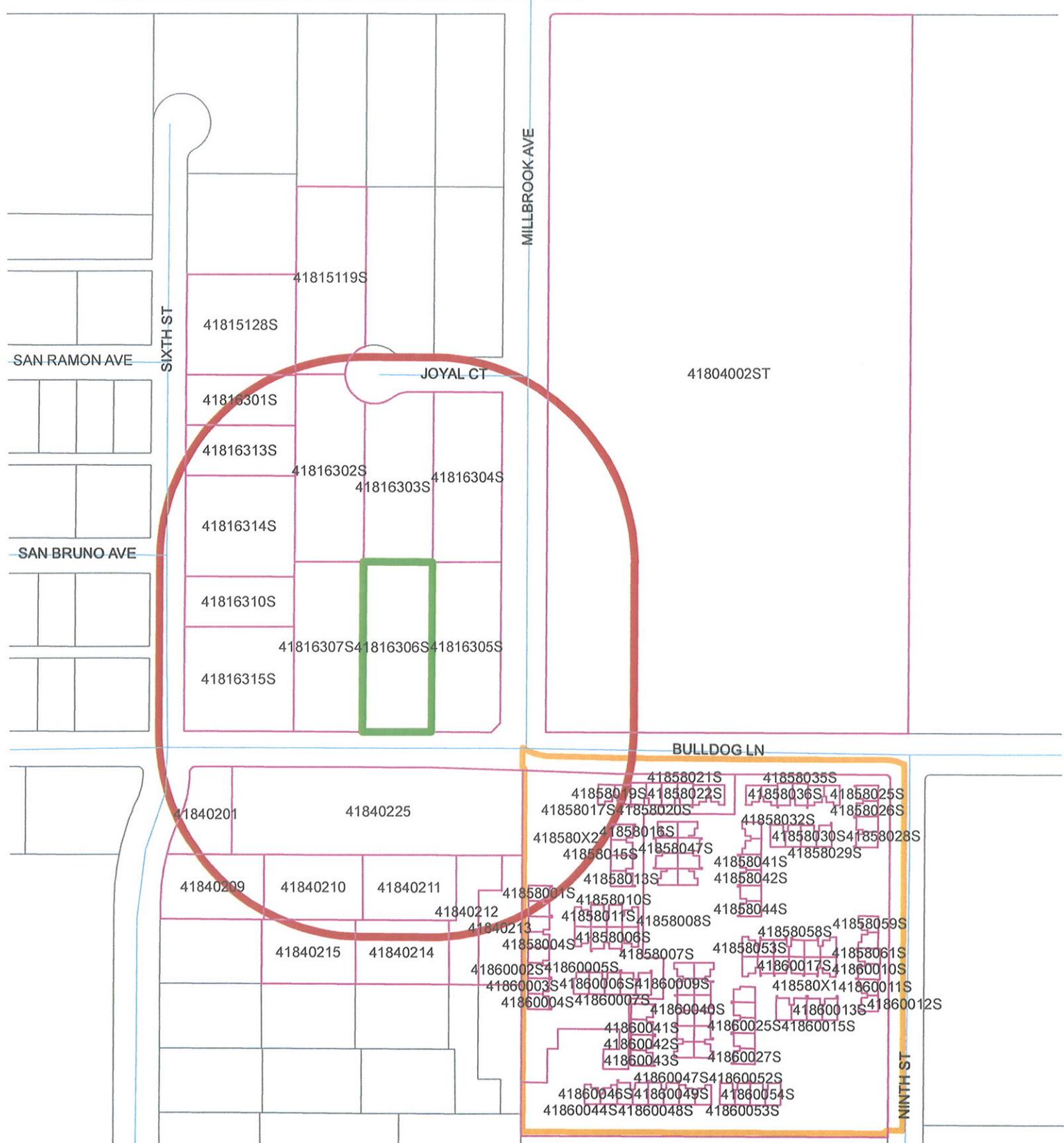
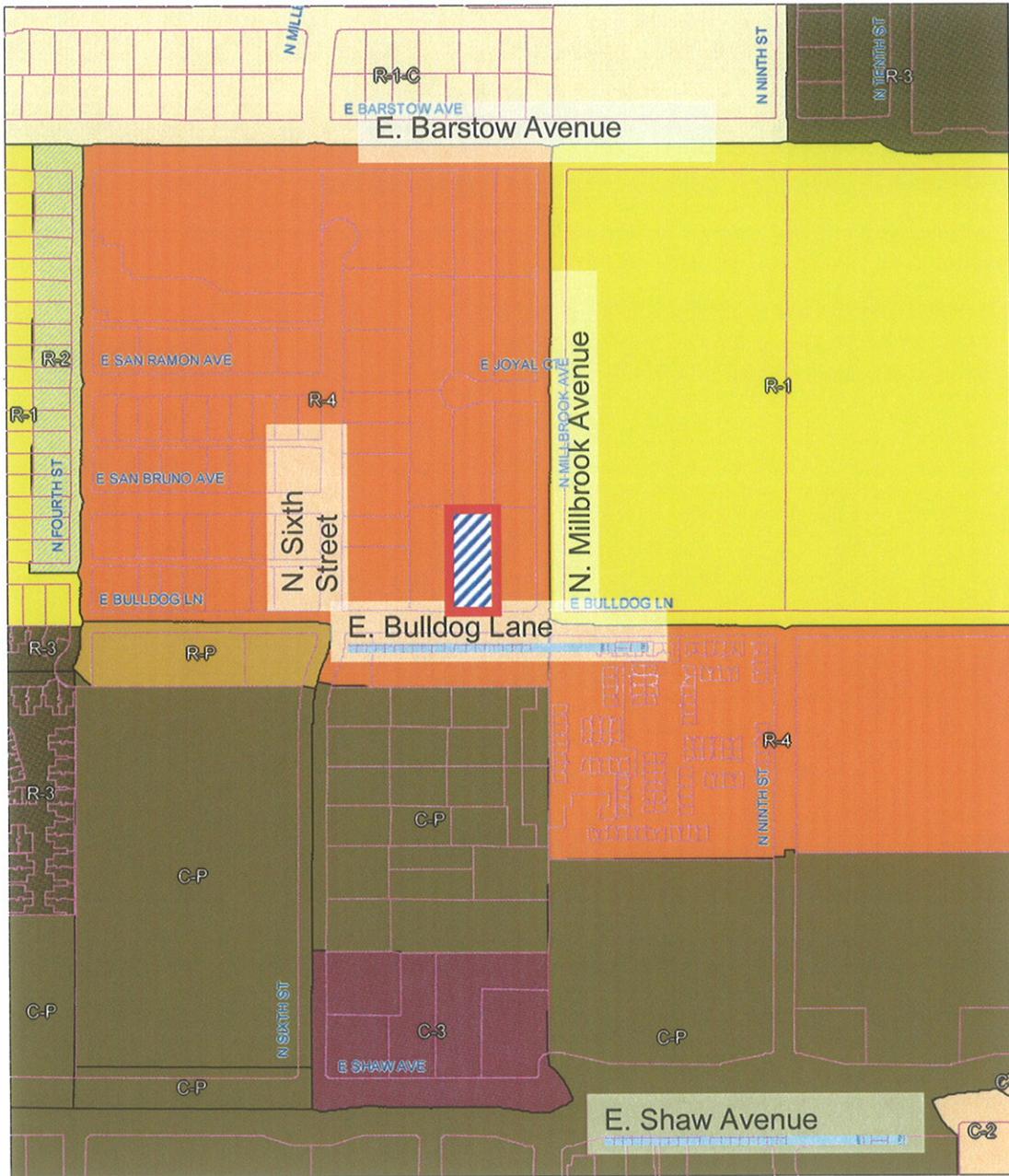


Exhibit D:  
Zone District Map

# ZONE DISTRICT MAP



## LEGEND

Subject Property

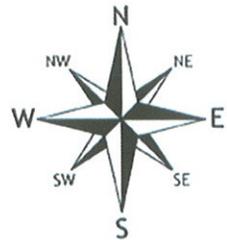


Exhibit E:  
Conditions of Approval for Conditional Use Permit  
Application C-14-093 dated October 7, 2015

**CITY OF FRESNO  
DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT**

**CONDITIONS OF APPROVAL**

OCTOBER 7, 2015

**CONDITIONAL USE PERMIT APPLICATION NO. C-14-093**

1470 East Bulldog Lane  
(APN: 418-163-06s)

The Planning Commission will consider approval of Conditional Use Permit Application No. C-14-093 at a noticed public hearing on October 7, 2015 at 6:00 p.m. or thereafter. Staff recommends that the conditional use permit application be approved subject to the conditions listed in this document.

**Project Description:** Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot four story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and three stories of apartment living with two elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (High Density Multiple Family Residential).

**CONDITIONS OF APPROVAL**

**PART A – ITEMS TO BE COMPLETED**

The following items are required prior to issuance of building permits and/or commencement of land use activity:

Planner to check when completed	
<input type="checkbox"/>	1. Development shall take place in accordance with Exhibits A (two, one from Planning and one from Public Works Traffic Engineering), E-1, E-2, E-3, F-1 (two, one from Planning and one from Public Works Traffic Engineering), F-2, F-3, and F-4 dated October 13, 2014. Transfer all comments and conditions on Exhibits to the corrected exhibit(s) and <b>submit to planner at least 15 days prior to issuance of building permits.</b>
<input type="checkbox"/>	2. Submit three copies of detailed, final landscaping and irrigation plans prepared by a landscape professional, showing the number and types of

		trees, to the Development Services Division. All present and future tree planting and shrub planting shall conform to the corner cut-off provisions of sections 13-227 and 13-228 of the FMC. <b>These plans must be reviewed and approved prior to issuance of building permits.</b>
<input type="checkbox"/>	3.	Landscaping must be in place <b>before issuance of the certificate of occupancy</b> . A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division.
<input type="checkbox"/>	4.	<b>Prior to final inspection</b> , a written certification, signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development and Resource Management Department (see form, attached).
<input type="checkbox"/>	5.	Provide proof of a <i>Pedestrian and Fire Fighting Cross Access Agreement</i> between APN's <b>418-163-03s, 418-163-04s, 418-163-05s and 418-163-06s</b> given that the subject site is located within an integrated walkway from Millbrook Avenue to the rear of the building and will share pedestrian access with the adjacent parcel. If a cross access agreement has not been approved, the applicant shall submit for a Cross Access Agreement to the Development and Resource Management Department. <b>The covenant shall be recorded prior to issuance of building permits.</b> If this agreement already exists, please provide a copy to the Development and Resource Management Department and if not remit \$1,094 and title reports for both properties for the preparation of this covenant. These documents are required <b>prior to issuance of building permits and must be recorded prior to occupancy.</b>
<input type="checkbox"/>	6.	The Fresno Metropolitan Flood Control District Notice of Requirements (NOR) fee, Grading Plan Review Fee, and Flood Control fee are due <b>prior to issuance of building permits</b> . Contact the Fresno Metropolitan Flood Control District, 559-456-3292, for all fee requirements. <b>Provide proof that these fees have been paid prior to issuance of building permits.</b>
<input type="checkbox"/>	7.	Comply with the conditions contained in the letter from Public Works Traffic Engineering, dated November 4, 2014. Revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits.</b>
<input type="checkbox"/>	8.	Deeds required for dedications and pedestrian easements (as required: pedestrian, accessible route, corner cut/curb ramp, etc.) shall be completed (deeds recorded) <b>prior to issuance of building permits</b> . Contact the Department of Public Works Transportation Planning Division, Supervising

		Engineering Technician, Jairo Mata, at 559-621-8714. <b>Provide proof that these requirements have been met prior to issuance of building permits.</b>
<input type="checkbox"/>	9.	Comply with the conditions contained in the letter from the Fresno Fire Department, dated October 23, 2014. Contact the Fresno Fire Department, Fire Prevention Inspector, David Polanco, at 559-621-4181. Provide proof that Fire concerns and comments are resolved. Revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits. Note: Fire Department approval of the site plan is required prior to the final site plan sign off.</b>
<input type="checkbox"/>	10.	Comply with the conditions contained in the letter from the Fresno Police Department, dated October 21, 2014. Add the following note to the site plan, <i>"Provide an approved video security system capable of capturing and storing video and images for a period of 30 days, 24 hours a day, and allows for police access to all data, video and imagery stored"</i> . Contact the Fresno Police Department, Detective Christopher Lee, at 559-621-6435. Provide proof that Police concerns and comments are resolved. Revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits.</b>
<input type="checkbox"/>	11.	Comply with the conditions contained in the letter from The Fresno Irrigation District (FID), dated October 21, 2014. Provide proof that FID concerns and comments are resolved. Revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits.</b>
<input type="checkbox"/>	12.	Comply with the conditions contained in the letter from the Solid Waste Division, dated November 6, 2014. Add the following note to the plans, <i>"Removal of solid waste bins from the street curb and or any area outside of the trash room will occur within twelve (12) hours of the scheduled trash pickup time. Except for within the trash room, all bins shall not be left on the street, or anywhere on the site for longer than six (6) hours during any one scheduled pick up day."</i> Provide proof that concerns and comments are resolved. Revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits.</b>
<input type="checkbox"/>	13.	Provide proof of payment of Fresno Unified School District fees and otherwise comply with their memo dated October 21, 2014 <b>prior to obtaining building permit(s).</b>
<input type="checkbox"/>	14.	Comply with the conditions contained in the letter from the Department of Public Utilities, Water Division, dated October 21, 2014. Provide proof that concerns and comments are resolved.

<input type="checkbox"/>	15. Comply with the conditions contained in the letter from the Department of Public Utilities, Sewer Division, dated October 31, 2014. Provide proof that concerns and comments are resolved.
<input type="checkbox"/>	16. Comply with the conditions contained in the letter from the County of Fresno, Department of Public Health, dated October 21, 2014. Provide proof that these requirements have been met prior to occupancy.
<input type="checkbox"/>	17. Comply with the conditions contained in the letter from the City of Fresno Airports Department, dated October 31, 2014. Provide proof that concerns and comments are resolved.
<input type="checkbox"/>	18. Per § 12-306-H, the proposed concrete side fences shall not exceed three (3) feet when located within the minimum 15 foot landscape setback. Clarify extent and height of proposed fences. Revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits.</b>
<input type="checkbox"/>	19. Add the following note to the site plan: <i>“Signs, other than directional signs, if applicable, are not approved for installation as part of this Conditional Use Permit. All outdoor advertising and signage shall conform to the requirements 12-217-.5-K-1 and the city of Fresno Sign Ordinance, Chapter 12, Article 17.”</i> Revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits.</b>
<input type="checkbox"/>	20. Add applicable notes from the attached document titled “Notes and Requirements for Entitlement Applications”. Verify and or revise exhibits and <b>submit to planner at least 15 days prior to issuance of building permits.</b>

PART B – OTHER REQUIREMENTS

1) Planning/Zoning/Environmental Compliance Requirements

- a) Property development standards and the complete list of planning requirements/conditions for this project are contained in the “Property Development Standards” prepared for C-14-093 are attached to this document for reference.
- b) Development shall take place in accordance with the attached “Notes and Requirements for Entitlement Applications” as applicable.
- c) Development shall take place in accordance with the policies of the Fresno General Plan, Hoover Community Plan, Fresno Yosemite International Airport Land Use Compatibility

Plan, and with the high density residential planned land use designation.

- d) Development shall take place in accordance with the R-4 (High Density Residential) zone district and all other applicable sections of the Fresno Municipal Code.
- e) Comply with the operational statement submitted for the proposed project dated October 13, 2014

2) City and Other Services

- a) Development shall take place in accordance with the attached memoranda and letters from City of Fresno Departments and partner agencies (Department of Public Works-Traffic and Engineering Services Division dated September 9, 2014, Department of Public Utilities-Planning and Engineering Division dated August 21, 2014, Department of Public Utilities-Water Division dated August 28, 2014, Department of Public Utilities-Sewer Division dated October 2, 2014, Department of Public Utilities-Administration (Solid Waste) dated September 11, 2014, Fire Department dated September 3, 2014, Building and Safety Services dated September 9, 2014, San Joaquin Valley Air Pollution Control District dated September 2, 2014, Fresno Unified school District dated September 9, Department of Transportation dated September 10, County of Fresno, Department of Public Health dated September 4, 2014, and Fresno Irrigation District dated September 16, 2014).

3) Miscellaneous Requirements

- a) Plans and permits are required.
- b) Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following:
  - i) All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property;
  - ii) All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,
  - iii) Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.

- c) Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.

**APPEALS**

Discretionary conditions of approval may be appealed. All code requirements, however, are mandatory and may only be modified by variance, provided the findings pursuant to Section 12-405 can be made. Discretionary conditions of approval will ultimately be deemed mandatory unless appealed. In the event you wish to appeal any of these conditions, you must state your appeal (in writing or in testimony) at or prior to the Planning Commission hearing for this project scheduled on October 7, 2015 at 6:00 p.m. or thereafter.

**EXPIRATION DATES**

The exercise of rights granted by this special permit must be commenced within four years from the date of approval (presumably on October 7, 2019). There is no extension. All improvements must be installed prior to the operation of the proposed use, unless otherwise stated in the conditions of approval.

- Enclosures:
- Exhibit 1: Exhibits A, E-1, E-2, E-3, F-1, F-2, F-3, and F-4 dated October 13, 2014
  - Exhibit 2: Comments from Partner Agencies & Departments
  - Exhibit 3: Property Development Standards
  - Exhibit 4: Notes and Requirements for Entitlement Applications



4003044003042600 Fresno Street-Third Floor  
**Management Department**  
 Fresno, California 93721-3604  
 (559) 621-8277 FAX (559) 488-1020

**Development and Resource**

Jennifer K. Clark, Director

**PROPERTY DEVELOPMENT STANDARDS**  
**Project Comments from the Development Services Division**  
**October 7, 2015**

**PROJECT DESCRIPTION**

**Conditional Use Permit Application No. C-14-093** was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms).

**APN: 418-163-06s**

**ADDRESS: 1470 East Bulldog Lane**

**GENERAL INFORMATION**

<b>ZONING</b>		
Existing	R-4 ( <i>High Density Multiple Family Residential</i> ).	
Requested	N/A	
Pending	N/A	
<b>PLANS</b>		
Community Plan	Hoover	
Specific Plan	Fresno Yosemite International Airport Land Use Compatibility Plan	
Redevelopment	N/A	
<b>PREVIOUS ACTIONS</b>		
Applications	N/A	
Covenants/ Easements	N/A	
Development Agreements	N/A	
<b>TRACT MAP or LOT SPLIT</b>		

**PROPERTY DEVELOPMENT STANDARDS**

Use the website below to access the Zoning Ordinance (Chapter 12, articles 2 and 3) to find more information on zoning/property development standard requirements:

<http://library.municode.com/index.aspx?clientId=14478&stateId=5&stateName=California>

<b>USE PERMITTED</b>		
Multiple family dwellings with a density of thirty (30) or more units per acre, as defined in Subsection 12-105-D-18 and 12-105-F-1-c, is a permitted use subject to a conditional use permit, in the R-4 zone district pursuant to Section 12-214.3-I, of the Fresno Municipal Code (FMC).		
<b>LOT AREA</b>		
Required	Each lot shall have a minimum area of ten thousand (10,000) square feet	
Proposed	± 0.79 acres, 34,279 s.f.	
<b>LOT DIMENSIONS</b>		
Required	Width: sixty-five (65) feet Depth: one hundred ten (110) feet	
Proposed	118 ft. x 290 ft.	
<b>DWELLING UNIT DENSITY</b>		
Permitted	<p>For lots of record on June 11, 1960, and for lots created after June 11, 1960, having not less than ten thousand (10,000) square feet of net lot area, there shall be a minimum of one thousand (1,000) square feet of lot area for each dwelling unit.</p> <p>Therefore:  <math>34,220 \text{ s.f.} / 1000 = 34 \text{ units allowed}</math></p> <p>Citywide Standards for Density and Development Intensity per the Fresno General Plan for Residential – High Density (Chapter 3, Table 3-1):            Residential - High Density allows for a maximum of 45 units per acre.            Therefore:  <math>(34279 \text{ s.f.}/43560 \text{ s.f.}) / (45 \text{ DU}) = \text{Max. DU allowed} = 35.9 \sim \underline{35 \text{ units allowed}}</math></p>	
Proposed	The proposed 30 units are allowed per the R-4 Zone District and the Residential – High Density Planned Land Use allowed for this site by the Fresno General Plan	

<b>BUILDING HEIGHT</b>				
	Permitted	No building or structure erected in this District shall have a height greater than sixty (60) feet		
	Proposed	50'-0" – Main Building 55'-0" – Tower		
<p><b>YARDS:</b> Landscaping and open space shall be provided in accordance with Subsection 12-306-N-21-c (2). (Min. 25% open space required with allowed 10 percent reduction in certain cases). Applicant to demonstrate conformance on the site plan.</p>				
	<b>Required Building Setback</b>		<b>Proposed Building Setback</b>	
	Front (Bulldog Lane)	15'	Front	43'-4"
	Interior Side	5'	Interior Side	6.5'
	Street Side (N/A)	N/A	Street Side	N/A
	Rear	15'	Rear	41'
	<b>Required Landscaping Setback</b>		<b>Proposed Landscaping Setback</b>	
	Front	15'	Front	43'-4"
	Interior Side	5'	Interior Side	6.5'
	Street Side	N/A	Street Side	N/A
	Rear	15'	Rear	41'

**General Yard Requirements:**

The provisions of the "R-1-A" District, Subsection 12-207.5-E-1, shall apply. Landscaping and open space shall be provided in accordance with Subsection 12-306-N-21-c (2). 12-207.5-E-1

- a. All required yards shall extend the full width or depth of the lot and shall be open from the ground to the sky, except as provided in Sections 12-105-L-4, 12-105-Y(yard) and 12-207.5-E-5 below. Fenestrations
- b. No main building shall be erected within fifty (50) feet of the right-of-way of any railroad line or freeway.
- c. Whenever an approved tentative tract map or tentative parcel map requires a landscaped setback abutting a major street where access rights have been relinquished, it shall be provided in addition to the required yard setback of the zone district.
- d. Swimming pools and spas may be located anywhere on the subject parcel, provided that the pool/spa structure shall be located a minimum of five (5) feet from any fence, five to six feet in height, installed in accordance with the fencing standards of Section 12-306-H of this Code. Equipment related to the operation and maintenance of a swimming pool or spa, and other mechanical equipment installed to the exterior of the main building, shall be considered and evaluated as an accessory building except that they may not be located within the side yard setback along the extent of the main building.
- e. Garages or carports shall be located not less than twenty (20) feet from any street frontage where the garage door or carport opening faces and takes direct access to the street. Where yard requirements pose a greater setback, such setback shall apply.
- f. For a Key Lot, as defined in Subsection 12-1002.1(k), the side yard main building setback shall be the District standard plus five (5) feet. For exceptions for the main building side yards, Subsection 12-306-E-4 of this Code shall apply.

**SPACE BETWEEN BUILDINGS**

Main Buildings	The minimum space requirements of the "R-2" District, Section 12-212.5-F, shall apply
Accessory Buildings	N/A
Garages	N/A

**LOT COVERAGE**

Permitted	Maximum lot coverage by buildings and structures shall not exceed sixty (60) per cent of the total lot area.  A minor deviation of 10% will be applied to this project, therefore this maximum lot coverage allowed with a minor deviation is sixty-six (66) percent [62.5<66]
Proposed	62.5 % (21,455 s.f.), allowed with a minor deviation.

<b>FENCES, HEDGES, WALLS</b>		
	Required	All fences, hedges and walls shall conform to the provisions of Section 12-306-H.
	Proposed	6' high split CMU wall at each side of site. The maximum height of CMU shall be 36" when located within the front setback area.
<b>OFF-STREET PARKING</b>		
	Required	Per section 12-306-I-6-c, Multiple dwellings. When there is more than one dwelling unit on a single lot there shall be one and one-half parking spaces for each dwelling unit, one of which shall be in a carport or garage. In the event that a requirement for one-half parking space results under this ratio, the parking space requirement shall be increased to the next highest whole number.  = 30 units x 1.5 = forty-five (45) parking spaces minimum with two (2) accessible.
	Proposed	45 parking spaces with 3 accessible. The applicant will be utilizing vertical stack parking mechanism. Forty-two (42) parking spaces with two (2) accessible stalls will be located in an enclosed area under the main floor. Three (3) parking spaces will be located in front of the building, with one (1) being an accessible stall, for a total of forty-five (45) parking spaces.
<b>ACCESS</b>		
	Required	The provisions of the "R-1-A" District, Section 12-207.5-J-1, 2, 3 and 4, shall apply
	Proposed	Single drive approach, 27 ft. wide from Bulldog Lane. Access has been reviewed and conditioned by PW Traffic Engineering.
<b>OUTDOOR ADVERTISING</b>		
	Permitted	The provisions of the "R-2" District, Section 12-212.5-K, shall apply
	Proposed	Proposed monument sign to be under a separate permit and shall be located as required to comply the provisions of Section 12-306-N-9 and shall apply to any signs placed in a utility or landscape easement
<b>LOADING SPACES</b>		
	Required	For sanitariums and hospitals, the provisions of Section 12-306-L shall apply.
	Proposed	N/A
<b>TREES (On-Site)</b>		

	Required	The proposed parking is located within a covered podium deck. Forty-two stalls or the forty-five required parking stalls are located under a podium deck. Three parking stalls are located on the exterior of the podium deck. There are six proposed medium sized trees located within the front parking area. Therefore the proposed number and type of trees as originally proposed is adequate for this site.
	Proposed	The applicant is required submit a landscape plan indicating the type and species of onsite trees.

**SUMMARY AND OTHER COMMENTS /REQUIREMENTS**

A. Miscellaneous

- (1) See the **attached** General Notes and Requirements for Entitlement Applications for additional general notes and requirements.
- (2) An Indirect Source Review (ISR) must be submitted to the San Joaquin Valley Air Pollution Control District prior to project approval. Provide documentation that this has been submitted to the Air District.
- (3) There shall be adequate vehicular access from a dedicated and improved street, service road or alley, the design of which shall be approved by the Director of Public Works.
- (4) The Director shall specify the location and number of means of ingress and egress to property by conditions established at the time of review of the required site plan.

B. Local Plans and Policies

- (1) Hoover Community Plan
- (2) Fresno Yosemite International Airport Land Use Compatibility Plan
- (3) Fresno General Plan

**UF-1** Emphasize the opportunity for a diversity of districts, neighborhoods, and housing types.

**UF-1-a** Diverse Neighborhoods. Support development projects that provide Fresno with a diversity of urban and suburban neighborhood opportunities.

Commentary: Future growth will occur in a range of higher, medium, and lower densities in existing and new mixed-use urban centers, compact neighborhoods, and suburban areas. This policy also envisions making use of underutilized land, reducing long-term farmland conversion, supporting transit and multiple transportation modes, mixing and balancing compatible residential and retail uses in new growth areas, and existing infill areas to produce economic opportunities, jobs, housing

options, recreation, and other choices.

**UF-1-d** Range of Housing Types. Provide for diversity and variation of building types, densities, and scales of development in order to reinforce the identity of individual neighborhoods, foster a variety of market-based options for living and working to suit a large range of income levels, and further affordable housing opportunities throughout the city.

Commentary: The Development Code will provide guidance to promote continuity in development scale and character and transitions between densities and design typologies.

**UF-1-e** Unique Neighborhoods. Promote and protect unique neighborhoods and mixed use areas throughout Fresno that respect and support various ethnic, cultural and historic enclaves; provide a range of housing options, including furthering affordable housing opportunities; and convey a unique character and lifestyle attractive to Fresnoans. Support unique areas through more specific planning processes that directly engage community members in creative and innovative design efforts.

**UF-1-f** Complete Neighborhoods, Densities, and Development Standards. Use Complete Neighborhood design concepts and development standards to achieve the development of Complete Neighborhoods and the residential density targets of the General Plan.

**UF-12** Locate roughly one-half of future residential development in infill areas—defined as being within the City on December 31, 2012—including the Downtown core area and surrounding neighborhoods, mixed-use centers and transit-oriented development along major BRT corridors, and other non-corridor infill areas, and vacant land.

**LU-2-a** Infill Development and Redevelopment. Promote development of vacant, underdeveloped, and re-developable land within the City Limits where urban services are available by considering the establishment and implementation of supportive regulations and programs.

**LU-5** Plan for a diverse housing stock that will support balanced urban growth, and make efficient use of resources and public facilities.

**LU-5-d** Medium-High Density Residential Uses. Promote medium-high density residential uses to optimize use of available or planned public facilities and services and to provide housing opportunities with convenient access to employment, shopping, services, and transportation.

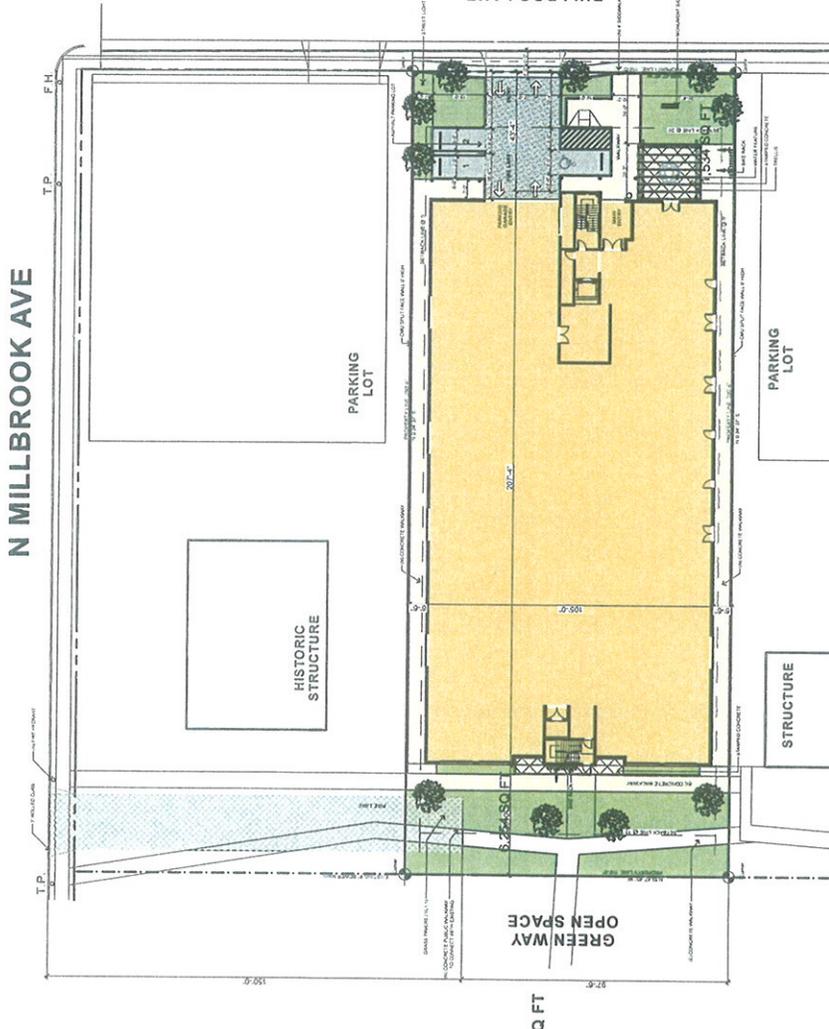
**LU-5-e** Urban Neighborhood Residential Uses. Promote urban neighborhood residential uses to support compact communities and Complete Neighborhoods that include community facilities, walkable access to parkland and commercial services, and transit stops.

**LU-5-f** High Density Residential Uses. Promote high-density residential uses to support Activity Centers and BRT Corridors, and walkable access to transit stops.

# N MILLBROOK AVE



VICINITY MAP



## PARKING:

- TOTAL PARKING SPACES REQUIRED: 45 SPACES
- Per Code: 30 Dwelling Units x 1.5= 45 Spaces
- TOTAL PARKING SPACES PROVIDED: 45 SPACES
- ACCESSIBLE SPACES PROVIDED: 3 SPACES
- STANDARD PARKING SPACES: 42 SPACES
- PARKING SPACES TO FLOOR PLAN RATIO: 1 PER 1,444 SF
- SHORT TERM BICYCLE PARKING SPACES REQUIRED: 12
- LONG TERM BICYCLE PARKING SPACES REQUIRED: 96
- SHORT TERM BICYCLE PARKING SPACES PROVIDED: 20
- LONG TERM BICYCLE PARKING SPACES PROVIDED: 112

## SITE DATA:

- SITE AREA: 34,279 SQ FT / .79 ACRES
- BUILDING AREA COVERAGE: 21,455 SQ FT
- PAVED AREA COVERAGE: 62.5%
- PAVED AREA: 7,610 SQ FT
- FRONT SETBACK: 4,866 SQ FT
- FRONT: 1.9
- FRONT: 20'-0"
- (PER PROVISION FOR PARTIALLY BUILT-UP BLOCKS SECTION 12-207.5-E-2.6 OF THE ZONING ORDINANCE)
- SIDE YARD: 5'-0"
- REAR YARD: 15'-0"
- FRONT: 43'-4"
- SIDE YARD: 6'-6"
- REAR YARD: 39'-10"

## BUILDING SET BACKS :

CSC REQUIRED MAXIMUM AREA OF EXTERIOR WALL OPENINGS:

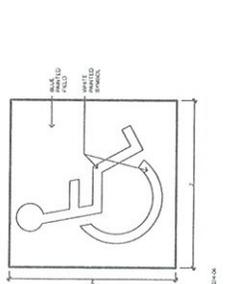
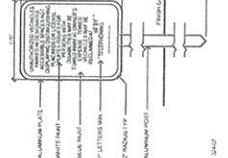
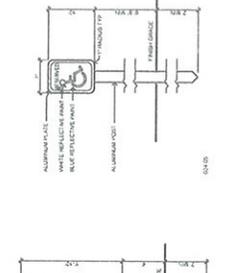
- NO MAX.
- EAST: 25% MAX.
- WEST: 25% MAX.
- BACK: NO MAX.

BUILDING AREA OF EXTERIOR WALL OPENINGS:

- EAST: 21%
- WEST: 18%

## PROJECT DATA:

- ZONING: R-4
- ASSESSORS PARCEL NUMBER: 418-163-068
- APPLICANT: SID EVANS, TRILOGY PROPERTIES LLC, 280 NEWPORT CENTER DRIVE, SUITE 100, FRESNO, CA 93760, P: 800 988 8666, F: 800 585 3881
- OWNER: TRILOGY PROPERTIES LLC, 5219 N MILLBROOK AVE, FRESNO, CA 93710
- APPL. NO. C-14-093 EXHIBIT A DATE 10-13-14
- TRAFFIC ENG. DATE
- COND. APPROVED BY DATE
- CITY OF FRESNO, PLANNING & DEVELOPMENT DEPT DATE



**Douglas Pancake**  
**A R C H I T E C T S**  
 1401 JAMES ST. SUITE 100  
 FRESNO, CA 93703  
 T: 409 222 2800 • F: 409 222 3800 • WWW.ARCARCHITECTS.COM

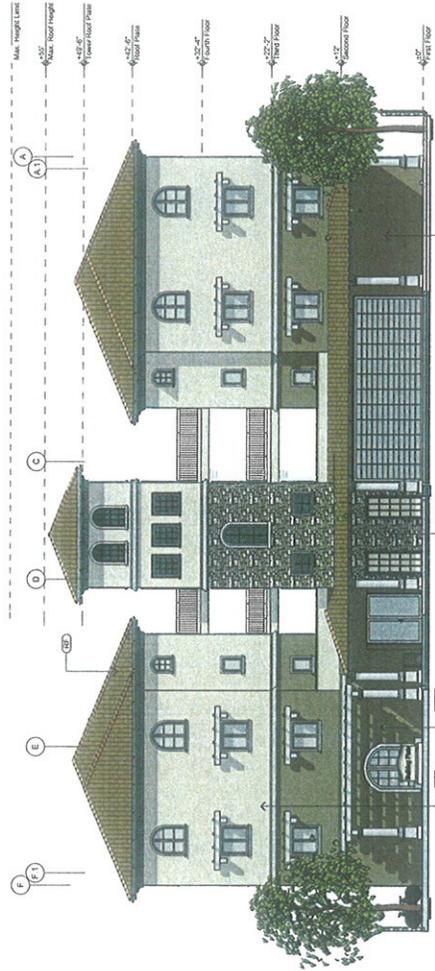
**TRILOGY PROPERTIES**

**BULLDOG LANE STUDENT HOUSING**  
 TRILOGY PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710

**Site Plan**  
**S1**  
 PROJECT NO. 10318 00  
 PLOT DATE 7/1/2014



2 North Elevation / Walkway Elevation  
SCALE: 1/8" = 1'-0"



1 South Elevation / Street Elevation  
SCALE: 1/8" = 1'-0"

- EXTERIOR FINISHES**  
 RF CERAMIC ROOF TILE COLOR RED BLEND  
**EXTERIOR WALLS**  
 W-1 STUCCO COLOR TAN  
 W-1A STUCCO COLOR DARK BROWN  
 W-2 STUCCO COLOR DARK BROWN DOWN BLEND  
 W-3 SHUT FACE CHU WALL COLOR TAN

APPL. NO. C-14-093 EXHIBIT E-1 DATE 10-13-14  
 PROJ. ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 COND. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

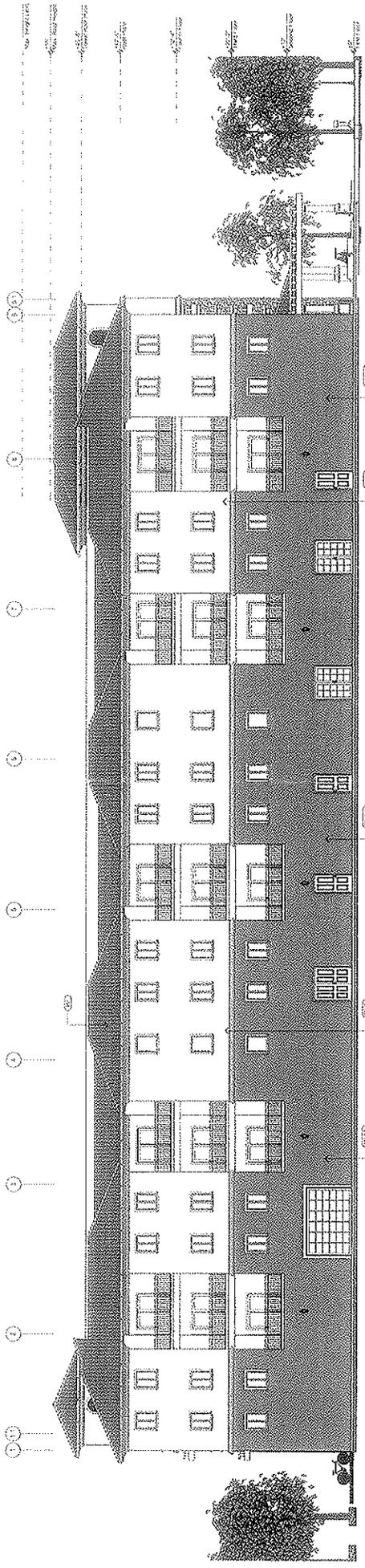


**BULLDOG LANE STUDENT HOUSING**

TRILOGY PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710

**Exterior Elevations  
 A9**

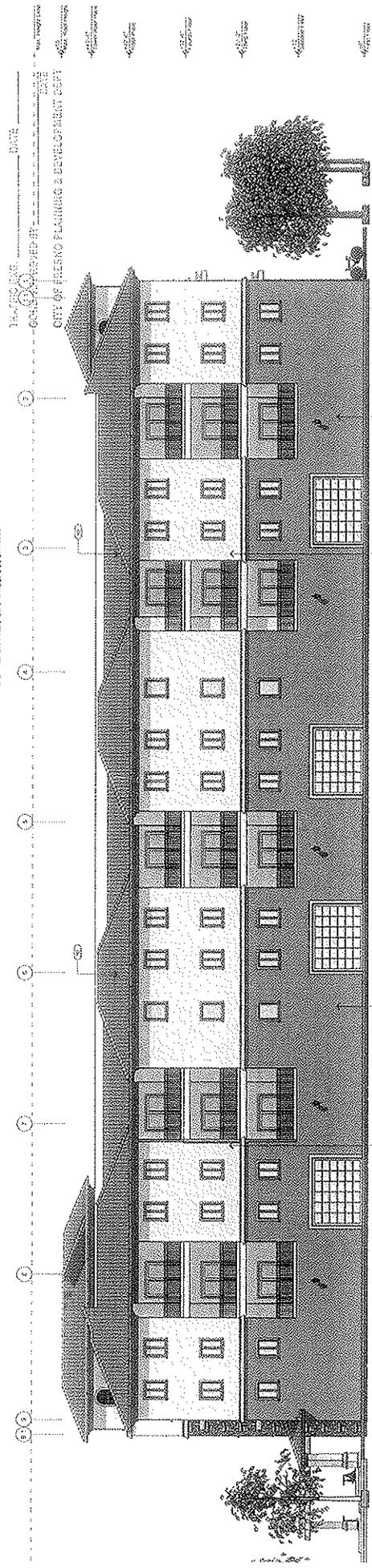
PROJECT NO. 12016.00  
 PLOT DATE: 6/18/2014



West Elevation  
SCALE 1/8" = 1'-0"

DATE: 01.11.2023  
PROJECT NO: 1818-03  
DRAWING NO: 10-10-111

EXTERIOR FINISHES  
R7 CERAMIC ROOF TILE COLOR RED-BROWN  
EXTERIOR WALLS  
W1 STUCCO COLOR TAN  
W2 STONE MANTREL COLOR DARK BROWN BLEND  
W3 GACRYL FIBER CEMENT WALL COLOR TAN



East Elevation  
SCALE 1/8" = 1'-0"

Exterior Elevations  
A10

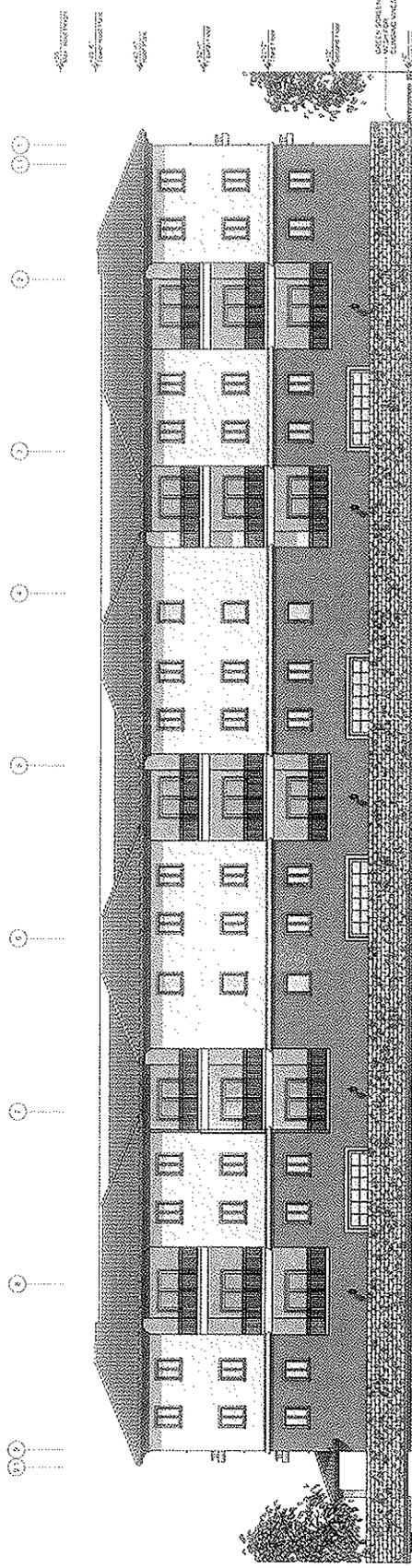
BULLDOG LANE STUDENT HOUSING

TRILOGY PROPERTIES LLC  
5275 N MILBROOK AVE  
FRESNO, CA 93710



Douglas Pancake  
ARCHITECTS  
1801 J STREET, SUITE 200  
FRESNO, CA 93701  
TEL: 559.233.2800 FAX: 559.233.2801 WWW.PANCAKEARCHITECTS.COM

PROJECT NO: 1818-03  
PLOT DATE: 6/18/2024

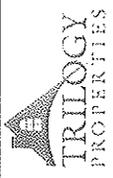


East Elevation  
SCALE: 1/8" = 1'-0"

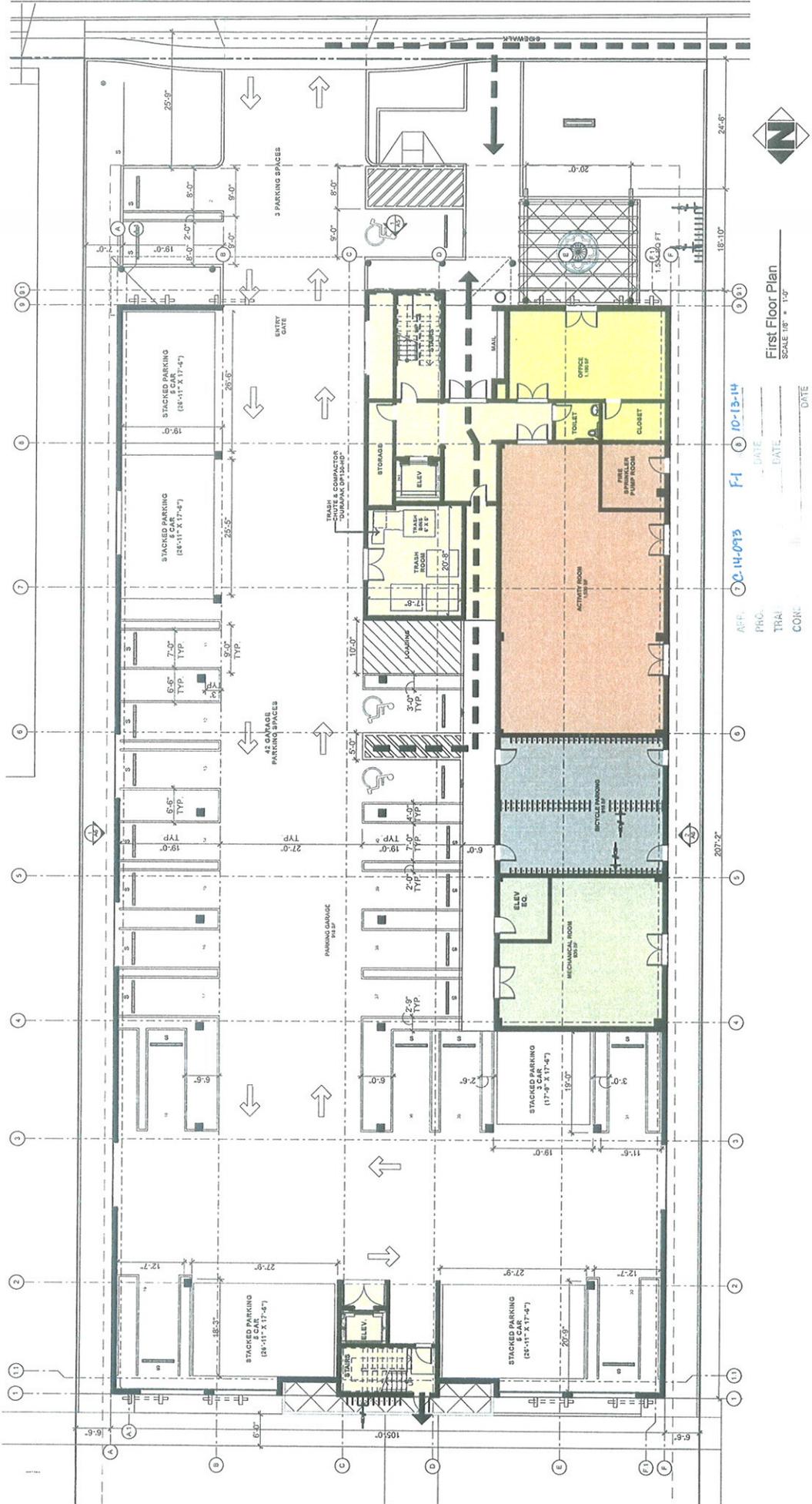
APRIL NO. 04-11-079 REVISION: 5 DATE 10-14-19  
 PROJECT NO. \_\_\_\_\_ DATE \_\_\_\_\_  
 DRAWING NO. \_\_\_\_\_ DATE \_\_\_\_\_  
 PROJECT NAME \_\_\_\_\_  
 PROJECT LOCATION \_\_\_\_\_

Exterior Elevations  
**A11**  
 PROJECT NO. 12018-00  
 PLOT DATE 6/16/2014

**BULLDOG LANE STUDENT HOUSING**  
 TRILOGY PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710



**Douglas Pancake**  
 ARCHITECTS  
 INCORPORATED  
 1000 N. MARKET ST. # 100  
 FRESNO, CA 93702  
 TEL: 559.233.1111  
 WWW.DGPANCAKEARCHITECTS.COM



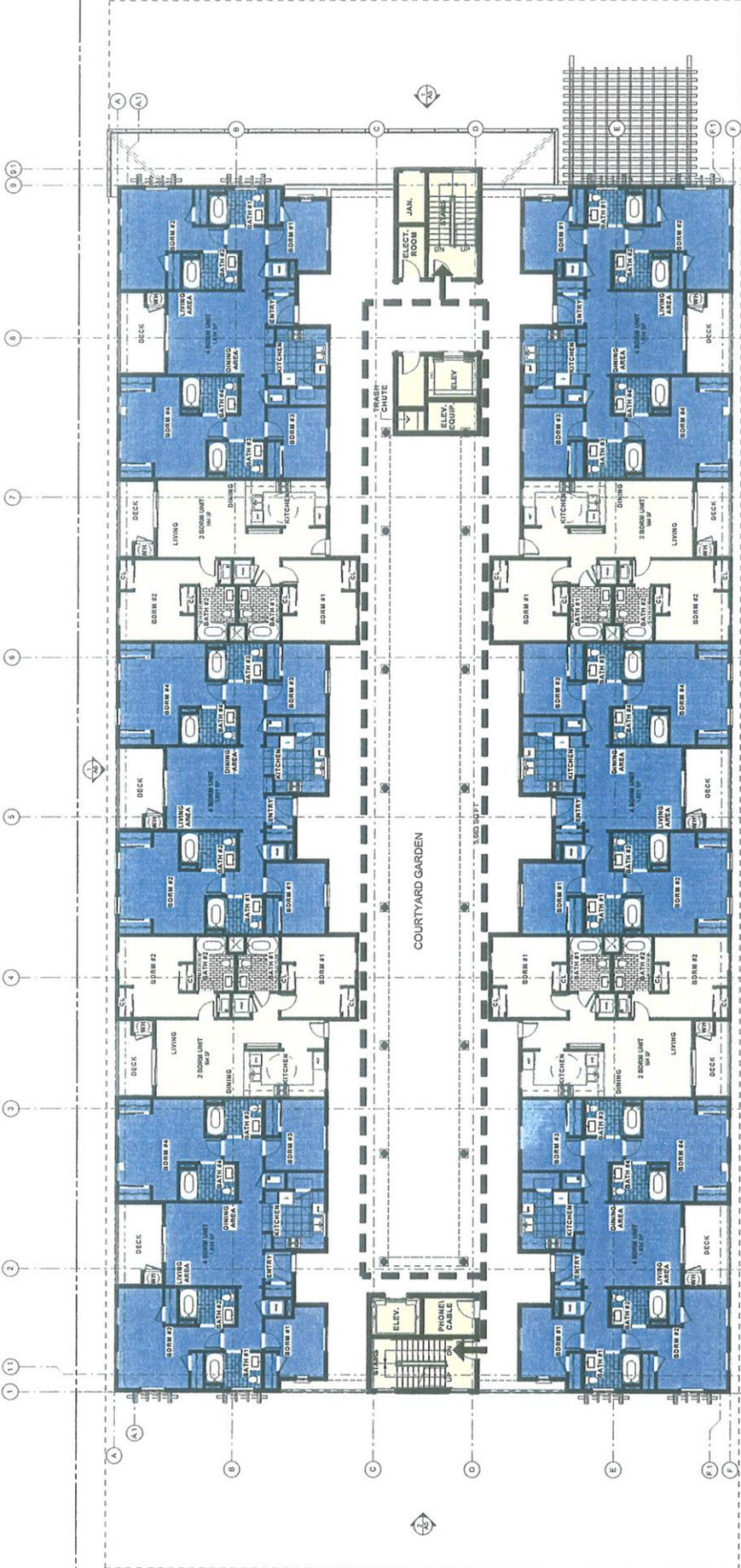
APP. **02-14-093** F1 **10-13-14**  
 PRG. DATE  
 TRAI DATE  
 CONC DATE  
 CITY C. PLANNING & DEVELOPMENT DEPT

First Floor Plan  
 A4  
 PROJECT NO. 12018-03  
 PLOT DATE: 7/1/2014

**BULLDOG LANE STUDENT HOUSING**  
 TRILOGY PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710



**Douglas Pancake**  
 ARCHITECTS  
 140 JAMBONE ROAD, SECOND FLOOR, NEWPORT BEACH, CALIFORNIA 92660  
 1 949 752 2864 • 1 949 752 2864 • N1@DPAARCHITECTS.COM



APPL. NO. C-13-093 EXHIBIT F.2 DATE 10-13-14  
 PROJ. ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 COND. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT



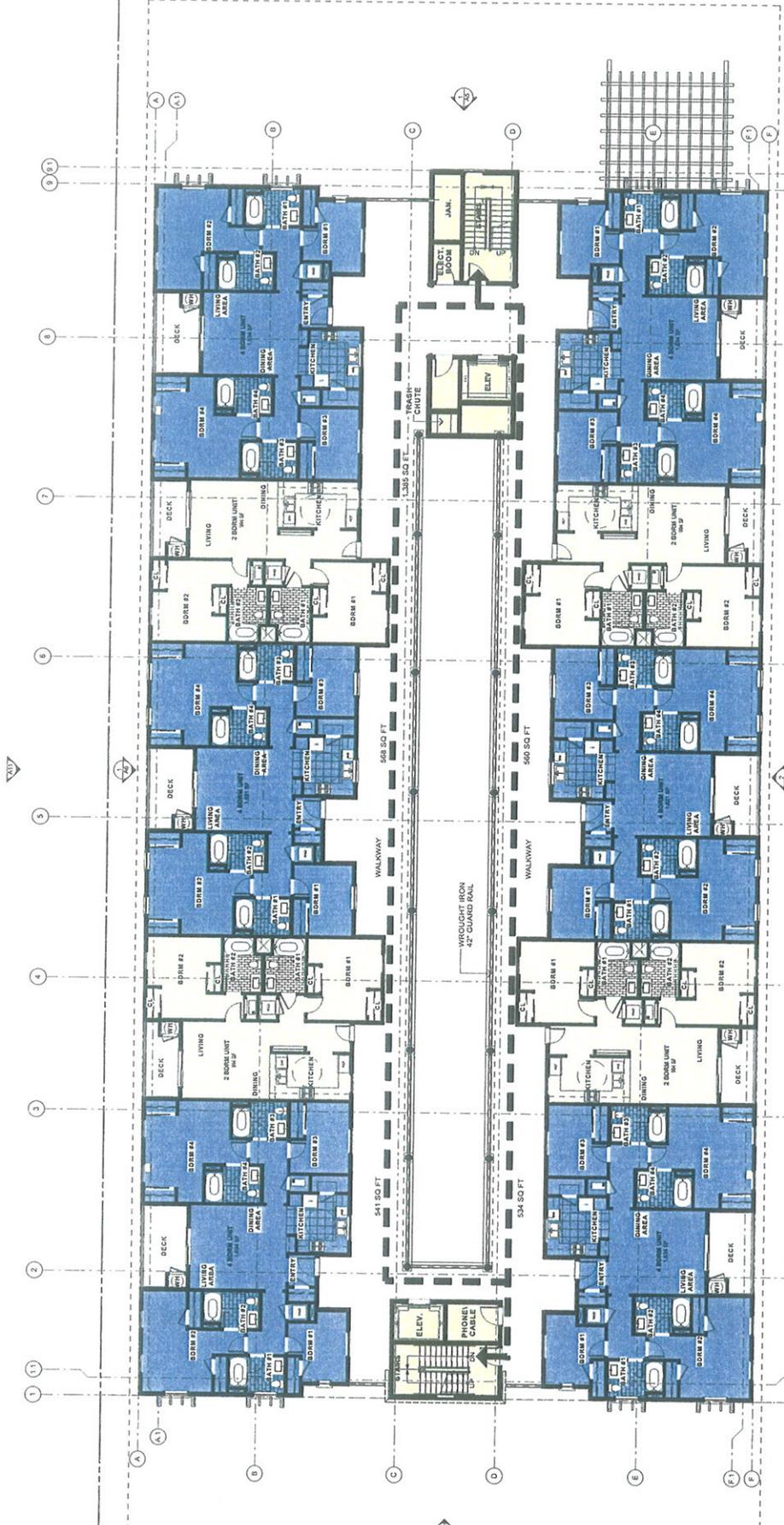
Second Floor Plan  
 SCALE: 1/8" = 1'-0"

Second Floor Plan  
 A5  
 PROJECT NO. 12016.00  
 PLOT DATE 6/18/2014

**BULLDOG LANE STUDENT HOUSING**  
 TRILOGY PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710

**Douglas Pancake**  
 ARCHITECTS  
 1415 JAMES ST. SUITE 200  
 FRESNO, CA 93703  
 P: 559.209.3400 • F: 559.209.3401 • WWW.DPGROUPARCHITECTS.COM

**TRIOLOGY**  
 PROPERTIES



APPL. NO. 0-14-073 EXHIBIT 3 DATE 10-13-14  
 PROJ. ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 COND. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

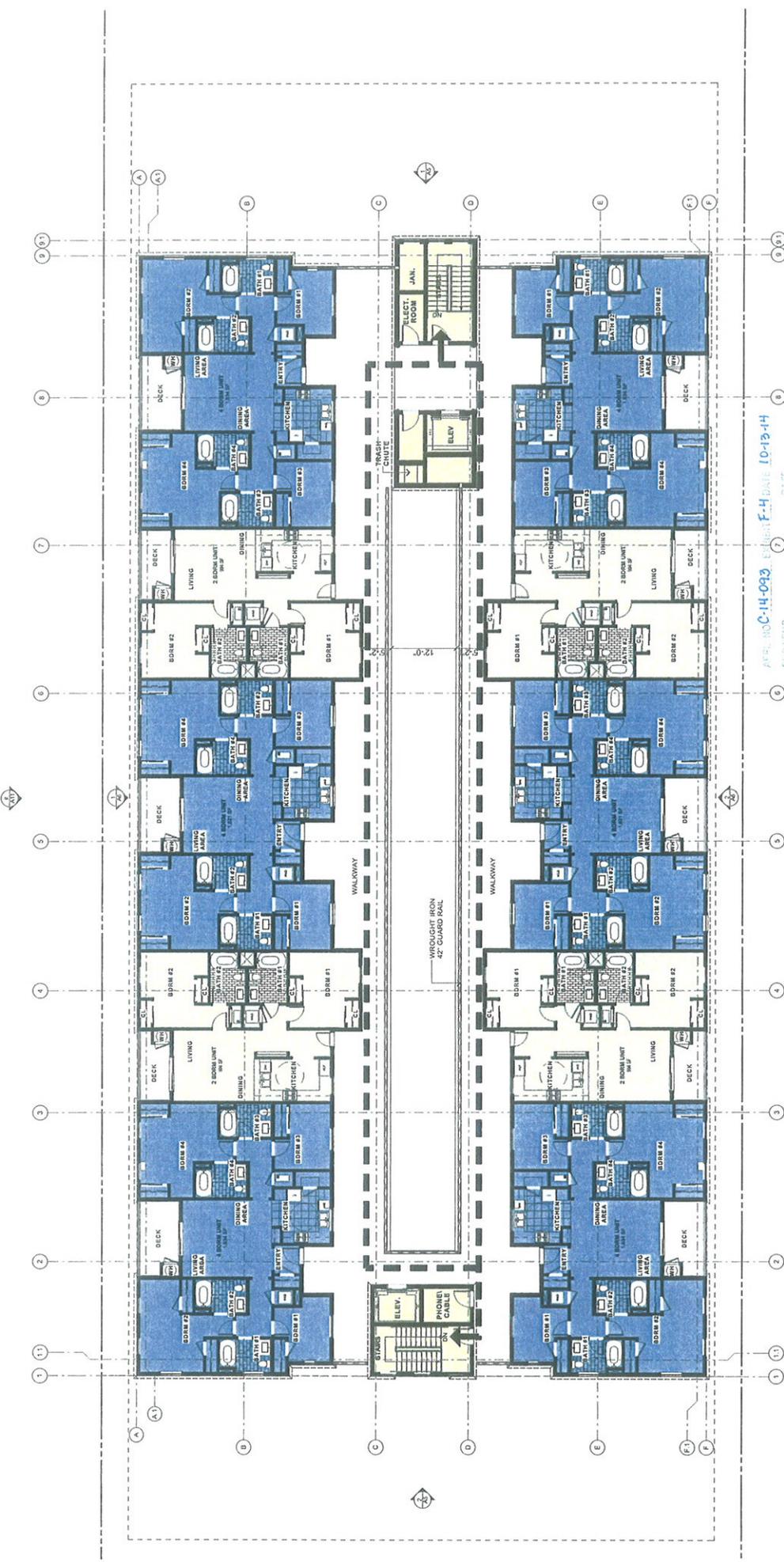
Third Floor Plan  
 SCALE 1/8" = 1'-0"

Third Floor Plan  
 A6  
 PROJECT NO. 0818 06  
 PLOT DATE 01/20/14

**BULLDOG LANE STUDENT HOUSING**  
 TRILOGY PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710



**Douglas Pancake**  
 ARCHITECTS  
 147 JAMBOREE ROAD, SECOND FLOOR, NETWORK ENERGY CALIFORNIA SQ  
 T. 541.723.3656 • F. 541.723.3643 • W. WWW.PANCAKEARCHITECTS.COM



Fourth Floor Plan  
SCALE: 1/8" = 1'-0"

APPROVED: C-14-093 EXHIBIT F-4 DATE 10-19-14  
 PROJECT ENGINEER: \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENGINEER: \_\_\_\_\_ DATE \_\_\_\_\_  
 COND. APPROVED BY: \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

Fourth Floor Plan  
A7

PROJECT NO: 12018.00  
 PLOT DATE: 6/18/2014

BULLDOG LANE STUDENT HOUSING

TRILogy PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710



Douglas Pancake  
 ARCHITECTS  
 4175 JAMBOREE ROAD SECOND FLOOR, NEWPORT BEACH, CALIFORNIA 92660  
 TEL: 949.225.4141 FAX: 949.225.4141 WWW.DGPANCAKEARCHITECTS.COM





**PROJECT:** 5219 N Millbrook Avenue  
Bulldog Lane Student Housing

**APN NO:** 418-163-06s

**GENERAL PLAN USE:** RESIDENTIAL / HIGH DENSITY  
**ZONE DISTRICT:** R-4 – MULTI FAMILY – HIGH DENSITY  
**Community plan:** Hoover  
**Specific Plan:** FYI  
**Historic Plan:** HP#136

1. Describe efforts that have been made to discuss the proposal with neighbors:
  - a. Trilogy properties llc has approached the neighboring residences, mostly multi-family dwellings and requested feedback from the onsite managers regarding the planned development. It has received a positive feedback. As the area to the west and south of the property borders on a less than desirable area, the new development is seen as a positive direction toward revitalizing the surrounding area.
2. Describe how the proposal is complementary to the surrounding neighborhood:
  - a. The proposed student apartments are similar to the surrounding multi-family neighborhood. The student housing located east of the project is Similar in concept.
3. Describe how the proposal helps implement the 2025 Fresno General Plan:
  - a. After reviewing the 2025 Fresno General plan and design of the proposed project the three elements of development are addressed in this project.
  - b. Buildings, Parking and circulation, & Landscape and amenities.
  - c. The Building is designed in style of the Mission / Tucson. The entry and parking is sited off Bulldog Lane. The building is setback from the front to allow for site amenities and landscaping.
  - d. There is currently there are no existing site trees but new trees will be planted for shade and texture.
  - e. There is currently a green belt placed at the rear of the building. The proposed project recognizes the green belt and setbacks the building to keep the greenbelt clear and renewed.
  - f. Taking from the local history and surrounding building the apartments incorporate two towers for circulation and building entry are edification of the building design. The trellis and water feature edify the entry to the apartment management office. The parking is placed under the building to screen from the surrounding area and rising up the apartment circulation from the street level. The concept of the two circulation towers is to allow for vehicle traffic from the street and pedestrian traffic to enter from the rear yard parkway.
  - g. The building tile slopped roof unifies the building and is laid out for mechanical well areas to be recessed and screened from visual site. The building is designed to be low maintained, long life cycle with materials, and tolerate with the local weather conditions. The office is located for a visual connection to the building entries and circulation spaces

1470 JAMBOREE ROAD, SECOND FLOOR, NEWPORT BEACH, CA 92660  
T: 949-720-3850 • F: 949-720-3843 • W: PANCAKEARCHITECTS.COM

- to provide general on site security. The building will have secure underground parking and bicycle parking for the residence.
- h. The South side of the building is designed for roofs, trellis, and trees to provide shade during the summer months.
  - i. The building trash enclosure is placed in the interior of the parking garage to allow for screening of the trash and recycling area. It will also provide a trash chute for the residents at each level.
  - j. The office and the main entry are edified with a water foundation feature and Trellis. While the Circulation towers with elevator, stairs, and utilities are clearly edified.
4. Describe, in detail, the proposed use(s):
- a. The 30 Unit, 96 rooms is proposed for year round student housing. There will be 12 two bedroom units and 18 four bedroom units. Each bedroom has their own bathroom and each unit has a washer & dryer for the tenants. The First level has a community room that is accessed from the management office. Giving the tenants a place to gather and hold events but also be secured by management. The use of bicycles will be encouraged to reduce the parking demand.
5. Detail the hours of operation and the number of employees:
- a. The management office will be staffed with one-two on site manager's and one maintenance staff personal. The office will be open from 9 am to 5 pm Monday thru Saturday. There will also be one tenant hired to act as the nightly manager after hours to address site issues.
6. Detail the expected daily visitors/users/guests:
- a. The daily traffic of visitors is usually on weekends. During the week. The residents attend college and college activities. The daily travel rangers from 2-3 trips per day from outside activities. During the weekends the visitor rate is estimated to be 1-2 per every unit.
7. Describe any reasonably foreseeable effects from construction and/or operation of the Site that may impact the neighbors.
- a. During the construction; The site would be impacted by the construction traffic and parking. There is parking located on the streets for day use. Typical construction would occur during the hours of 6:30 am to 5:00 pm Weekdays.
8. Detail all security measures:
- a. The proposed security of the building is for vehicle residents parking to be in the gated parking garage. Bicycle parking would also be located in the gated garage or through locked side exit doors. The office is located in the front of the building for visual connection to the parking garage, Elevator, Main building entry and the activities room. The office / building public spaces would be monitored by security cameras to monitor the rear of the building and parking garage after business hours.



DISTRICT 4 PLAN IMPLEMENTATION COMMITTEE

PROJECT REVIEW October 27, 2014

Project Record

Item 4b

PROJECT INFORMATION

Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of E. Bulldog Lane, between N. Sixth St. and N. Millbrook Ave. just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approx. 65,000 square-foot 4-story student housing project with ground level parking and 3 stories apartment living, 2 elevators, 12-two-bedroom apartments and 18-four bedroom apartments for a total of 30 units (total 96 bedrooms and 97 bathrooms) and Tuscan-style architecture.

APN: 418-163-06s

ZONING: R-4

ADDRESS: 1470 East Bulldog Lane

COMMITTEE RECOMMENDATION

APPROVE APPROVE WITH CONDITIONS DENY NO ACTION

Table with 6 columns (POULTER, CLARK, LARSON, TIMKEN, NELSON) and 5 rows (Approve, Deny, Abstain, Absent). Includes handwritten blue marks and the letter 'A' in the Absent row under NELSON.

COMMITTEE CONDITIONS / COMMENTS

A copy of the email sent by Dan Waterhouse on October 26, 2014 was provided to the committee members and the applicant.

Sid Evans was in attendance to represent the project. He stated the DRC process was about six months long; stated the site was looked as an anchor for future project; stated he met with PD to discuss security w/ video surveillance.

Chair Clark was concerned with the density, parking, and similar concerns stated in the email.

Committee member Larson was also concerned with parking.

Councilmember Caprioglio stated Fresno State wanted to get involved.

Sid Evans stated the project was in compliance with the existing R-4 zoning standards; stated parking would be restricted in the rental agreement.

Committee member Timken stated he wanted to see what Fresno States thoughts were on the project.

Committee member Larson stated there should be a meeting before the next committed meeting with applicant, sororities/fraternities, campus PD, Fresno State, and nearby neighbors.

Chair Clark continued the item to the meeting on Monday, December 8, 2014.

Staff Liaison: [Signature] Date: 10.27.14



DISTRICT 4 PLAN IMPLEMENTATION COMMITTEE

PROJECT REVIEW April 27, 2015

Project Record

Item 3a

PROJECT INFORMATION

Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of E. Bulldog Lane, between N. Sixth St. and N. Millbrook Ave. just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approx. 65,000 square-foot 4-story student housing project with ground level parking and 3 stories apartment living, 2 elevators, 12-two-bedroom apartments and 18-four bedroom apartments for a total of 30 units (total 96 bedrooms and 97 bathrooms) and Tuscan-style architecture.

APN: 418-163-06s

ZONING: R-4

ADDRESS: 1470 East Bulldog Lane

COMMITTEE RECOMMENDATION

APPROVE APPROVE WITH CONDITIONS DENY NO ACTION

Table with 6 columns (POULTER, CLARK, LARSON, TIMKEN, NELSON) and 4 rows (Approve, Deny, Abstain, Absent)

COMMITTEE CONDITIONS / COMMENTS

Sid Evans was in attendance to represent the project; Evans briefly described the project and the efforts since the October 27, 2014 meeting. There was discussion regarding parking and possible options of a sticker parking permit.

Melissa Ginotti stated there was inadequate parking and concerned with proximity to fraternities; stated Fresno State had significant concerns. Eddie Dominquez stated he had concerns with safety. Danny Smith stated he had concerns with theft.

Councilmember Caprioglio asked how to enforce student housing. Evans stated the project would be for students only. Councilmember Caprioglio stated there would be future problems with parking and noise from the Greeks; stated he could not support the project at this point.

Evans stated that additional parking may be possible with lifts to mitigate parking issue. Danny Smith suggested a shuttle service. Evans stated he was open to that.

Committee member Larson motioned to postpone the recommendation for one month and have the applicant return and report any updates to the committee. Committee member Poulter seconded the motion.

Staff Liaison: [Signature]

Date: 4-27-14



DISTRICT 4 PLAN IMPLEMENTATION COMMITTEE

PROJECT REVIEW July 27, 2015

Project Record

Item 3a

PROJECT INFORMATION

Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of E. Bulldog Lane, between N. Sixth St. and N. Millbrook Ave. just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot four-story student housing project with ground level parking and 3 stories of apartment living that include 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments for a total of 30 units (96 bedrooms) and Tuscan-style architecture. The applicant is proposing additional parking by using a lift system. See link below for information on the lift system.

(http://www.parklift.com/Independent-Access-Semi-Automatic-product.php?product\_id=21)

APN: 418-163-06s

ZONING: R-4

ADDRESS: 1470 E. Bulldog Lane

COMMITTEE RECOMMENDATION

APPROVE APPROVE WITH CONDITIONS DENY NO ACTION

Table with 6 columns (Action, Poulter, Clark, Larson, Timken, Nelson) and 5 rows (Approve, Deny, Abstain, Absent).

COMMITTEE CONDITIONS / COMMENTS

Sid Evans was in attendance to represent the project and briefly discussed the proposed project and the proposed lift system; stated there would be 75 parking spaces for the development; stated he met with Eddie Dominguez and discussed the interest of the fraternities; stated he met with Fresno State staff but an agreement was not reached; stated he proposed opportunities to the Pike Fraternity but had not heard back.

Debbie Astone, Fresno State representative, was concerned with the design of the project, land use type, and parking; stated there were discussions for the purchase of land but no agreement was reached due to the timeframe the applicant had.

Dan Waterhouse was concerned with parking, the height of the building and the projects fit within the neighborhood.

Bill Robinson stated that the operational statement stated there was communication with the neighborhood but that was not true; stated the project did not address the mall; stated the general plan says new projects would respect existing neighborhoods.

Brad Fischer stated he was not in support of the project.

Stephen Coleman asked the applicant if he had contacted any of the abutting fraternities. Sid Evans stated he had not been in contact with the two abutting fraternities but he did have conversations with the Pike fraternity.

Abigail Hudson, Fresno State ASI President, stated ASI was concerned with parking because that was a highly impacted parking area; stated the project did not fit the neighborhood at four stories.

Scott Vincent stated there were three story developments in the neighborhood; stated there were other sites in the area that should also be mentioned when discussing the neighborhood.

Sid Evans stated the project complied with the R-4 zone district requirements.

Nicholas Stephens, Fresno State ASI, stated he understood student housing could not be mandated but was concerned with safety if the project was not student housing.

Laura Rios, Council District 4, stated Councilmember Paul Caprioglio was not in support of the project as proposed.

Bob Boyd stated he was concerned with the development.

Simone Leighty was concerned with parking.

Kait Sims was concerned that the project would interfere with the community Fresno State has tried to create.

Committee Member Timken stated zoning was not always final and that the proposed project should fit in with the community.

Committee Member Poulter stated he was concerned with parking.

Committee Member Larson stated the structure was going to loom over the area; stated he wanted the buildings to fit in the area; stated he was concerned with the aesthetics and parking.

Committee Member Nelson was concerned with the project size and parking; stated she could not support the project; asked the applicant who would manage the development and how would mechanical failure for the lift be addressed. Sid Evans stated the development would be managed by Manco Abott and there would be a backup generator.

Laura Rios, District 4, stated Community Revitalization staff Pam and Danny have worked in El Dorado area to make it better.

Overall, the committee was not supportive of the project as proposed.

Larson moved and Timken seconded the motion to deny the project; motion carried (M/S/C, vote 5-0-0).

Staff Liaison:



Date:

7.27.15

CITY OF FRESNO - DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT  
REQUEST FOR COMMENTS, CONDITIONS, ENVIRONMENTAL ASSESSMENT,  
AND ENTITLEMENT APPLICATION REVIEW OF  
CONDITIONAL USE PERMIT APPLICATION NO. C-14-093

Building and Safety Svcs - Yeghia Oulashian

**Return Completed Form to:**

Joann Zuniga, Development Services/Planning  
Email [Joann.Zuniga@fresno.gov](mailto:Joann.Zuniga@fresno.gov)  
Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno CA 93721-3604

**PROJECT DESCRIPTION AND LOCATION:**

**Conditional Use Permit Application No. C-14-093** was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (*High Density Multiple Family Residential*).

APN: 418-163-06s

ZONING: R-4

ADDRESS: 1470 East Bulldog Lane

DATE ROUTED: October 17, 2014

COMMENT DEADLINE: November 1, 2014

WILL THIS PROJECT AFFECT YOUR AGENCY/JURISDICTION? (If yes, specify.)

SUGGESTION(S) TO REDUCE IMPACTS/ADDRESS CONCERNS:

REQUIRED CONDITIONS OF APPROVAL:

plans/parents  
req'd

IS ANY ADDITIONAL INFORMATION NEEDED FOR YOU TO COMPLETE YOUR REVIEW? (Be specific):

REVIEWED BY:

  
Name and Title

875C  
Telephone Number

10-20-14  
Date



**DATE:** November 4, 2014

**TO:** Christopher Preciado  
Development and Resource Management Department

**FROM:** Jairo Mata, Engineer I  
Public Works Department, Traffic and Engineering Services Division

**SUBJECT:** Conditions of Approval for **C-14-093**

**ADDRESS:** 1470 East Bulldog Lane

**APN:** 418-163-065

**ATTENTION:**

The items below require a separate process with additional fees and timelines, in addition to the CUP/SPR permit process. In order to avoid delays in obtaining a building permit, the following items shall be submitted to the Public Works contacts shown below.

X	<b>Deed (up to 2 month processing time)</b> Deed documents for the required dedications must conform to the format specified by the city and shall be prepared by the applicant's engineer. The cost of deed document processing and recordation fee must be paid at the time of deed submittal and submitted with verification of ownership <b>prior</b> to the issuance of building permits.	Jeff Beck	(559) 621-8560 jeff.beck@fresno.gov
X	<b>Cross Access:</b> A Cross Access agreement is required to establish this configuration <b>prior</b> to building permits.	Christopher Preciado	(559) 621-1463 Christopher.Preciado@fresno.gov

**PUBLIC IMPROVEMENT REQUIREMENTS**

The following requirements are based on city records and the accuracy of the existing and proposed on-site and off-site conditions depicted on the exhibits submitted. Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed.

Repair all damaged and/or off grade off-site concrete street improvements as determined by the City of Fresno Public Works Department, Construction Management Division, (559) 621-5600. Pedestrian paths of travel must also meet current ADA regulations. All existing sidewalks in excess of 2% maximum cross slope must be brought into compliance **prior** to acceptance by Public Works.

The construction of any overhead, surface or sub-surface structures and appurtenances in the public right of way is prohibited unless an encroachment permit is approved by the City

of Fresno Public Works Department, Traffic and Engineering Services Division, (559) 621-8693. Encroachment permits must be approved prior to issuance of building permits.

**North Millbrook Avenue: Local**

1. Construction Requirements:
  - a. Install a **20'** wide fire access lane to Public Works Standard **P-67**.
  - b. Contact the Fire Department for fire access lane paving material.

**East Bulldog Lane: Local**

2. Dedication Requirements
  - a. Dedicate **2'** of property for pedestrian purposes as shown on Exhibit "F-1".
3. Construction Requirements:
  - a. Construct an underground street lighting system to Public Works Standard **E-2** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-9** for Locals.
  - b. Construct a **24' – 35'** driveway approach to Public Works Standard(s) **P-2** and **P-6**. Construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A-2"**. Asphalt concrete paving per City of Fresno Public Works Standard Drawing **P-21** may be substituted for concrete.

**Street Light Construction Plans are required and shall be approved by the City Engineer.** All improvements shall be constructed in accordance with the City of Fresno, Public Works Department Standard Drawings and Specifications. The performance of any work within the public street right of way (including pedestrian and utility easements) requires a **STREET WORK PERMIT prior** to commencement of work. When preparing Street Plans and/or Traffic Control Plans, contact (Randy Schrey) at (559) 621-8807, **10 working days** in advance, to make sure that sidewalks or an approved accessible path remain open during construction. Submit construction plans for all required work, in a single package, to the City of Fresno's, Traffic and Engineering Services Division. All work shall be reviewed, approved, completed and accepted prior to obtaining a certificate of occupancy. Utility poles, street lights, signals, etc. shall be relocated as determined by the City Engineer.

All survey monuments within the area of construction shall be preserved or reset by a person licensed to practice Land Surveying in the State of California.

**Off-Street Parking Facilities and Geometrics**

1. Off-Street parking facilities and geometrics shall conform to the City of Fresno Public Works Department, Parking Manual and Standard Drawing(s) **P-21, P-22, P-23**.
2. Provide parking space needs, circulation, access, directional signs (e.g. "Entrance," "Exit," "Right Turn Only," "One Way" signs, etc.) as noted on **Exhibit "A-2"**.

**Trip Generation:** This development will generate the following Average Daily Trips (A.D.T.), based upon the code(s) of the Institute of Transportation Engineers' Trip Generation Manual shown below:

Description/ ITE code	Size	ADT	AM Peak Hour	PM Peak Hour
Apartment / 220	30 DU	200	15	19

**Traffic Signal Mitigation Impact (TSMI) Fee:** This project shall pay all applicable TSMI Fees at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual. Contact the Public Works Department, Frank Saburit at (559)621-8797.

**Fresno Major Street Impact (FMSI) Fees:** This entitlement is in the Infill Area; therefore pay all applicable City-wide regional street impact fees. Contact the Public Works Department, Frank Saburit at (559) 621-8797.

**Regional Transportation Mitigation Fee (RTMF):** Pay all applicable RTMF fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption prior to issuance of certificate of occupancy.

**Prior to resubmitting a corrected exhibit, provide the following information on the site plan:**

**A. General Requirements**

1. **Legend:** Provide line types and utility symbols
2. **Parcel of Record:** Identify the entire parcel at the time of permits and a legal description.
3. **Easements:** Identify existing and proposed, and provide dimension.
4. **Scope of work:** All items shall be listed as existing or proposed.

**B. Offsite Information:**

1. **Center Lines:** Identify on Bulldog Lane.
2. **Street Improvements and Furniture:** Identify existing and proposed curb, gutter, sidewalks (provide width), driveway approaches (provide width), etc.
3. **ADA:** Identify the required 4' minimum path of travel along the public sidewalk adjacent to property, as required by the California Administration Code (Title 24). A pedestrian easement may be required if Title 24 requirements cannot be met.

**C. Onsite Information:**

1. **Buildings:** Provide proposed building square footage.
2. **Parking Lot:**
  - a. **Stalls:** No obstructions shall be within the 2' overhang.
  - b. **Curbs and/ or Wheel Stops:** 6" high
  - c. **Circulation Aisles:** provide widths
  - d. **Disability signage:** not to be within the 2' vehicular overhang
  - e. **Paving:** per Public Works Standards **P-21, P-22, P-23**
5. **Gates:** Submit an operational statement for the proposed gate(s) to Traffic Engineering for review and approval, prior to permits.

Questions relative to these conditions may be directed to Jairo Mata at 559 621-8714 [Jairo.Mata@fresno.gov](mailto:Jairo.Mata@fresno.gov) , in the Public Works Department, Traffic and Engineering Services Division.

CITY OF FRESNO - DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT  
REQUEST FOR COMMENTS, CONDITIONS, ENVIRONMENTAL ASSESSMENT,  
AND ENTITLEMENT APPLICATION REVIEW OF  
CONDITIONAL USE PERMIT APPLICATION NO. C-14-093

Fire Department/Fire Prevention/Tech Services

**Return Completed Form to:**

Joann Zuniga, Development Services/Planning  
Email [Joann.Zuniga@fresno.gov](mailto:Joann.Zuniga@fresno.gov)  
Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno CA 93721-3604

**PROJECT DESCRIPTION AND LOCATION:**

**Conditional Use Permit Application No. C-14-093** was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (*High Density Multiple Family Residential*).

APN: 418-163-06s

ZONING: R-4

ADDRESS: 1470 East Bulldog Lane

DATE ROUTED: October 17, 2014

COMMENT DEADLINE: November 1, 2014

WILL THIS PROJECT AFFECT YOUR AGENCY/JURISDICTION? (If yes, specify.)

SUGGESTION(S) TO REDUCE IMPACTS/ADDRESS CONCERNS:

REQUIRED CONDITIONS OF APPROVAL:

*\* SEE ATTACHED DOCUMENT FOR APPROVAL.*

IS ANY ADDITIONAL INFORMATION NEEDED FOR YOU TO COMPLETE YOUR REVIEW? (Be specific):

REVIEWED BY: DAVID POUNICA, FIRE INSPECTOR II      621-4150      10.23.14  
Name and Title      Telephone Number      Date

City of



**FIRE DEPARTMENT**

**Date:** October 23, 2014

**To:** JOANN ZUNIGA, Development Services/Planning  
Development and Resource Management

**From:** DAVID POLANCO, Fire Prevention Inspector II  
Fire Department, Community Risk Reduction Unit

**Subject:** **Conditional Use Permit Application No. C-14-093 (1470 E Bulldog Lane)** was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium, 1470 East Bulldog Lane, 418-163-06s. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18 four-bedroom apartments (total 30 units ---96 bedrooms and 97 bathrooms). The property is zoned R-4 (*High Density Multiple Family Residential*).

**General**

1. This project was reviewed by the fire department only for requirements related to water supply, fire hydrants, and fire apparatus access to the buildings on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of DARM when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.
2. Fire Department back check items require a wet signature from Fire Department staff. Back check items signed by any person other than sworn Fire Department staff are invalid.
3. All revisions to plans shall be called out with a cloud or delta.
4. Provide a site plan that shows compliance with all site plan requirements noted on site

plan review.

5. Public street hydrant(s) must be installed. Coordinate location with Public Works.
6. Note on plan: Fire hydrants and access roads shall be installed, tested and approved and shall be maintained serviceable prior to and during all phases of development. The 4 1/2" outlet shall face the access lane.
7. The proposed curbing, adjacent to the new public fire hydrant, shall be installed per Public Works Standard P-67.
8. Provide note on plan: All construction work on this project is subject to interruption if the road system becomes impassable for fire apparatus due to rain or other obstacles.
9. All required fire access lanes shall be provided and maintained with an approved "all weather" surface capable of supporting 80,000 lb. vehicles (minimum 4" of base rock over compacted or undisturbed native soil or per approved engineered plans) year-around and with 24 feet minimum width or other approved method that would prevent shoulder degradation.
10. Vertical access is required for aerial truck ladder set up where buildings or portions of buildings are more than 30 feet in height at the eaves, measured from natural grade. 26' (minimum) driveways shall be located adjacent to at least one (long) side of such building. The driveway shall be located a minimum of 15 feet from the building and a maximum of 30 feet from the building. The drive shall extended 45' beyond each end of the building to allow for access to the corners of the building and to accommodate a set up area out of the collapse zone. Key Note aerial truck set-up area on plan.
11. Access drives shall have their curbs painted red and stenciled FIRE LANE every 50' or approved FIRE LANE signs posted at 50 foot intervals. Driveways shall be in alignment to accommodate the use of Fire Department aerial apparatus. Vertical access driveway's (near edge or back of parking stalls) shall be located at least 15 feet, but not more than 30 feet from the building. See plans for location(s) of fire lanes. Key Note fire lanes on plan.
12. The entire width of a required access way shall remain unobstructed to a vertical height of 13 feet, six inches. Coordinate landscape plan to meet this requirement with assumed plant growth.
13. Provide a covenant for shared firefighting access and water supply. Due to the fact the second point of access to the proposed structure is off of North Millbrook Ave and through adjoining parcels.
14. Streets listed shall be identified as fire lanes as provided in the California Vehicle Code, Section 22500.1. Designate curbs as fire lanes (red curb with "Fire Lane" in 3 inch white letters every 50 feet or approved signs every 50 feet). Signs may be used in conjunction

or in lieu of curb painting. Signs shall be in compliance with the Fresno Fire Departments Development Standard #303.

15. Provide note on site plan: Provide sign(s) (17 "x22" minimum) at all public entrance drives to the property which state "Warning – Vehicles stopped, parked or left standing in fire lanes will be immediately removed at owner's expense – 22658(a) California Vehicle Code – Fresno Police Department 621-2300."
16. If applicable for the point of access off of North Millbrook Ave; gates, posts, or other barriers suitable to the Fire Department are required to be installed at the entrance to an emergency access only roadway.
17. The entrance to all emergency accesses shall be posted with permanent signs: "FIRE ACCESS (6" letters) VEHICLES REMOVED AT OWNER'S EXPENSE (2" letters) FRESNO POLICE DEPARTMENT 621-2300 (1" letters).
18. All gates on emergency access roadways shall be provided with approved police/fire bypass lock ("Best" padlock model 21B700 series or electric cylinder switch model 1W7B2).
19. The fire department connection (FDC) shall be located in the southwest corner of the property, adjacent to the public sidewalk. See Sheet S1 for location. Key Note FDC location on plan.
20. The following are requirements for a **Fire Sprinkler Pump Room**. These notes are not to be listed on the site plan submittal, but rather notes that shall be identified on the building plan submittal and do have specific construction requirements:
  - a. The following is a clarification of this department's requirements for the placement of fire pumps. These requirements are based on NFPA 20, Section 5.12, the Department's past experiences with all types of fire pump installations, and sound fire protection engineering practice. Provide all of the following fire pump notes on plan.
  - b. Note on plan: Fire pumps shall be located in an enclosed pump room or a detached or attached pump house adjacent to the building. Non-combustible construction is preferred.
  - c. Note on plan: The pump room/house shall have a minimum ceiling height of 7 feet. A minimum of 3 feet of working space shall be provided adjacent to fire pumps and controllers.
  - d. Note on plan: Exits shall comply with the Building Code.
  - e. Note on plan: The pump house or room shall be separated from the protected building by one-hour fire resistive construction.

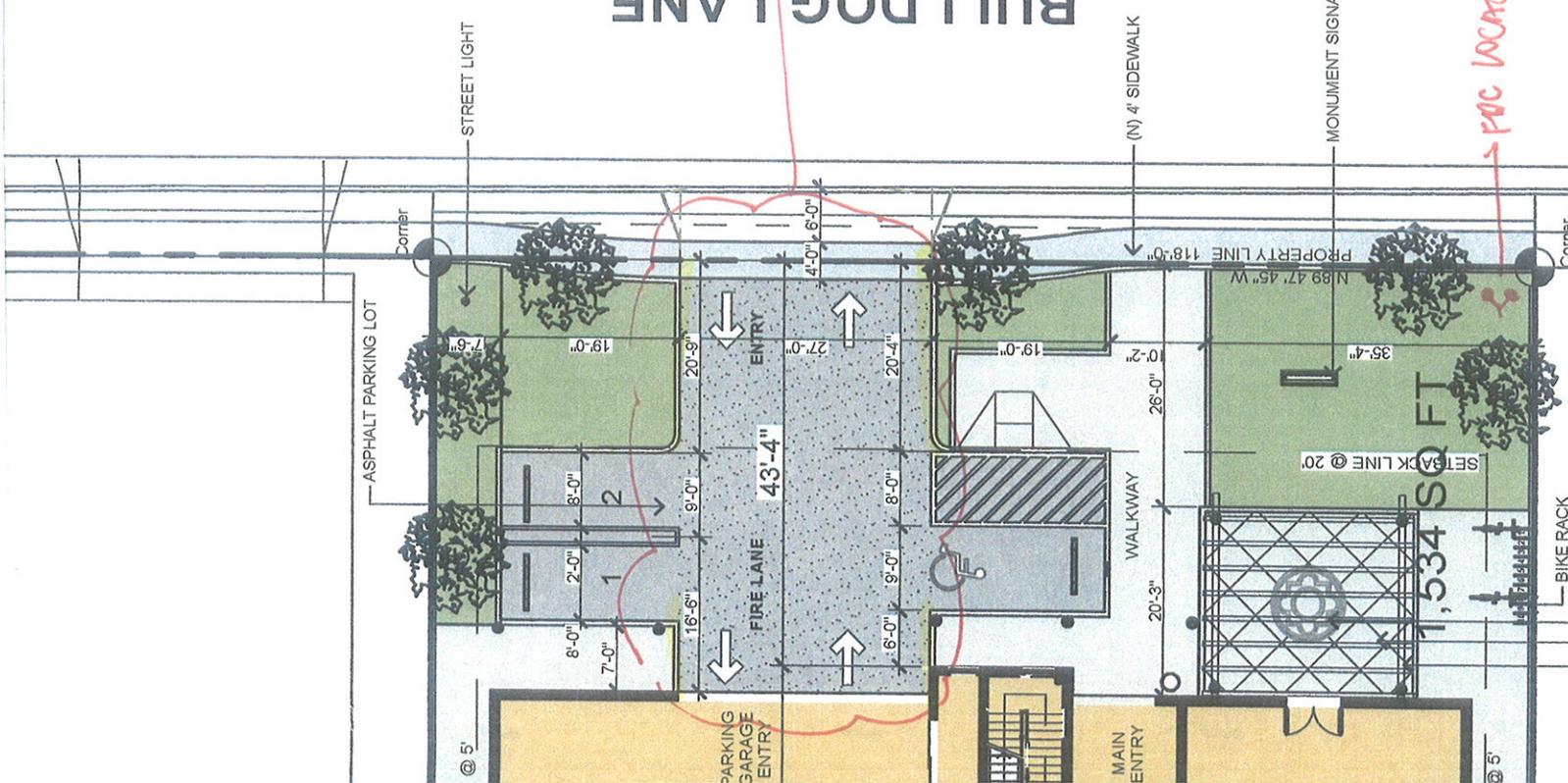
- f. Note on plan: Fire pump houses and rooms shall have fire sprinkler protection.
  - g. Note on plan: It is acceptable for a fire pump to be located in a mechanical or electrical room provided the room meets the minimum one-hour occupancy separation requirement.
  - h. Note on plan: The pump room shall have a door directly to the exterior or be accessible through a fire rated corridor.
  - i. Note on plan: Fire pump houses and rooms shall be provided with artificial lighting and fixed emergency lighting.
  - j. Note on plan: Fire pump houses and rooms shall be sloped to a floor drain piped to the building drainage system or the building exterior.
  - k. Note on plan: Means shall be provided to maintain the pump house or room above 40 degrees Fahrenheit.
  - l. Note on plan: Provisions shall be made for ventilation of the pump room or house to inhibit condensation.
  - m. Note on plan: A lock box with keys to access the fire pump shall be installed at an exterior location approved by the Fire Department.
  - n. Note on plan: Means shall be provided (in the pump house or room) to test fire pump pressure switch settings by a valve and pressure gauge installed after the pump discharge check valve and piped to drain.
  - o. Note on plan: Provide a minimum 2A:10B:C portable fire extinguisher. Show location on plan.
  - p. Note on plan: No storage is permitted in a room housing the fire pump.
  - q. Note on plan: A separate permit from the City of Fresno Development Department is required for the installation of all electrical wiring associated with the fire pump. This wiring shall be inspected and approved prior to scheduling a fire pump acceptance test. The Development Department electrical permit card must be available on site for confirmation prior to any pump testing by the fire department.
21. Additional requirements to include for building plan submittal: Be advised a fire alarm system will be required for the occupancy based on 2013 CFC, Section 907.2.9.

FIRE/POLANCO  
10-23-14

FIRE TRENCH SET-UP AREA  
FOR AERIAL APPARATUS

BULLDOG LANE

PAC LOCATION



CITY OF FRESNO - DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT  
REQUEST FOR COMMENTS, CONDITIONS, ENVIRONMENTAL ASSESSMENT,  
AND ENTITLEMENT APPLICATION REVIEW OF  
CONDITIONAL USE PERMIT APPLICATION NO. C-14-093

Return Completed Form to:  
Joann Zuniga, Development Services/Planning  
Email [Joann.Zuniga@fresno.gov](mailto:Joann.Zuniga@fresno.gov)  
Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno CA 93721-3604

PROJECT DESCRIPTION AND LOCATION:

Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (*High Density Multiple Family Residential*).

APN: 418-163-06s                      ZONING: R-4                      ADDRESS: 1470 East Bulldog Lane  
DATE ROUTED: October 17, 2014                      COMMENT DEADLINE: November 1, 2014

WILL THIS PROJECT AFFECT YOUR AGENCY/JURISDICTION? (If yes, specify.)

YES, THE PROXIMITY OF THE LOCATION TO GENERATE  
CALLS FOR POLICE SERVICES.

SUGGESTION(S) TO REDUCE IMPACTS/ADDRESS CONCERNS:

- ON-SITE SECURITY
- VIDEO SECURITY TO CAPTURE 24/7 ON ALL FLOORS + EXITS  
w/ 30 DAY STORAGE + ACCESS BY POLICE.

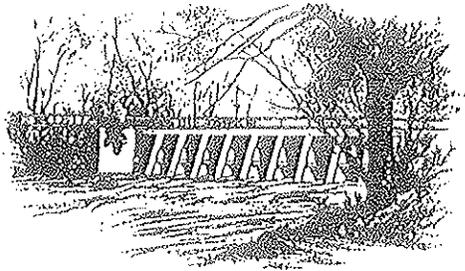
REQUIRED CONDITIONS OF APPROVAL:

- ON-SITE SECURITY
- VIDEO SECURITY TO CAPTURE 24/7 ON ALL FLOORS + EXITS  
w/ 30 DAY STORAGE + ACCESS BY POLICE.

IS ANY ADDITIONAL INFORMATION NEEDED FOR YOU TO COMPLETE YOUR REVIEW? (Be specific):

NO.

REVIEWED BY: C. LEE / POLICE                      621-6435                      10-21-14  
Name and Title                      Telephone Number                      Date



YOUR MOST VALUABLE RESOURCE - WATER



TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93725-2208

October 21, 2014

Ms. Joann Zuniga  
City of Fresno  
Development and Resource Management Department  
2600 Fresno Street, Third Floor  
Fresno, CA 93721

RE: Conditional Use Permit Application No. C-14-093  
SW Barstow and Millbrook avenues

Dear Ms. Zuniga:

The Fresno Irrigation District (FID) has reviewed the Conditional Use Permit Application No. C-14-093 pertaining to 0.79 acre of property located on the north side of Bulldog Lane, between Sixth Street and Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units – 96 bedrooms and 97 bathrooms). The property is zoned R-4 (High Density Multiple Family Residential), APN: 418-163-06s. FID has the following comments:

1. FID does not operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. For informational purposes, FID's Wolters Colony No. 104 runs northeasterly crossing Bulldog Lane approximately 1,050 feet east of the subject property as shown on the attached FID exhibit map. FID records indicate this segment of pipeline was abandoned and is no longer in use. However, the pipeline may still remain and the City may consider having the pipeline removed and plugged.

G:\Agencies\FresnoCity\Conditional Use Permit\C-14-093.doc

BOARD OF DIRECTORS President RYAN JACOBSEN, Vice-President STEVEN BALLS  
GEORGE PORTER, GREGORY BEBERIAN, JERRY PRIETO JR. General Manager GARY R. SERRATO

Ms. Joann Zuniga  
Re: CUP C-14-093  
October 21, 2014  
Page 2 of 2

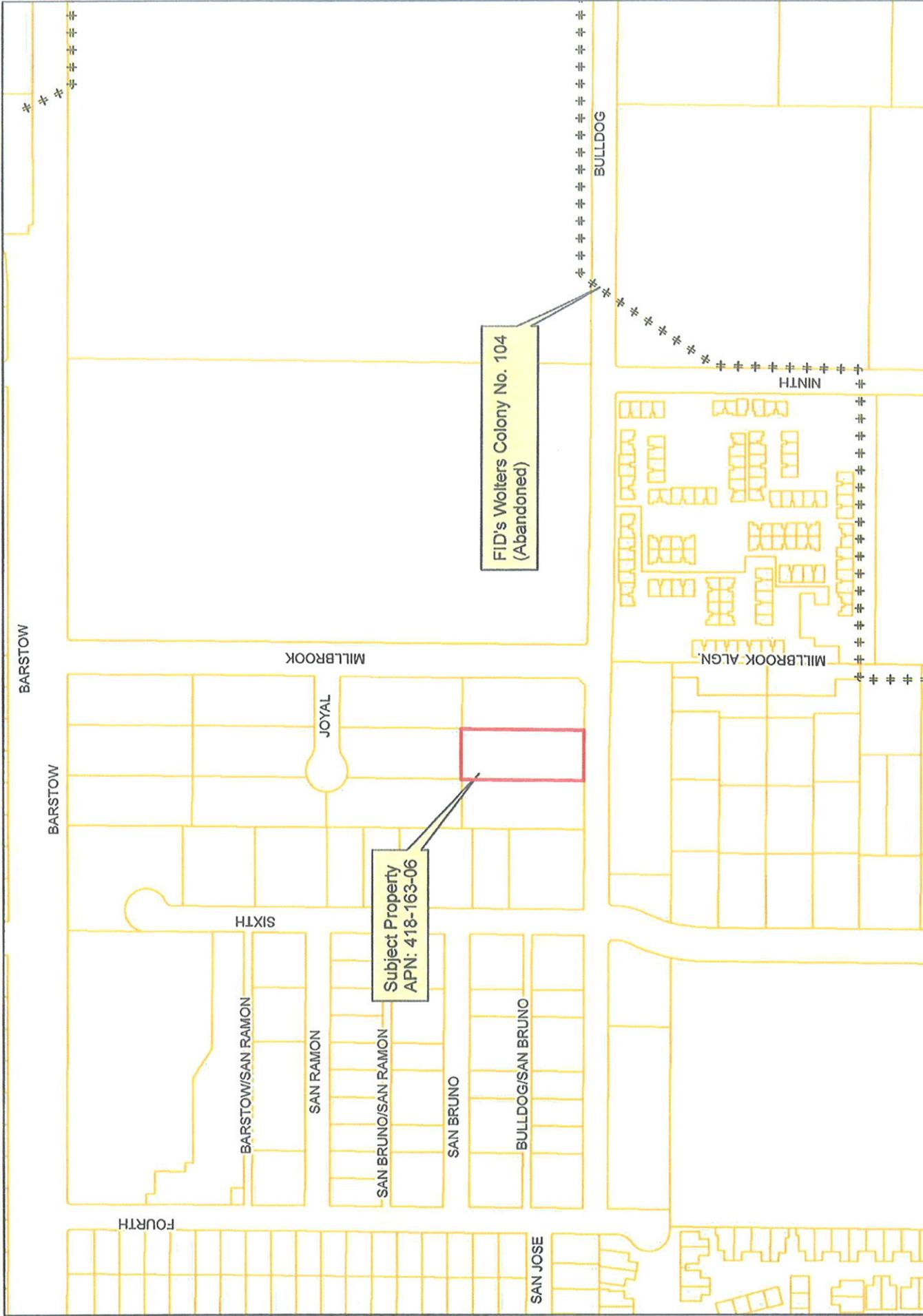
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Sen Saetern at 233-7161 extension 7406 or [ssaetern@fresnoirrigation.com](mailto:ssaetern@fresnoirrigation.com).

Sincerely,



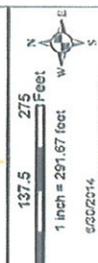
Laurence Kimura, P.E.  
Chief Engineer – Special Projects

Attachment



**Legend**

- FID Pipeline
- FID Canal
- Private Pipeline
- Private Canal
- Abandoned Canal
- Abandoned Pipeline
- Stream Group
- Other-Crook/River
- Other-Pipeline
- FID Boundary
- Railroad
- Streets & Hwys
- Parcel
- FIMFCD Acquired Basins
- FIMFCD Proposed Basins





**DATE:** October 21, 2014

**TO:** CHRISTOPHER PRECIADO, Planner II  
Development Department/Current Planning

**THROUGH:** MICHAEL CARBAJAL, Chief Engineering Technician  
Department of Public Utilities, Water Division

**FROM:** ROBERT A. DIAZ, Senior Engineering Technician  
Department of Public Utilities, Water Division

**SUBJECT: WATER REQUIREMENTS FOR CONDITIONAL USE PERMIT C-14-093**

**General**

C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium, 1470 East Bulldog Lane, 418-163-06s. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking, 45 spaces, and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18 four-bedroom apartments, total 30 units ---96 bedrooms and 97 bathrooms. The property is zoned R-4, High Density Multiple Family Residential.

**.Water Requirements**

The nearest water main to serve the proposed project is an 8-inch main in East Bulldog Lane. Water facilities are available to provide service to the site subject to the following requirements:

1. Installation of water service & meter box shall be required.
2. Seal and abandon any existing on-site well in compliance with the State of California Well Standards, Bulletin 74-90 or current revisions issued by California Department of Water Resources and City of Fresno standards.

**Water Fees**

The following Water Connection Charges and fees shall be paid for the project.

1. Water service(s) and/or meter(s) installation(s)



**DEPARTMENT OF PUBLIC UTILITIES  
ADMINISTRATION DIVISION  
MEMORANDUM**



**Date:** October 31, 2014

**To:** CHRISTOPHER PRECIADO  
Planning and Development

**From:** KEVIN GRAY, Supervising Engineering Technician  
Department of Public Utilities, Planning and Engineering Division

**Subject:** SEWER REQUIREMENTS FOR CONDITIONAL USE PERMIT C-14-093

**General**

C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium, 1470 East Bulldog Lane, 418-163-06s. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking, 45 spaces, and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18 four-bedroom apartments, total 30 units ---96 bedrooms and 97 bathrooms. The property is zoned R-4, High Density Multiple Family Residential.

**Sewer Requirements**

The nearest sanitary sewer main to serve the proposed project is an 8-inch sewer main in the 8-foot easement directly north of the property line or an 8-inch sewer main in East Bulldog Lane. Sewer facilities are available to provide service to the site subject to the following requirements:

1. Installation of sewer house branch(s) shall be required.
2. On-site sanitary sewer facilities shall be private
3. Abandon any existing on-site private septic systems.
4. The Project Developer shall contact Wastewater Management Division/Environmental Services at (559) 621-5100 prior to pulling building permits regarding conditions of service for special users.

**Sanitary Sewer Fees**

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Sewer Lateral Charge.



*A Nationally Accredited Public Utility Agency*

2. Oversize Sewer Charge.
3. Wastewater Facilities Charge (Residential Only)
4. Upon connection of this Project to the City Sewer System the owner shall be subject to payment of Sewer Facility charges per Fresno Municipal Code Section 6-304 and 6-305. Sewer Facility Charges consist of two components, a Wastewater Facilities Charge and Trunk Sewer Charge where applicable.
5. Sewer Facility Charges are collected after occupancy on a monthly basis over time based on metered (water or sewer effluent) usage. The developer may contact the Department of Public Utilities/Wastewater-Environmental Control at (559) 621-5153 to receive an estimated cost of the Sewer Facility Charges applicable to the project (based on a constant sewer discharge and loading (Biochemical Oxygen Demand [BOD] and Total Suspended Solids [TSS] levels anticipated) at the current rates in effect, at that time, per Fresno's Master Fee Resolution. The developer shall provide data regarding estimated sewer discharge rates [flow] and loading [BOD/TSS levels] required for calculating the estimated charges.



RECEIVED

NOV 07 2014

DEVELOPMENT DEPARTMENT  
CITY OF FRESNO

**DEPARTMENT OF PUBLIC UTILITIES**

**Date:** November 06, 2014

**To:** CHRISTOPHER PRECIADO, Planner II  
Development and Resource Management Department , Current Planning

**From:** MIKEAL CHICO, Management Analyst II  
Solid Waste Management Division

A handwritten signature in black ink, appearing to read "MC", located to the right of the "From:" field.

**Subject:** C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium, 1470 East Bulldog Lane, 418-163-06s. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking, 45 spaces, and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18 four-bedroom apartments, total 30 units - --96 bedrooms and 97 bathrooms. The property is zoned R-4, High Density Multiple Family Residential.

**General**

This location is serviced by a Commercial Solid Waste Franchisee. For service information, please contact Allied Waste at 559-275-1551 or 800-493-4285 .

**Does Project Affect Your Agency/Jurisdiction**

Yes - Project has or will be required to provide a trash enclosure.

**Suggestions to Reduce Impacts/Address Concerns**

The design of any new, substantially remodeled, or expanded building or other facility shall provide for proper storage or handling which will accommodate the solid waste loading anticipated and which will allow for safe and efficient waste removal.

Trash enclosures are for storage of refuse and recycling bins only; no other equipment, piping, faucets or structures are to be constructed or placed within the enclosure.

**Recommended Conditions of Approval**

Enclosure shall be built in accordance with current City of Fresno Standards P-33 and P-34.

2-cell trash enclosure required.

**Additional Information**

Revise plans to address concerns stated above and resubmit for approval.

Provide additional information. What is the slope from the trash storage area in the parking garage to the public sidewalk?

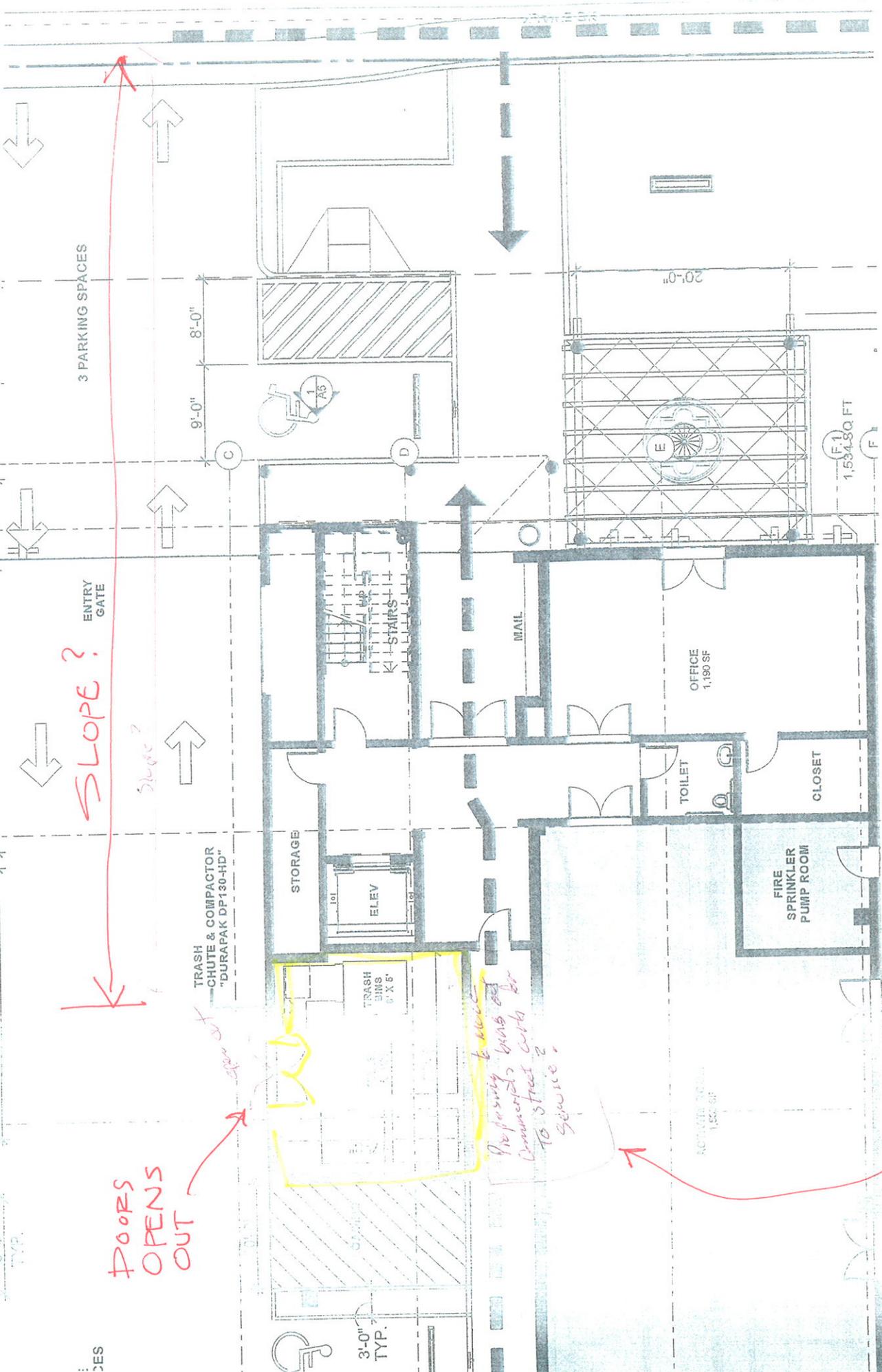
Provide detailed information on compactor unit and enclosure.

Include in the operational statement; the details involved in moving the tenant's trash and recycling materials from the apartment to the location where the materials will be removed from project site. Include comments on the proposed chute and compactor. Explain the responsibility of the tenants and property management in the process to remove the trash and recycling materials.

**Multi-Family Solid Waste Service Requirements**  
*(2 Units = 1 Cubic Yard of Solid Waste and Recyclable Pick Up Per Week)*

UNITS	CUBIC YD PU/ WK	# OF ENC	TIMES PER WEEK, ROUNDED UP, WITH BIN SIZE:					
			1 CYB	2 CYB	3 CYB	4 CYB	5 CYB	6 CYB*
30	15	1	8	4	3	2	2	1
30	15	2	4	2	1	1	1	1
30	15	3	3	1	1	1	1	0
30	15	4	2	1	1	0	0	0
30	15	5	2	1	1	0	0	0
30	15	6	1	1	0	0	0	0
30	15	7	1	1	0	0	0	0
30	15	8	1	0	0	0	0	0
30	15	9	1	0	0	0	0	0

\*6 cubic yard bin requires front load access (there are no wheels).



SLOPE?

SLOPE?

DOORS OPENS OUT

Proposing to move property bins to street with Dr. Sewer

PROPOSING TO MOVE COMMERCIAL BINS OUT TO STREET CURB FOR SERVICE

11-6-14  
DPU - SOLID WASTE

CITY OF FRESNO - DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT  
REQUEST FOR COMMENTS, CONDITIONS, ENVIRONMENTAL ASSESSMENT,  
AND ENTITLEMENT APPLICATION REVIEW OF  
CONDITIONAL USE PERMIT APPLICATION NO. C-14-093

Historic Preservation – Karana Hattersley-Drayton

**Return Completed Form to:**

Joann Zuniga, Development Services/Planning  
Email [Joann.Zuniga@fresno.gov](mailto:Joann.Zuniga@fresno.gov)  
Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno CA 93721-3604

**PROJECT DESCRIPTION AND LOCATION:**

Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (*High Density Multiple Family Residential*).

APN: 418-163-06s

ZONING: R-4

ADDRESS: 1470 East Bulldog Lane

DATE ROUTED: October 22, 2014

COMMENT DEADLINE: November 3, 2014

WILL THIS PROJECT AFFECT YOUR AGENCY/JURISDICTION? (If yes, specify.)

*Yes, This infill project is adjacent to HP 194 The Profit Home*

SUGGESTION(S) TO REDUCE IMPACTS/ADDRESS CONCERNS:

*Screening east elevation (as depicted is critical)*

REQUIRED CONDITIONS OF APPROVAL:

IS ANY ADDITIONAL INFORMATION NEEDED FOR YOU TO COMPLETE YOUR REVIEW? (Be specific):

*Visited site last spring. because this project would be on the rear elevat of historic property - we are ok*

REVIEWED BY:

Name and Title

*KC Drayton*

Telephone Number

*481-8580*

Date

*10/3/14*



Preparing Facilities Management & Planning



**BOARD OF EDUCATION**

Valerie F. Davis, President  
Lindsay Cal Johnson, Clerk  
Michelle A. Asadoorian  
Luis A. Chavez  
Christopher De La Cerda  
Carol Mills, J.D.  
Janet Ryan

**SUPERINTENDENT**

Michael E. Hanson

October 21, 2014

Joann Zuniga  
Development and Resource Management  
City of Fresno  
2600 Fresno Street, Third Floor  
Fresno, CA 93721-3604

**SUBJECT: CONDITIONAL USE PERMIT APPLICATION NO. C-14-093  
1470 E. BULLDOG LN.**

Dear Ms. Zuniga,

Fresno Unified School District submits the following response to your request for review and comment on the above referenced Conditional Use Permit Application for the construction of an approximate 65,000 square-foot 4-story student housing project consisting of 30 total units within 3 stories of apartment living and ground level parking to be located at 1470 East Bulldog Lane.

Any urban residential development occurring as a result of project approval will have an impact on the District's student housing capacity. The District, through local funding, is in a position to partially mitigate its shortage of classrooms to accommodate planned population growth for the foreseeable future. However, the District recognizes that the legislature, as a matter of law, has deemed, under Government Code Section 65996, that all school facilities impacts are mitigated as a consequence of SB 50's Level 1, 2 and 3 developer fee legislative provisions.

Any new development on the subject property is subject to development fees of \$3.36 per square foot. Any new development on the property will be subject to the development fee prior to issuance of a building permit.

The project is presently within the attendance areas of the schools identified below.

Elementary School: Wolters  
Middle School: Ahwahnee  
High School: Hoover

The district appreciates the opportunity to comment on the proposed project. Please contact our office at 457-3066 if you have any questions or require additional information regarding our comments.

Sincerely,

Jeff Friesen, Interim Executive Officer  
Facilities Management and Planning

JF:hh

## Joann Zuniga

---

**From:** Cherie Clark <Cherie.Clark@valleyair.org>  
**Sent:** Tuesday, October 21, 2014 3:46 PM  
**To:** Christopher Preciado  
**Cc:** Joann Zuniga  
**Subject:** CUP Application No. C-14-093-1470 Bulldog Lane

The San Joaquin Valley Unified Air Pollution Control District (District) has reviewed the project referenced above consisting of **the construction of a 30-unit student housing apartment building** and has no comments to offer at this time.

District staff is available to meet with you and/or the applicant to further discuss the regulatory requirements that are associated with this project. To identify District rules or regulations that apply to this project or to obtain information about District permit requirements, the applicant is strongly encouraged to contact the District's Small Business Assistance Office at (559) 230-5888. Current District rules can be found at [www.valleyair.org/rules/1ruleslist.htm](http://www.valleyair.org/rules/1ruleslist.htm).

If you have any questions or require further information, please call the District at (559) 230-6000 and ask to speak to the ISR/CEQA group.

*Cherie Clark  
Air Quality Technician  
Permits  
San Joaquin Valley APCD  
1990 E. Gettysburg Ave.  
Fresno, CA 93726  
559-230-5940*

*Service\*Teamwork\*Attitude\*Respect*



# County of Fresno

DEPARTMENT OF PUBLIC HEALTH  
DAVID POMAVILLE, DIRECTOR

October 21, 2014

Joann Zuniga  
Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno, CA 93721

LU0017845  
2602

Dear Ms. Zuniga:

PROJECT NUMBER: C-14-093

**Conditional Use Permit Application No. C-14-093** was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (High Density Multiple Family Residential).

**APN: 418-163-06s**

**ZONING: R-4**

**ADDRESS: 1470 East Bulldog Lane**

Recommended Conditions of Approval:

- Construction permits for development should be subject to assurance of sewer capacity of the Regional Wastewater Treatment Facility. Concurrence should be obtained from the California Regional Water Quality Control Board (RWQCB). For more information, contact staff at (559) 445-5116.
- Construction permits for the development should be subject to assurance that the City of Fresno community water system has the capacity and quality to serve this project. Concurrence should be obtained from the State Water Resources Control Board-Division of Drinking Water-Southern Branch. For more information, contact staff at (559) 447-3300.
- All hazardous waste shall be handled in accordance with requirements set forth in the California Code of Regulations (CCR), Title 22, Division 4.5. This Division discusses proper labeling, storage and handling of hazardous wastes.
- The proposed construction project has the potential to expose nearby residents to elevated noise levels. Construction specifications should require that all construction equipment be maintained according to manufacturers' specifications, and that noise-generating construction equipment be equipped with mufflers. Consideration should be given to your City's municipal code.

***Promotion, preservation and protection of the community's health***

1221 Fulton Mall / P.O. Box 11867 / Fresno, California 93775 / Phone (559) 600-3271 / FAX (559) 455-4646

Email: [EnvironmentalHealth@co.fresno.ca.us](mailto:EnvironmentalHealth@co.fresno.ca.us) ♦ [www.co.fresno.ca.us](http://www.co.fresno.ca.us) ♦ [www.fcdph.org](http://www.fcdph.org)

Equal Employment Opportunity ♦ Affirmative Action ♦ Disabled Employer

Joann Zuniga  
C-14-093  
October 21, 2014  
Page 2 of 2

---

REVIEWED BY:

Kevin Tsuda, R.E.H.S.  
Environmental Health Specialist II

(559) 600-3271

---

kt (CT 54.03)

cc: Sid Evans, Applicant ([sid@trilogypropllc.com](mailto:sid@trilogypropllc.com))  
John Mulcahy, Architect ([johnm@pancakearchitects.com](mailto:johnm@pancakearchitects.com))

550.10  
"M"

CITY OF FRESNO - DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT  
REQUEST FOR COMMENTS, CONDITIONS, ENVIRONMENTAL ASSESSMENT,  
AND ENTITLEMENT APPLICATION REVIEW OF  
CONDITIONAL USE PERMIT APPLICATION NO. C-14-093

FMFCD

Return Completed Form to:

Joann Zuniga, Development Services/Planning  
Email [Joann.Zuniga@fresno.gov](mailto:Joann.Zuniga@fresno.gov)  
Development and Resource Management  
2600 Fresno Street, Third Floor  
Fresno CA 93721-3604

PROJECT DESCRIPTION AND LOCATION:

Conditional Use Permit Application No. C-14-093 was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot 4-story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and 3 stories of apartment living with 2 elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (*High Density Multiple Family Residential*).

APN: 418-163-06s

ZONING: R-4

ADDRESS: 1470 East Bulldog Lane

DATE ROUTED: October 17, 2014

COMMENT DEADLINE: November 1, 2014

WILL THIS PROJECT AFFECT YOUR AGENCY/JURISDICTION? (If yes, specify.)

REFER TO FMFCD NOTICE OF REQUIREMENTS FOR CUP 2014-093.

SUGGESTION(S) TO REDUCE IMPACTS/ADDRESS CONCERNS:

SAME AS ABOVE.

REQUIRED CONDITIONS OF APPROVAL:

SAME AS ABOVE.

IS ANY ADDITIONAL INFORMATION NEEDED FOR YOU TO COMPLETE YOUR REVIEW? (Be specific):

NO.

REVIEWED BY: RICK LYONS, ENG. TECH. III 456-3292 10/31/14  
Name and Title Telephone Number Date

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

File No. 210.413

Page 1 of 4

**PUBLIC AGENCY**

CHRIS PRECIADO  
DEVELOPMENT AND RESOURCE MANAGEMENT  
CITY OF FRESNO  
2600 FRESNO STREET, THIRD FLOOR  
FRESNO, CA 93721-3604

**DEVELOPER**

SID EVANS, TRILOGY PROPERTIES, LLC  
260 NEWPORT CENTER DR., SUITE 100  
NEWPORT BEACH, CA 92660

**FR CUP No. 2014-093**

PROJECT NO: **2014-093**

ADDRESS: **1470 E. BULLDOG LN.**

APN: **418-163-06S**

SENT: **10/31/14**

Drainage Area(s)	Preliminary Fee(s)	Development Review Service Charge(s)	Fee(s)	
M	\$0.00	NOR Review	\$50.00	To be paid prior to release of District comments to Public Agency or Developer.
		Grading Plan Review	\$158.00	Amount to be submitted with first plan submittal.
		Storm Drain Plan Review		For amount of fee, refer to <a href="http://www.fresnofloodcontrol.org">www.fresnofloodcontrol.org</a> for form to fill out and submit with first plan submittal (blank copy attached).
<b>Total Drainage Fee: \$0.00</b>		<b>Total Service Charge: \$208.00</b>		

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

Pursuant to the District's Development Review Fee Policy, the subject project shall pay review fees for issuance of this Notice of Requirements (NOR) and any plan submittals requiring the District's reviews. The NOR fee shall be paid to the District by Developer before the Notice of Requirement will be submitted to the City. The Grading Plan fee shall be paid upon first submittal. The Storm Drain Plan fee shall be paid prior to return/pick up of first submittal.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/15 based on the site plan submitted to the District on 10/20/14 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 2 of 4

FR  
CUP No. 2014-093

Approval of this development shall be conditioned upon compliance with these District Requirements.

1.  a. Drainage from the site shall BE DIRECTED TO BULLDOG LANE.  
 b. Grading and drainage patterns shall be as identified on Exhibit No.  
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
  
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
 Developer shall construct facilities as shown on Exhibit No. 1 as "MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER".  
 None required.
  
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
 Grading Plan  
 Street Plan  
 Storm Drain Plan  
 Water & Sewer Plan  
 Final Map  
 Drainage Report (to be submitted with tentative map)  
 Other  
 None Required
  
4. Availability of drainage facilities:  
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
 d. See Exhibit No. 2.
  
5. The proposed development:  
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
 Does not appear to be located within a flood prone area.
  
6.  The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 3 of 4

FR  
CUP No. 2014-093

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 1997 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.   X   See Exhibit No. 2 for additional comments, recommendations and requirements.

  
Debbie Campbell  
Design Engineer

  
Rick Lyons  
Project Engineer

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 4 of 4

CC:

JOHN MULCAHY, DOUGLAS PANCAKE ARCHITECTS

1470 JAMBORIEE RD., SECOND FLOOR

NEWPORT BEACH, CA 92660

**FR CUP No. 2014-093**

**OTHER REQUIREMENTS**  
**EXHIBIT NO. 2**

In an effort to improve storm runoff quality, outdoor storage areas shall be constructed and maintained such that material that may generate contaminants will be prevented from contact with rainfall and runoff and thereby prevent the conveyance of contaminants in runoff into the storm drain system.

The District encourages, but does not require that roof drains from non-residential development be constructed such that they are directed onto and through a landscaped grassy swale area to filter out pollutants from roof runoff.

Development No. CUP 2014-093





October 31, 2014

TO: JOANN ZUNIGA, Planner III – DARM  
FROM: JARRED GARZA, Senior Engineering Technician – Airports  
SUBJECT: C-14-093 Conditional Use Permit Application Review  
1470 EAST BULLDOG LANE (APN 418-163-06s)

The proposed City of Fresno project involves the construction of an approximate 65,000 square foot 4-story student housing complex with Tuscan-style architecture. There will be ground level parking, 3 stories of apartment living, 2 elevators, with 12 two-bedroom apartments and 18 four-bedroom apartments. The site is approximately 12,768 feet north of runway 11L-29R of the Fresno Yosemite International Airport.

The following policy criteria in the Fresno Yosemite International Airport Land Use Compatibility Plan apply to the subject application:

**NOISE COMPATIBILITY**

Located outside the 65 CNEL contour

- Compatible for proposed uses

**OVERFLIGHT COMPATIBILITY**

Located outside the Airport Influence Area

- Compatible for proposed uses

**SAFETY COMPATIBILITY**

Located outside all Safety Compatibility Zones

- Compatible for proposed uses

**AIRSPACE PROTECTION**

All structures (permanent or temporary) must comply with the Federal Aviation Administration's (FAA) Part 77 Objects Affecting Navigable Airspace. The proposed project could be impacted by the imaginary 100:1 surface.

- Submit Form 7460 "Notice of Proposed Construction or Alteration" to the FAA at <https://oeaaa.faa.gov/oeaaa/external/portal.jsp>

## City of Fresno Notes and Requirements for Entitlement Applications

*(Note: Not all requirements will be applicable to all projects)*

### GENERAL

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. *This special permit is granted, and the conditions imposed, based upon the Operation Statement provided by the applicant. The Operation Statement is material to the issuance of this special permit. Unless the conditions of approval specifically require operation inconsistent with the Operation Statement, a new or revised special permit is required if the operation of this establishment changes or becomes inconsistent with the Operation Statement.* Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the special permit or any other enforcement remedy available under the law. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.
2. No uses of land, buildings, or structures other than those specifically approved pursuant to this site plan shall be permitted.
3. Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department; <http://www.fresno.gov/Government/DepartmentDirectory/PublicWorks/DeveloperDoorway/Technical+Library/StandardSpecificationsandDrawings.htm>
4. Development shall take place in accordance with all city, county, state and federal laws and regulations.
5. Owners and persons having ownership interest in businesses operating in the City of Fresno (including leasing out any commercial or industrial property, or renting out four or more dwelling units) are required by the Fresno Municipal Code to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information. Information and an application form is available at the following website: <http://www.fresno.gov/Government/DepartmentDirectory/Finance/BusinessLicenseandTax/businesstaxapplicaiton.htm>
6. All proposed building(s) or structure(s) constructed on the property must comply with the prevailing California Building Code Standards.
7. Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.

## City of Fresno Notes and Requirements For Entitlement Applications

Page 2 of 9

8. For projects initiated in response to code enforcement action, the exercise of rights granted by this special permit must be commenced by six months. Completion of the project, including improvements, shall occur by 12 months.

### FENCES/WALLS, LANDSCAPING, PARKING

9. Temporary fences to secure projects under construction are allowed. Any temporary fence shall be adequately secured and constructed to prevent overturning due to wind, vandalism, and/or casual contact by the general public. The construction shall be performed in such a manner as to minimize any potential safety hazard, which may occur as a result of improper fence installation or damage to the fence.
10. Future fences shall be reviewed and approved by the Development and Resource Management Department prior to installation.
11. No structures of any kind (*including signs and/or fences*) may be installed or maintained within the required-landscaped areas. No exposed utility boxes, transformers, meters, piping (excepting the backflow prevention device), etc., are allowed to be located in the landscape areas or setbacks or on the street frontages of the buildings. All transformers, etc., shall be shown on the site plan. The backflow device shall be screened by landscaping or such other means as may be approved.
12. Provide shade calculations on the landscape plan for parking lot shading in accordance with the attached *Development Department, Performance Standards for Parking Lot Shading*, including tree species and tree counts.
13. Disperse trees over the parking lot area to provide 50 percent shading of the parking area surface within 15 years. (This requirement may be reduced to 40 percent for existing development if it is demonstrated that the constraints of an existing site would make it impossible to meet the normal standards.) Trees shall also be planted in the required landscaped area along the periphery of the development in order to shade and enhance adjacent property and public rights-of-way. Refer to the attached "Performance Standards for Parking Lot Shading," for the tree list and further details.
14. Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety; or as may otherwise be approved by the Development and Resource Management Department.
15. Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division. **(Include this note on the site and landscape plans.)**

## City of Fresno Notes and Requirements For Entitlement Applications

Page 3 of 9

16. Prior to final inspection, a written certification, signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development Department.
17. Future tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided.
18. The parking lot design must accommodate the provision of trees in accordance with the attached Parking Lot Shading Policy.
19. A minimum number of accessible parking stalls are required for the proposed project per State of California Building Code, "Development Requirements for Handicapped Accessibility."
20. All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles. **(Include this note on the site plan.)**
21. All accessible parking stalls shall be placed adjacent to facility access ramps or in strategic areas where the handicapped shall not have to wheel or walk behind parked vehicles while traveling to or from accessible parking stalls and ramps. **(Include this note on the site plan.)**
22. Lighting where provided to illuminate parking, sales or display areas shall be hooded and so arranged and controlled so as not to cause a nuisance either to highway traffic or to the living environment. The amount of light shall be provided according to the standards of the Department of Public Works. **Depict all proposed lights on the site plan.**
23. Bicycle parking spaces shall be supplied at a rate of 10% of the automobile spaces provided pursuant to Section 12-306-I-2.1c of the Fresno Municipal Code (FMC). Bicycle parking spaces shall each consist of one slot in a bike rack. They shall be grouped in racks which allow four feet of clearance on all sides. There shall be adequate space between rack slots to park, lock, and remove bicycles. Bicycle parking spaces and the required four-foot clearance shall be protected from motor vehicle encroachment by means of fixed barriers not less than six inches or more than three in height. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures.
24. All general provisions of Section 12-306-I of the FMC shall apply to all parking areas. [http://library.municode.com/HTML/14478/level3/MUCOFR\\_CH12LAUSPLZO\\_ART3GECOAPZO.html#MUCOFR\\_CH12LAUSPLZO\\_ART3GECOAPZO\\_S12-306PRDEST](http://library.municode.com/HTML/14478/level3/MUCOFR_CH12LAUSPLZO_ART3GECOAPZO.html#MUCOFR_CH12LAUSPLZO_ART3GECOAPZO_S12-306PRDEST)

## City of Fresno Notes and Requirements For Entitlement Applications

Page 4 of 9

### SIGNAGE

25. All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment.
26. Signs, *other than directional signs, if applicable*, are not approved for installation as part of this special permit. **(Include this note on the site plan.)**
27. All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and requirements for submittal are available at the Development and Resource Management Department's Public Front Counter or online at <http://www.fresno.gov/Government/DepartmentDirectory/PlanningandDevelopment/Planning/SignsandBanners.htm>
28. Window signs are limited to four square feet in area, providing information about hours of operation and emergency, sale or rental information only. Exterior signage such as banners, flags and pennants are prohibited. However, special event banner signs are permitted for 30 days if approved by the Development and Resource Management Department, attached to the building, and not exceeding 32 square feet in area.
29. Permanent window signs over six square feet in area can be submitted for approval under a sign review application.

### MISCELLANEOUS

30. Noise levels shall not exceed the decibel levels described in Section 10-102.b of the FMC at anytime, measured at the nearest subject property line. [http://library.municode.com/HTML/14478/level3/MUCOFR\\_CH10REREPUNUREPRCOUS\\_ART1NORE.html#MUCOFR\\_CH10REREPUNUREPRCOUS\\_ART1NORE\\_S10-102DE](http://library.municode.com/HTML/14478/level3/MUCOFR_CH10REREPUNUREPRCOUS_ART1NORE.html#MUCOFR_CH10REREPUNUREPRCOUS_ART1NORE_S10-102DE)
31. There shall be adequate vehicular access from a dedicated and improved street or alley to off-street parking and loading facilities on the property requiring off-street parking and loading. Vehicular and/or pedestrian access shall be provided and shall remain clear at all times.
32. The address listed in the conditions of approval is the 'Official Address' given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Development and Resource Management Department for 'Official Addresses'. **Only those addresses assigned by the City of Fresno will be recognized as 'Official Addresses'**. The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and or/separate suites, the City of Fresno has the authority to

## City of Fresno Notes and Requirements For Entitlement Applications

Page 5 of 9

charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'.

33. All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, FMC Chapter 6, Article 7 (FMC Sections 6-701 *et seq.*)

When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed **prior to** commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet:

[www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.shtml](http://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml).

Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website, [www.casqa.org](http://www.casqa.org)

When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater regulations may be obtained from the following website: [www.waterboards.ca.gov/water\\_issues/programs/stormwater/industrial.shtml](http://www.waterboards.ca.gov/water_issues/programs/stormwater/industrial.shtml),

The California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for industrial activities ([www.casqa.org](http://www.casqa.org)).

34. Screen all roof-mounted equipment from the view of public rights-of-way. **Depict all mechanical equipment on site plan and elevations.**
35. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately. **(Include this note on the site plan.)**
36. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation. **(Include this note on the site plan.)**

## City of Fresno Notes and Requirements For Entitlement Applications

Page 6 of 9

37. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved. **(Include this note on the site plan.)**
38. Connection to a municipal water system is required unless approved measures are included in the project conditions of approval for an alternative water supply.
39. Connection to a municipal City of Fresno sewer system is required unless approved measures are included in the project conditions for alternative wastewater treatment facilities.
40. City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of issuance of building permit unless other arrangements have been approved to defer such payments to a later date. For information relating to water and sewer service requirements and connection charges, contact Frank Saburit at (559) 621-8277.
41. Open street cuts are not permitted; all utility connections must be bored.
42. **CROSS-CONNECTION CONTROL.** A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621-5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement must be satisfied prior to final occupancy.
43. This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Development and Resource Management when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.
44. Outdoor storage of materials, including ISO containers, is prohibited. All materials shall be stored within a completely enclosed building, unless approved by the Development and Resource Management Department. **(Include this note on the site plan)**
45. If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.

## City of Fresno Notes and Requirements For Entitlement Applications

Page 7 of 9

### FEES

(Not all fees will be applicable to all projects)

46. NOTICE TO PROJECT APPLICANT: In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.

#### 47. CITYWIDE DEVELOPMENT IMPACT FEES

- a) Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103) This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit.
- b) Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units)
- c) Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units)
- d) Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential units)

#### 48. CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006)

- a) Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law.
- b) Street Impact Fees will be a condition on all development entitlements granted.
- c) New construction on vacant parcels shall be calculated on a net acreage (adjusted acre basis) of the entire property subject to the development entitlement based upon planned land use. Notwithstanding, fees shall be based upon actual land use for developments in the C-M zone district and for development projects developed inconsistent with the plan land use.
- d) New construction on property that is partially developed, Street Impact Fees will be applied to the incremental increase proportionate to the respective floor to area ratios (25% for commercial and 40% for industrial). In no case shall anyone pay more than the amount of the total net acreage of the parcel multiplied by the applicable fee rate.

## City of Fresno Notes and Requirements For Entitlement Applications

Page 8 of 9

- e) Reuse being more intensive than the original use, the developer shall be required to pay the difference between the current amount of the Street Impact Fee obligation for the old use and the current amount of the Street Impact Fee obligation for the new use.

### 49. FRESNO COUNTY FACILITY IMPACT FEE

Fresno County adopted a Facilities Impact Fee, but the requirement to pay this fee was subsequently suspended by Fresno County. If the fee has been reinstated at the time of issuance of building permits for this project, or an alternative fee system has been adopted by Fresno County, proof of payment or payment of this fee will be required for issuance of building permits.

### 50. REGIONAL TRANSPORTATION MITIGATION FEE (RTMF)

Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption prior to issuance of building permits.

### 51. SCHOOL FEES

School fees must be paid, if required, prior to the issuance of building permits. Contact Central Unified School District. Provide proof of payment (or no fee required) prior to the issuance of building permits.

### 52. FRESNO METROPOLITAN FLOOD CONTROL DISTRICT (FMFCD) FEES

- a) A FMFCD Development Fee is required for review of proposed development projects, including applications for plan amendments, rezones, special permits, subdivisions, and grading plans. This fee is based on project acreage and must be paid directly to FMFCD in order for that agency to review projects and provide a Notice of Requirements. For more information, contact Fresno Metropolitan Flood Control District at (559) 456-3292.
- b) FMFCD drainage fees are due, if required, prior to issuance of building permits and are payable at the rate in place at the time of building permit issuance. Unpaid drainage fee obligations that were unpaid for a prior project at the site of a new project must be satisfied by the developer of the new project. Drainage fees may be paid at the Development and Resource Management Department prior to, or at the time of building permit issuance. They may also be paid directly to FMFCD, and proof of payment provided to the City, in order to obtain construction permits.

### 53. SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied.

- a) Lateral Sewer Charge (based on property frontage to a depth of 100')

## City of Fresno Notes and Requirements For Entitlement Applications

Page 9 of 9

- b) Oversize Sewer Charge (based on property frontage to a depth of 100')

*Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. Fresno Municipal Code Article 15, Section 12 provides property owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tiered Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Administration Division at (559) 621-8600.*

- 54. WATER CONNECTION CHARGES: (FMC Sections 6-507 to 6-513). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council **prior to** issuance of building permits may also be applied.
  - a) Frontage Charge (based on property frontage)
  - b) Transmission Grid Main Charge (based on acreage)
  - c) Transmission Grid Main Bond Debt Services Charge (based on acreage)
  - d) UGM Water Supply Fee (based on living units, living unit equivalents or acreage)
  - e) Wellhead Treatment Fee (based on living units or living unit equivalents)
  - f) Recharge Fee (based on living units or living unit equivalents)
  - g) 1994 Bond Debt Service Charge (based on living units or living unit equivalents)
  - h) Service Charges (based on service size required by applicant)
  - i) Meter Charges (based on service need)
- 55. Deferment of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of City of Fresno Resolutions Nos. 2009-265 and 2010-19.

Consider adding public art, as defined in the Fresno Municipal Code, to your commercial or residential project.

1. You can qualify for a 20% minor deviation in development standards.
2. Often public art can positively impact the value of the development.
3. Public art contributes to the "City Beautiful" and can also earn credits toward Fresno Green certification.

Want to know more about what to look for?

Key words in the definition of public art are:

- Original
- Professional artist
- Commissioned
- Public spaces

Some excellent examples of public art are located at the following places:

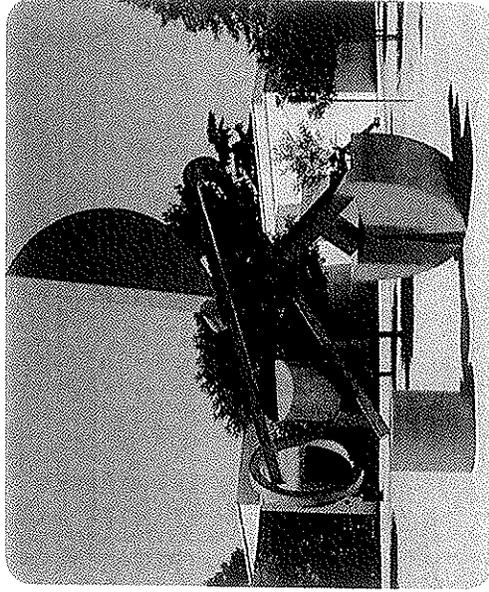
- Fulton Mall  
*Downtown Fresno*
- Duncan Ceramics  
5673 E. Shields Ave.
- Mariposa Mall  
*Downtown Fresno*
- Fig Garden Village  
*Shaw & Palm*
- Fresno Art Museum  
2233 N. First St.
- Fresno Convention Center  
848 M. St.
- Home Mortgage  
1930 E. Shields Ave.
- College Church of Christ  
1284 E. Bullard Ave.

DEVELOPERS:

Pinched for enough parking spaces?

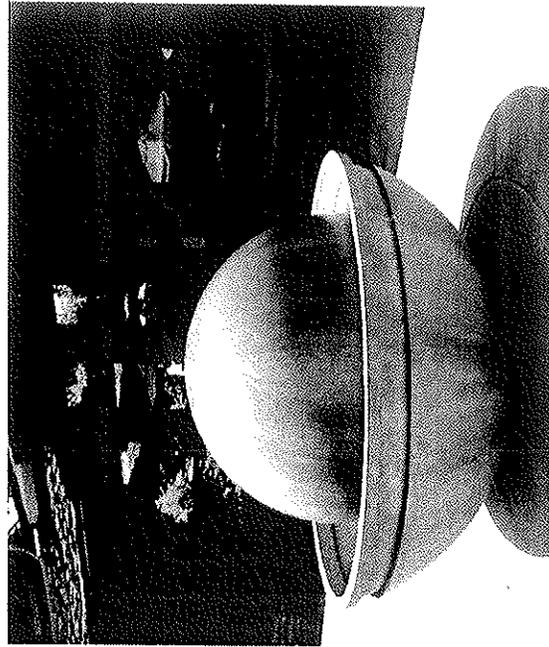
Is the property set-back a problem?

Include public art in your project and receive off-set credits



City of **FRESNO**

For more information contact:  
Karana Hattersley-Drayton  
City of Fresno  
(559) 621-8520



## What *IS* Public Art?

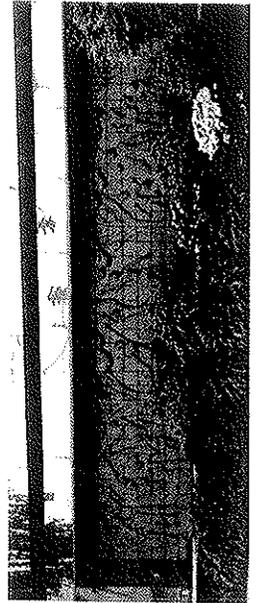
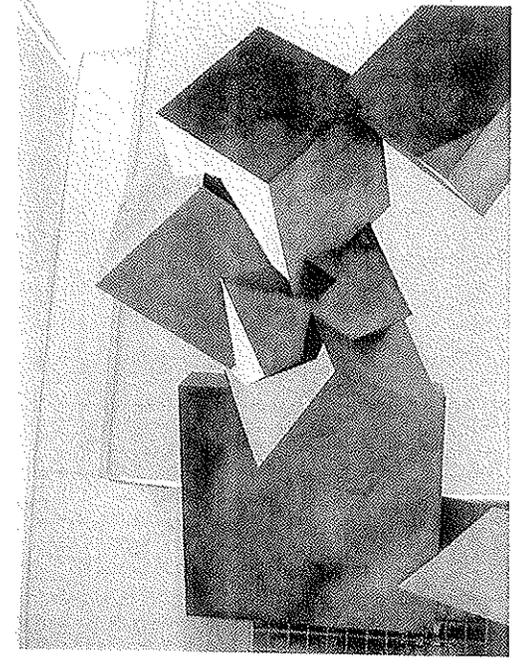
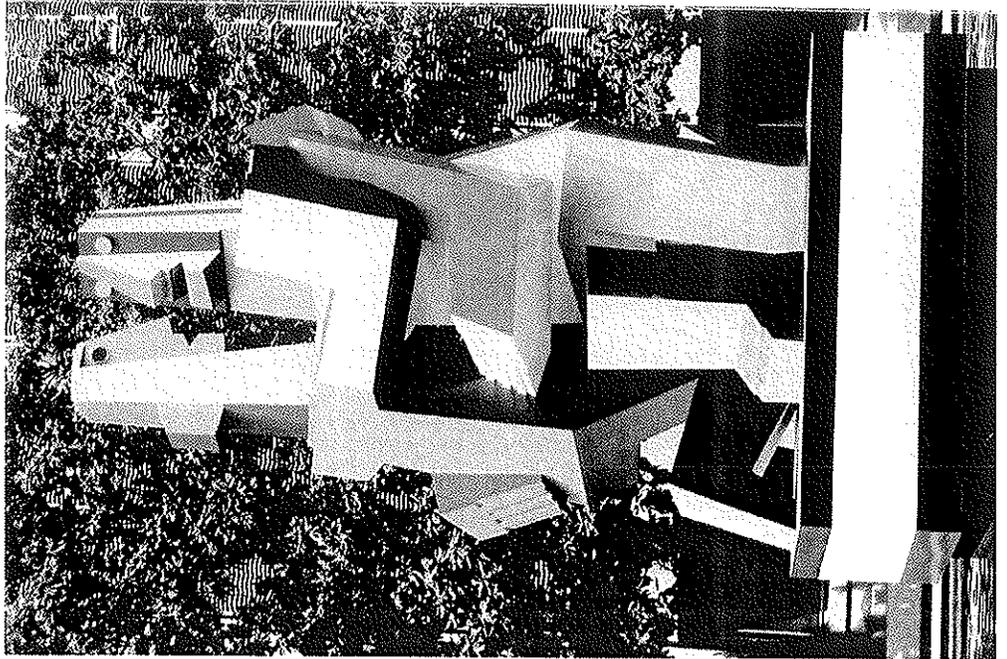
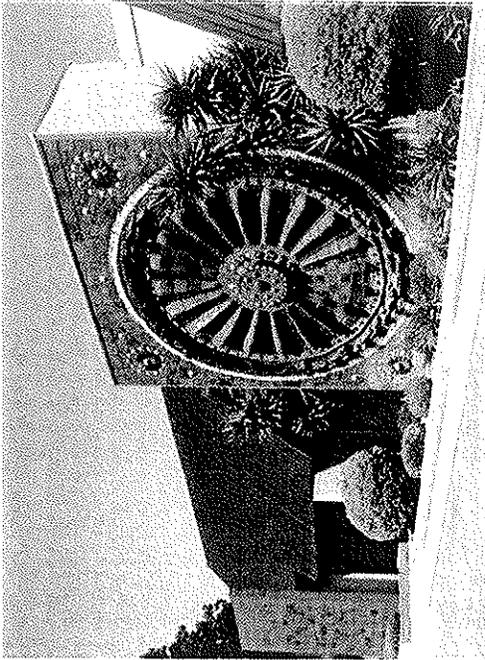
Public art is defined in Section 12-105-P-16 of Fresno's Municipal Code as "...art work for the purposes of inclusion in the development process," and includes the following:

1. Sculpture: free-standing, wall supported or suspended
2. Murals or portable paintings
3. Photography, original works of graphic art, limited edition prints, works on/of paper, original paintings
4. Earthworks, fiberworks, waterworks, neon, glass, mosaics
5. Furnishings or fixtures, including but not limited to gates, railings, streetlights or seating, if created by artists as unique elements
6. Artistic or aesthetic elements of the overall architecture or landscape design if created by a professional artist or a design team that includes a professional visual artist

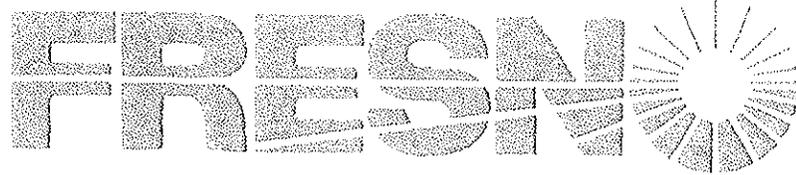
## What *IS NOT* Public Art?

- Signs, unless an integral part of an overall design created by a professional visual artist
- Mass produced "art objects," such as statues or fountains that can be purchased at home improvement centers
- Mass-produced reproductions of original art
- Architectural decorations that are intrinsic to the building, versus elements created by an artist commissioned for that purpose

Art credits: Front Cover: "Balanced-Unbalanced," Fletcher Benton, Fresno Art Museum; Inside Panel: Ceramic wall installation, Stan Bitters, Duncan Ceramics; "Dos Amanes," Adolf Odorfer, Mariposa Mall; "Sky and Ground," Raymond Rice, Fresno-Yosemite Airport; "Children at Play," Clement Renzi, Home Mortgage; "Breakout III," Bruce Beasley, Fresno Art Museum; Back Cover: "Cube Construction 2000," Cedric Wentworth, Fig Garden Village



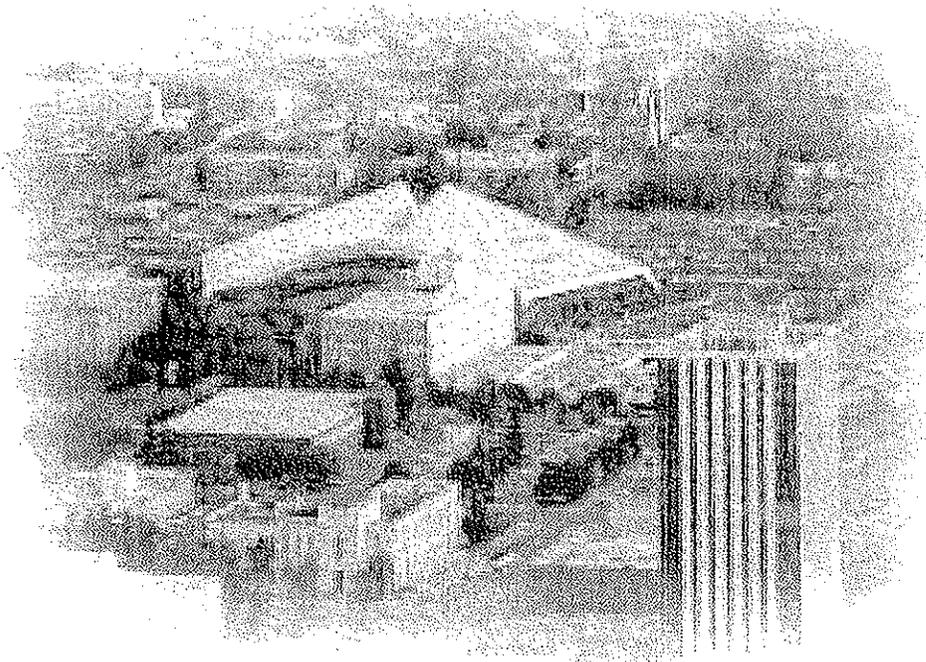
City of



# PARKING MANUAL

## Part I

ADOPTED APRIL 1, 1987



CITY OF FRESNO  
DEPARTMENT OF PUBLIC WORKS  
2600 FRESNO STREET  
FRESNO, CA. 93721-3623

## TABLE OF CONTENTS

### PURPOSE

1.	PARKING SPACE DIMENSIONS		
	A.	Passenger Vehicle Parking Space	1
	B.	Truck Loading Spaces	2
2.	DESIGN CRITERIA		
	A.	Driveway Approach Construction Standards	2
	B.	Backing onto Public Rights-of-Way	2
	C.	Access to Parking Spaces	3
	D.	Traffic Circulation Signing and Markings	3
	E.	Surface Requirements	4
	F.	Delineation of Parking Spaces	4
	G.	Physical Barriers	4
	H.	Landscaping	5
	I.	Lighting	5
	J.	Maintenance of Parking Facilities and Equipment	6
	K.	Parking Lot Design	6
3.	CRITERIA TO DETERMINE BASIC STALL SIZE		6
4.	ACCESSIBLE PARKING STALLS		8
5.	TABLES OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES		9-16
6.	DESIGN DIMENSIONS (STANDARD STALLS)		17
7.	FULL-TURN DETAIL FOR 65 DEGREES OR LESS PARKING ANGLE (STANDARD STALLS)		18
8.	FULL-TURN DETAIL FOR MORE THAN 65 DEGREES PARKING (STANDARD STALLS)		19

## PURPOSE

The purpose of this manual is to present the design standards to regulate the development of off-street parking facilities in the City of Fresno.

The design standards contained herein represent minimum requirements necessary for providing adequately developed parking facilities. For the greater part, these have been taken from the Zoning Ordinance and the Standard Specifications of the Public Works Department. In addition, standards have been developed for those special situations which have not been covered by the above two sources.

These standards deal with the method of parking vehicles in an off-street facility. In designing the parking for a given zoning or use, the Zoning Ordinance should be consulted to determine the number of parking spaces required. In addition, the developer is urged to conduct an independent parking study to determine whether these minimum standards are adequate to meet the parking demands of his specific development.

Subsection 5 of Section 12-306-I of the Fresno Municipal Code provides that the standards required in this manual shall be followed.

## PARKING DESIGN STANDARDS

### 1. PARKING SPACE DIMENSIONS

#### A. Passenger Vehicle Parking Space

There are two basic passenger vehicle parking space dimensions. 9' x 19' standard painted stalls and 8-1/2' x 16-1/2' small car (compact) painted stalls. Any parking lot or structure may install these basic stalls in accordance with criteria defined on page 6, Section 3. Should a property owner wish to reduce the two basic stall sizes by designating exclusive employee parking areas or by constructing continuous concrete curbs, the two basic stall sizes may be reduced in size. The eight cases defined below reflect dimensions for standard and small car stalls, stalls with continuous concrete curbs, and stalls designated for exclusive employee parking areas.

<u>Case#</u>	<u>Length</u>	<u>Width</u>	<u>Requirements</u>
1	19'	9'	Standard painted stall.
2	18'	9'	Standard plus continuous concrete curbs.
3	19'	8-1/2'	Standard plus designated exclusive employee parking.
4	18'	8-1/2'	Standard plus continuous concrete curbs and designated exclusive employee parking.
5	16-1/2'	8-1/2'	Compact painted stall.
6	15-1/2'	8-1/2'	Compact plus continuous concrete curbs.
7	16-1/2'	8'	Compact plus designated exclusive employee parking.
8	15-1/2'	8'	Compact plus continuous concrete curbs and designated exclusive employee parking.

The conditions that must be met in order to define which basic stall size may be used are stated in Section 3 of this manual, page 6.

### **B. Truck Loading Spaces**

A truck loading space shall be an accessible rectangle having a width of 12 feet and a length of 40 feet. Any overhead obstruction shall have a vertical clearance of 15 feet.

## **2. DESIGN CRITERIA**

### **A. Driveway Approach Construction Standards**

Driveway approaches to private property shall be constructed in conformance with the Standard Specifications of the Public Works Department, particularly Drawings P-1, P-2, P-3, and P-4, as each may apply. Special driveway approach designs not shown in the Standard Specifications may be approved by the Public Works Department for developments for which more than 200 parking spaces are provided.

Driveway approaches on public streets may not be used to furnish circulation from one row of parking to an adjacent row of parking. This traffic circulation must be provided on private property.

### **B. Backing onto Public Rights-of-Way**

Backing a vehicle onto or from public rights-of-way (public alleys exempt) is prohibited in all areas except residential areas located on streets that are classified as a local street. Parking spaces shall be designed and arranged so that it is more convenient for the parking space user to accomplish the necessary backing movements on the private property than it is to back onto or from the public right of way, where backing is prohibited.

### **C. Access to Parking Spaces**

All parking spaces must have convenient ingress and egress. Access lanes shall be clear and specifically delineated as necessary. (Except in lots with less than 10 parking stalls). All access to individual parking spaces shall be from access lanes (aisles) within the parking facility or from a public alley. Aisle widths are stated on pages 9 through 16 of this manual. Final approval of aisle widths that are designated as fire lanes shall be by the Fresno Fire Department.

**Note:** An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way, and where opposing directions are each provided in separate bays (two W-1 bays, see pages 9 through 16) or an opposing aisle is at least 13 feet wide in addition to W-1.

The parking space shall be designed so that the total process of entering and leaving a parking space shall be accomplished in no more movements than two forward and one reverse. No backing maneuver from a parking stall shall conflict or block the public street driveway approach. All such stalls shall be no closer than 20' to the property line at the driveway approach. With the exception of parking facilities having attendant parking, designing of a parking space so as to require the movement of a vehicle to permit entry or exit from another parking space is not permitted.

All required parking spaces shall be available and accessible at all times for vehicular parking purposes.

### **D. Traffic Circulation Signing and Markings**

Directional signs, arrows, and appropriate pavement marking shall be installed to control the direction of traffic flow, when deemed necessary by Public Works Department or the Director of the Development Department.

#### **E. Surface Requirements**

All parking areas shall be surfaced in accordance with the Standard Specifications of the Department of Public Works. Reference Public Works Standard P-41.

#### **F. Delineation of Parking Spaces**

All parking spaces shall be delineated by appropriate fixed curbing, painted lines (a minimum of 4" wide), or other fixed markers. Compact parking stalls or groups of parking stalls shall be individually signed or marked. Any curb painting used to indicate specific use or time limits of parking spaces shall conform to Chapter 10 of the Municipal Code of the City of Fresno.

#### **G. Physical Barriers**

Fixed physical barriers shall be installed to protect public and private property adjacent to the parking facility as well as buildings, landscaping, and appurtenances within the development which could be damaged by vehicles using the parking facility. These barriers shall be designed and constructed to facilitate easy cleaning of the parking surface.

A solid masonry wall shall be constructed when required by the zoning ordinance. When no masonry wall is required, wheel stops in the form of a 6" high concrete curb or other approved fixed barrier, placed a minimum distance of 3' from the property line, or the building to be protected, shall be installed. Landscaping shall be adequately protected to avoid damage by vehicles.

Generally, the fixed physical barrier will be placed 3 feet from the property line, or the building to be protected; however, this distance must be a minimum of 5 feet if the vehicles are permitted to back into the parking stalls.

#### **H. Landscaping**

Landscaping and irrigation systems shall be installed where required by the Zoning Ordinance or other condition to zoning. For those parking facilities where landscaping is not required, the developer is encouraged to install landscaping to improve the appearance of his premises and of the general neighborhood.

#### **I. Lighting**

A lighting system shall be installed on all off-street parking areas. This lighting system shall be designed to produce a minimum maintained average light level of one-half (1/2) foot candle on the entire parking facility's horizontal surface, including the parking spaces, the loading spaces and the vehicular and pedestrian circulation areas.

The system shall have a maximum brightness ratio of 6 to 1.

The lighting fixtures shall be hooded and so arranged and controlled as not to cause a nuisance either to highway traffic or adjacent properties. When the parking facility is open to the public during darkness, this lighting system shall be operating sufficiently to produce the required minimum of one-half (1/2) foot-candle.

All lighting designs are subject to review and approval by the City.

#### J. Maintenance of Parking Facilities and Equipment

All paving, directional devices and protective equipment, landscaping, and other equipment furnished or required on the parking facility shall be maintained to insure safe pedestrian movement, vehicular operation, adequate protection of adjoining properties, and to present a neat and attractive appearance of the facility.

#### K. Parking Lot Design

The design of parking lots shall conform to the minimum standards shown on pages 9 through 16.

### 3. CRITERIA TO DETERMINE BASIC STALL SIZE

- A. Any parking lot or structure may use **Case #1** stall dimensions for design.
- B. In order to use **Case #2** dimensions a 6" high continuous concrete curb must be used. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 3'.
- C. To use **Case #3** dimensions 90% of the parking area must be designated for the exclusive use of employees. The 10% of the parking area closest to the main building entrance must be reserved for customer/visitor parking. This 10% must be designed to **Case #1 or #2** standards.
- D. **Case #4** dimensions may be used as stated in **Case #3** if a 6" high continuous concrete curb is constructed. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 3'.

E. **Case #5** reflects the basic size for small car spaces in lots or structures. 8-1/2' x 16-1/2' is the basic dimension. Up to twenty-five percent (25%) of the parking spaces in any given parking lot in the commercial, industrial, manufacturing, school, or hospital zone districts may be designated for small cars. Other long term parking areas may also be considered by the director. Residential uses may not use small car standards **Cases #5 through #8**. Before any small car standards (**Cases #5 through #8**) are allowed 10 standard size stalls (**Cases #1 through #4**) must be provided. These 10 standard size stalls must be located on the site closest to the main building entrance. 50% of the standard size stalls excluding the required 10 minimum and the required handicap stalls must be located on the site closest to the main entrance (up to 25 spaces). On lots exceeding 70 stalls, 25 standard size and handicap stalls shall be located on the site closest to the main entrance.

F. **Case #6** dimensions may be used with the same criteria stated in **Case #5** with the addition of a 6" high continuous concrete curb. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 2'.

G. **Case #7** dimensions may be used if 90% of the parking area is designed for the exclusive use of employees. The 10% of parking area closest to the main building entrance must be reserved for customer/visitor parking. This 10% must be designed to **Case #1** or **#2** standards.

H. Case #8 dimensions may be used as stated in Case #7 if a 6" high continuous concrete curb is constructed. Concrete wheel stops are not an acceptable substitute. The allowable front vehicle overhang is 2'.

Access to all spaces shall conform to the parameters outlined in Section 2-C of this manual. If a common space is to be provided serving both small cars and standard size cars, the minimum dimensions for standard cars shall apply.

#### 4. ACCESSIBLE PARKING STALLS

Accessible Parking Stalls shall be provided as required in the zoning ordinance. Accessible parking for people with disabilities should be consistent with current State and Federal Guidelines.

For more information about California State requirements for accessible parking, you can visit the California Division of State Architect (DSA) website at:

<http://www.dsa.dgs.ca.gov/Access/default.htm>

You can view the DSA's California Access Compliance Reference Manual (revised June of 2006) at::

[http://www.dsa.dgs.ca.gov/Access/ud\\_accessmanual.htm](http://www.dsa.dgs.ca.gov/Access/ud_accessmanual.htm)

checklist for accessible parking at:

[http://www.documents.dgs.ca.gov/dsa/pubs/checklists\\_06-16-06.pdf](http://www.documents.dgs.ca.gov/dsa/pubs/checklists_06-16-06.pdf)

The ADA Standards for Accessible Design are available at the US Department of Justice Website:

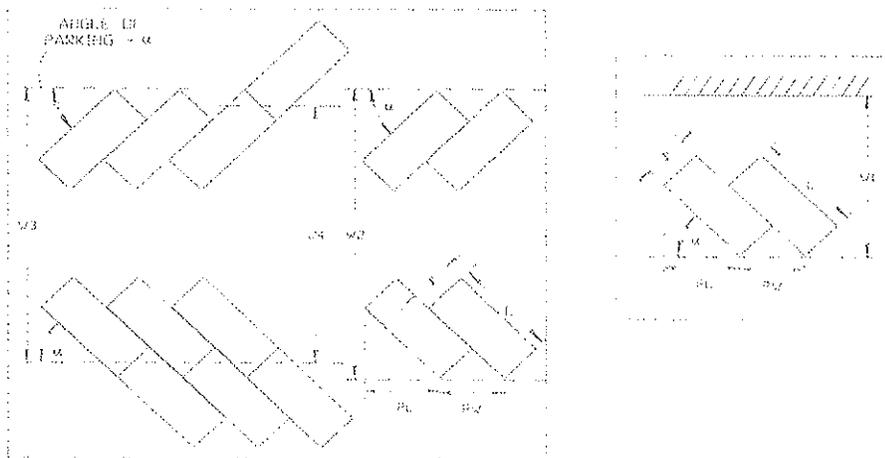
<http://www.ada.gov/stdspdf.htm>

5. TABLE OF DESIGN DIMENSION FOR VARIOUS PARKING ANGLES

(See pages 9-16)

**TABLE OF DESIGN DIMENSION FOR VARIOUS PARKING ANGLES**  
CASE - 1

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	29.5	46.5	42.5	39.0	12.0	29.9	18.0
35.0	30.5	48.5	45.0	41.0	12.0	26.1	15.7
40.0	31.0	50.0	47.0	43.5	12.0	22.8	14.0
45.0	32.0	51.5	48.5	45.0	12.0	19.8	12.7
50.0	33.5	53.5	51.0	48.0	13.0	17.1	11.8
55.0	33.5	54.5	52.0	49.5	13.0	14.5	11.0
60.0	35.0	56.0	53.5	51.5	14.0	12.1	10.4
65.0	37.0	58.0	56.0	54.0	16.0	9.8	9.9
70.0	39.0	60.0	58.5	57.0	18.0	7.6	9.6
75.0	40.5	61.5	60.0	59.0	20.0	5.5	9.3
80.0	43.5	63.5	63.0	62.0	23.0	3.6	9.1
85.0	44.5	64.5	64.0	63.5	25.0	1.7	9.0
90.0	47.0	65.0	65.0	65.0	27.0	0.0	9.0

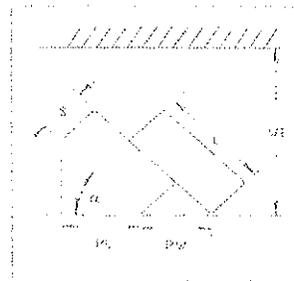
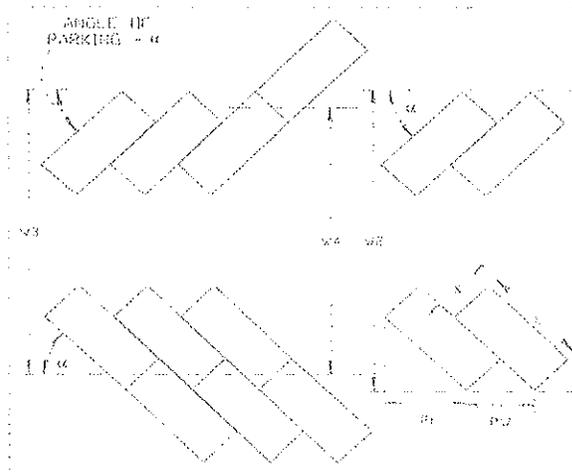


S = 9.0 ft.  
L = 19.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES  
CASE - 2

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	29.0	45.5	41.5	38.0	12.0	29.1	18.0
35.0	29.5	47.5	43.5	40.0	12.0	25.3	15.7
40.0	30.5	49.0	45.5	42.0	12.0	22.0	14.0
45.0	31.0	50.0	47.0	44.0	12.0	19.1	12.7
50.0	32.5	52.0	49.5	46.5	13.0	16.4	11.8
55.0	33.0	53.0	50.0	47.5	13.0	13.9	11.0
60.0	34.0	54.0	52.0	49.5	14.0	11.6	10.4
65.0	36.0	56.0	54.5	52.5	16.0	9.4	9.9
70.0	38.0	58.0	56.5	55.0	18.0	7.3	9.6
75.0	39.5	59.5	58.5	57.0	20.0	5.3	9.3
80.0	42.5	61.5	61.0	60.0	23.0	3.4	9.1
85.0	43.5	62.5	62.0	61.5	25.0	1.6	9.0
90.0	46.0	63.0	63.0	63.0	27.0	0.0	9.0

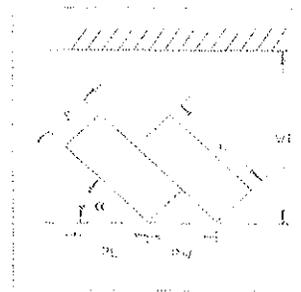
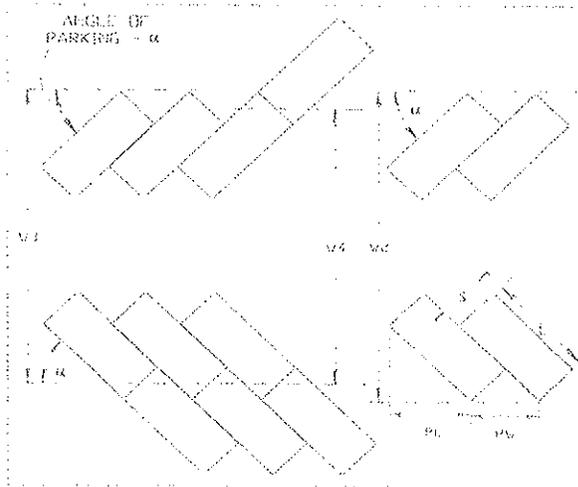


S = 9.0 ft.  
L = 18.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES  
CASE -3

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L	PW
30.0	29.0	45.5	42.0	38.5	12.0	29.2	17.0
35.0	30.0	47.5	44.0	41.0	12.0	25.5	14.8
40.0	30.5	49.5	46.0	43.0	12.0	22.3	13.2
45.0	31.5	51.0	48.0	45.0	12.0	19.5	12.0
50.0	33.0	53.0	50.5	47.5	13.0	16.8	11.1
55.0	33.5	54.0	51.5	49.0	13.0	14.3	10.4
60.0	34.5	55.5	53.5	51.0	14.0	12.0	9.8
65.0	37.0	57.5	56.0	54.0	16.0	9.7	9.4
70.0	39.0	59.5	58.0	56.5	18.0	7.6	9.1
75.0	40.5	61.0	60.0	59.0	20.0	5.5	8.8
80.0	43.0	63.5	62.5	62.0	23.0	3.6	8.6
85.0	44.5	64.5	64.0	63.5	25.0	1.7	8.5
90.0	47.0	65.0	65.0	65.0	27.0	0.0	8.5



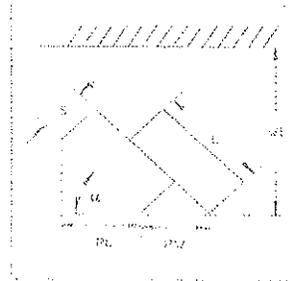
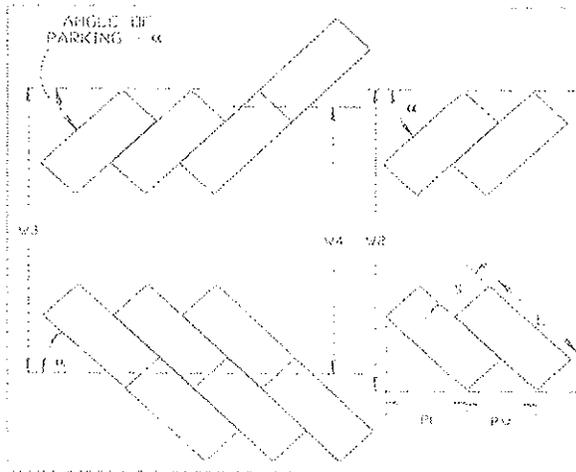
S = 8.5 ft.

L = 19.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES  
CASE - 4

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	28.5	44.5	41.0	37.5	12.0	28.3	17.0
35.0	29.5	46.5	43.0	39.5	12.0	24.7	14.8
40.0	30.0	48.0	45.0	41.5	12.0	21.6	13.2
45.0	30.5	49.5	46.5	43.5	12.0	18.7	12.0
50.0	32.5	51.5	49.0	46.0	13.0	16.2	11.1
55.0	32.5	52.0	50.0	47.5	13.0	13.7	10.4
60.0	34.0	53.5	51.5	49.5	14.0	11.5	9.8
65.0	36.0	56.0	54.0	52.0	16.0	9.3	9.4
70.0	38.0	57.5	56.0	54.5	18.0	7.2	9.1
75.0	39.5	59.0	58.0	57.0	20.0	5.3	8.8
80.0	42.0	61.5	60.5	60.0	23.0	3.4	8.6
85.0	43.5	62.5	62.0	61.5	25.0	1.6	8.5
90.0	46.0	63.0	63.0	63.0	27.0	0.0	8.5



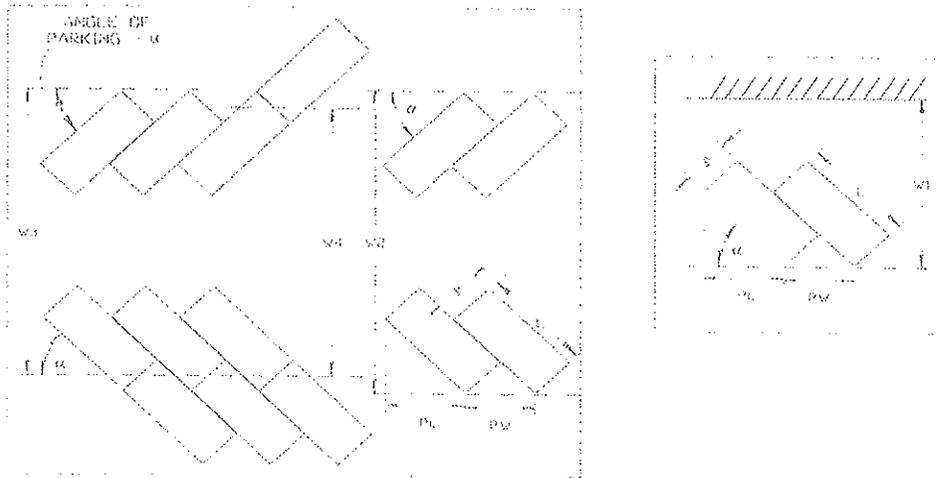
S = 8.5 ft.

L = 18.0 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES  
CASE -5

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.5	43.0	39.5	36.0	12.0	27.0	17.0
35.0	28.5	45.0	41.5	38.0	12.0	23.5	14.8
40.0	29.0	46.0	43.0	39.5	12.0	20.4	13.2
45.0	29.5	47.5	44.5	41.5	12.0	17.7	12.0
50.0	31.0	49.0	46.5	43.5	13.0	15.2	11.1
55.0	31.5	50.0	47.5	45.0	13.0	12.9	10.4
60.0	32.5	51.0	49.0	47.0	14.0	10.7	9.8
65.0	34.5	53.0	51.5	49.5	16.0	8.7	9.4
70.0	36.5	55.0	53.5	52.0	18.0	6.7	9.1
75.0	38.0	56.5	55.0	54.0	20.0	4.9	8.8
80.0	40.5	58.5	57.5	57.0	23.0	3.1	8.6
85.0	42.0	59.5	59.0	58.5	25.0	1.5	8.5
90.0	44.5	60.0	60.0	60.0	27.0	0.0	8.5



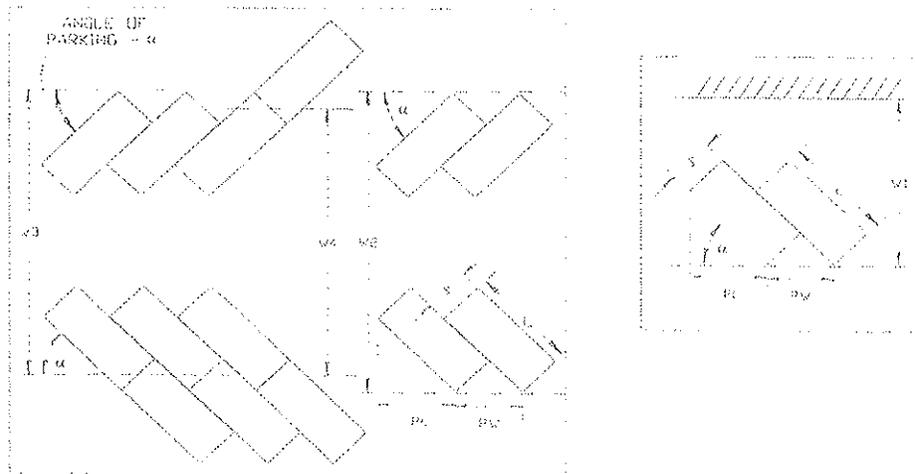
S = 8.5 ft.

L = 16.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES  
CASE - 6

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.0	42.0	38.5	35.0	12.0	26.2	17.0
35.0	28.0	43.5	40.0	36.5	12.0	22.6	14.8
40.0	28.5	45.0	41.5	38.5	12.0	19.6	13.2
45.0	29.0	46.0	43.0	40.0	12.0	17.0	12.0
50.0	30.5	47.5	45.0	42.0	13.0	14.6	11.1
55.0	30.5	48.0	45.5	43.5	13.0	12.3	10.4
60.0	31.5	49.5	47.0	45.0	14.0	10.2	9.8
65.0	33.5	51.5	49.5	47.5	16.0	8.2	9.4
70.0	35.5	53.0	51.5	50.0	18.0	6.4	9.1
75.0	37.0	54.5	53.0	52.0	20.0	4.6	8.8
80.0	39.5	56.5	55.5	55.0	23.0	3.0	8.6
85.0	41.0	57.5	57.0	56.5	25.0	1.4	8.5
90.0	43.5	58.0	58.0	58.0	27.0	0.0	8.5



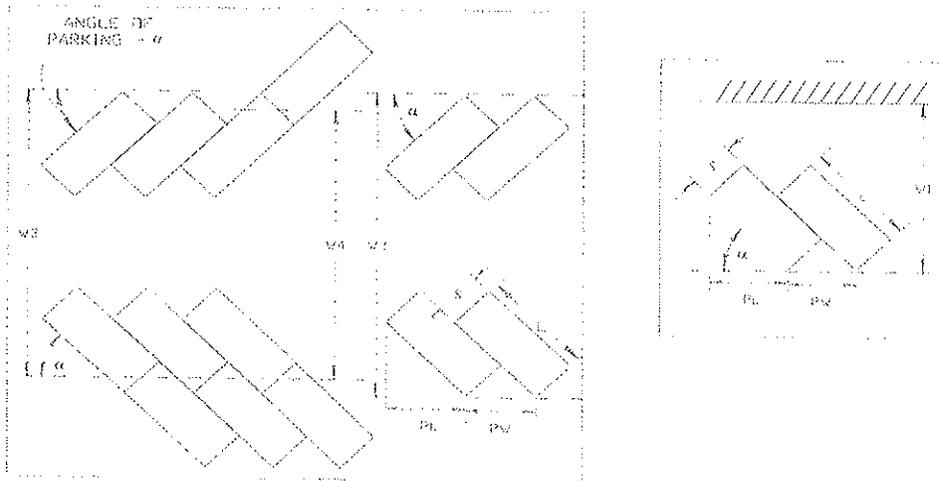
S = 8.5 ft.

L = 15.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES  
CASE - 7

ANGLE OF PARKING	PARKING BY DIMENSIONS				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	27.0	42.5	39.0	35.5	12.0	26.3	16.0
35.0	28.0	44.0	41.0	37.5	12.0	22.9	14.0
40.0	28.5	45.5	42.5	39.5	12.0	19.9	12.5
45.0	29.5	46.5	44.0	41.0	12.0	17.3	11.3
50.0	31.0	48.5	46.0	43.5	13.0	14.9	10.4
55.0	31.0	49.0	47.0	44.5	13.0	12.7	9.8
60.0	32.5	50.5	48.5	46.5	14.0	10.6	9.2
65.0	34.5	52.5	51.0	49.5	16.0	8.6	8.8
70.0	36.0	54.5	53.0	51.5	18.0	6.6	8.5
75.0	38.0	56.0	55.0	54.0	20.0	4.8	8.3
80.0	40.5	58.5	57.5	57.0	23.0	3.1	8.1
85.0	42.0	59.5	59.0	58.5	25.0	1.5	8.0
90.0	44.5	60.0	60.0	60.0	27.0	0.0	8.0



S = 8.0 ft.

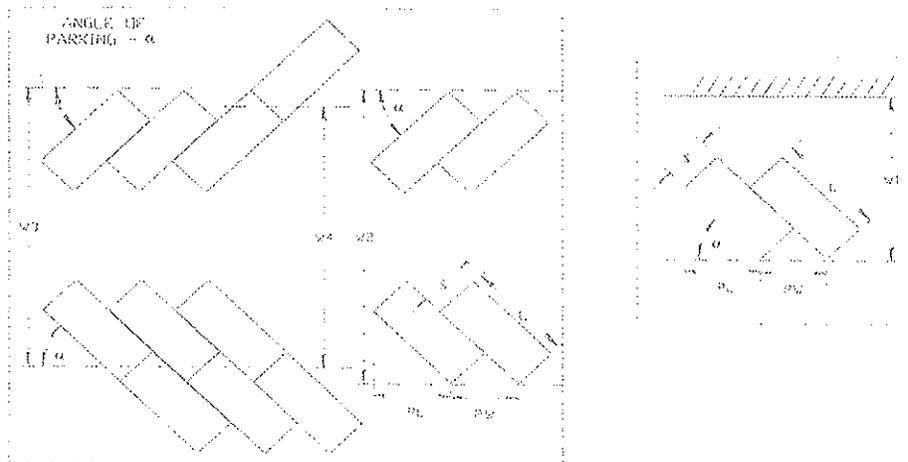
L = 16.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

TABLE OF DESIGN DIMENSIONS FOR VARIOUS PARKING ANGLES

CASE - 8

ANGLE OF PARKING	PARKING BY DIMENSION				AISLE WIDTH	DESIGN LAYOUT DIMENSION	
	W-1	W-2	W-3	W-4		P.L.	P.W.
30.0	26.5	41.5	38.0	34.5	12.0	25.4	16.0
35.0	27.5	43.0	39.5	36.5	12.0	22.1	14.0
40.0	28.0	44.0	41.0	38.0	12.0	19.2	12.5
45.0	28.5	45.0	42.5	39.5	12.0	16.6	11.3
50.0	30.0	47.0	44.5	42.0	13.0	14.3	10.4
55.0	30.5	47.5	45.5	43.0	13.0	12.1	9.8
60.0	31.5	49.0	47.0	45.0	14.0	10.1	9.2
65.0	33.5	51.0	49.0	47.5	16.0	8.1	8.8
70.0	35.5	52.5	51.0	50.0	18.0	6.3	8.5
75.0	37.0	54.0	53.0	52.0	20.0	4.6	8.3
80.0	39.5	56.5	55.5	55.0	23.0	2.9	8.1
85.0	41.0	57.5	57.0	56.5	25.0	1.4	8.0
90.0	43.5	58.0	58.0	58.0	27.0	0.0	8.0

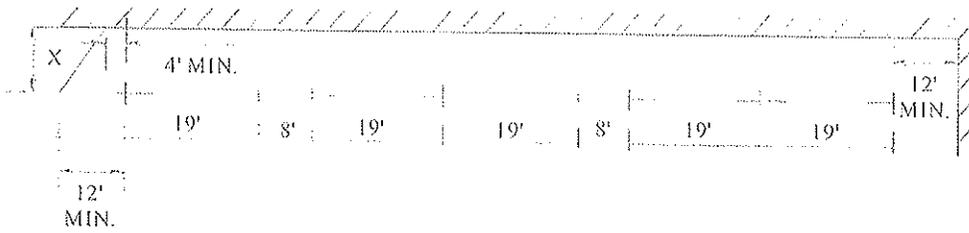
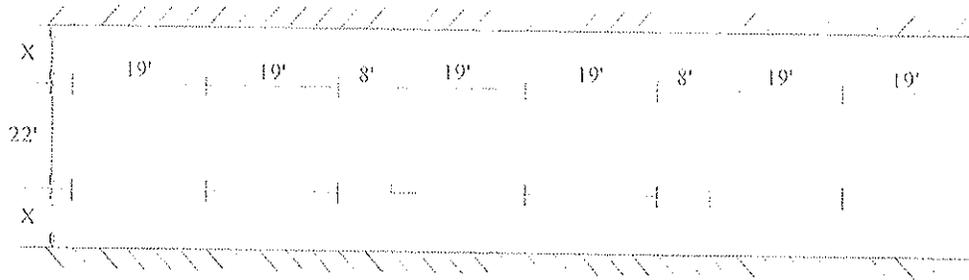


S = 8.0 ft.

L = 15.5 ft.

Note: An aisle way which provides direct access to parking stalls shall be a one-way aisle, except for parking stalls which are perpendicular or parallel to the aisle way.

6. PARALLEL PARKING DESIGN DIMENSIONS (STANDARD STALLS)

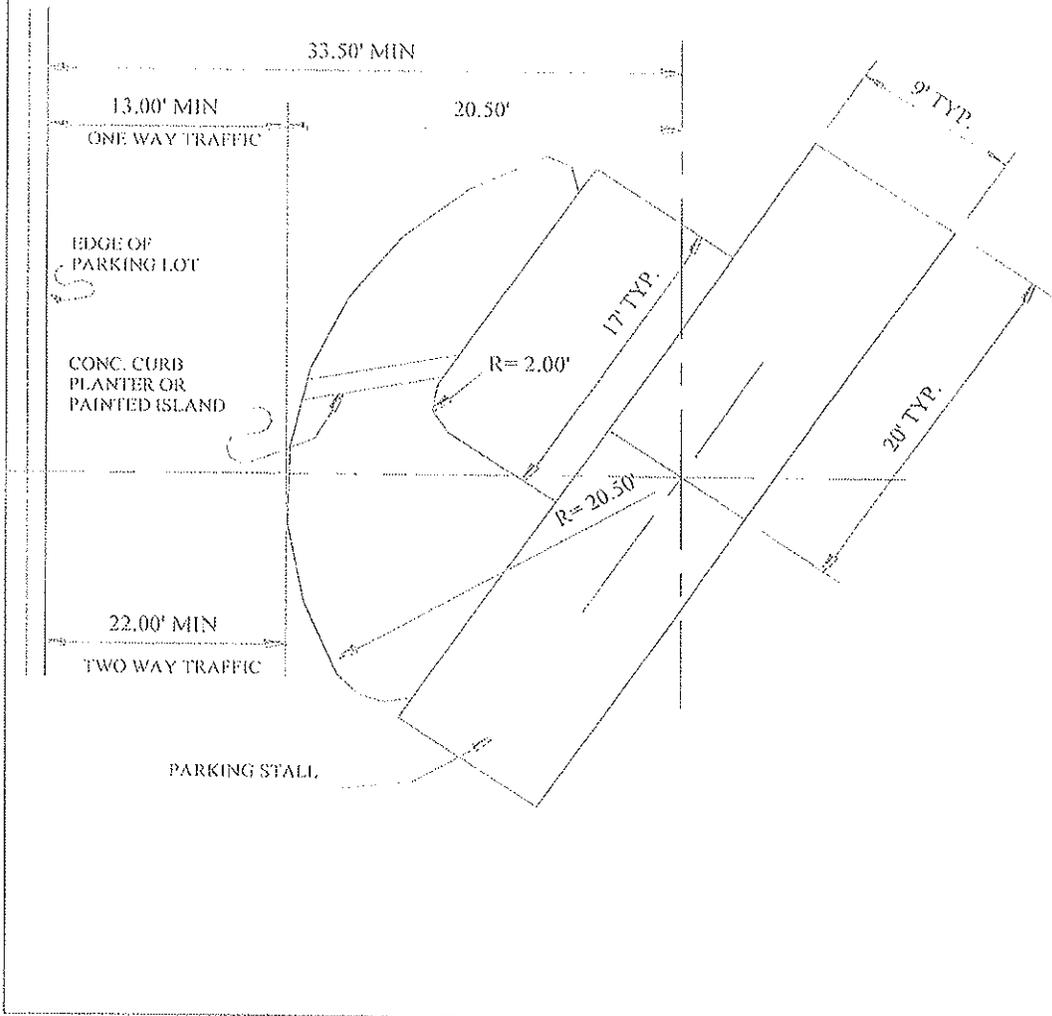


X = 10' IF ADJACENT TO AN OBSTRUCTION OVER 8" HIGH SUCH AS A WALL OR FENCE.

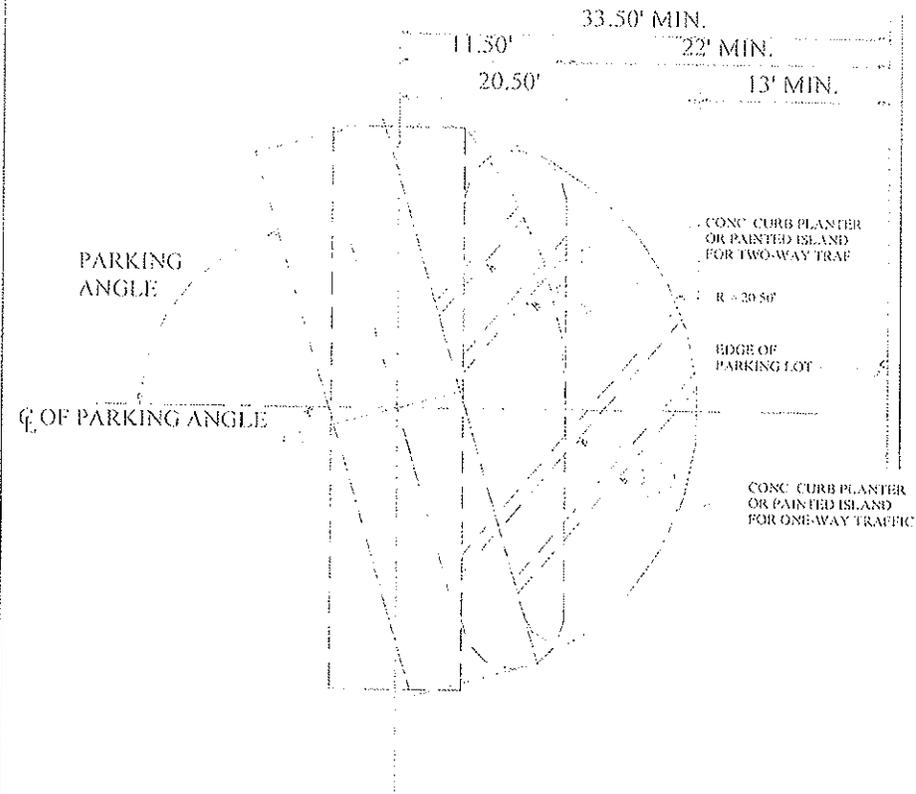
X = 8' IF ADJACENT TO A SIDEWALK OR SIMILAR BARRIER LESS THAN 8" HIGH AND AT LEAST 2' WIDE.

NOTE: MINIMUM ONE-WAY AISLE - 13'  
MINIMUM TWO-WAY AISLE - 22'

7. FULL-TURN DETAIL, FOR 65° PARKING ANGLE OR LESS



8. FULL-TURN DETAIL FOR MORE THAN 65° PARKING (STANDARD STALLS)



## Parking Manual -- Part I

Accessible parking for people with disabilities should be consistent with current State and Federal Guidelines.

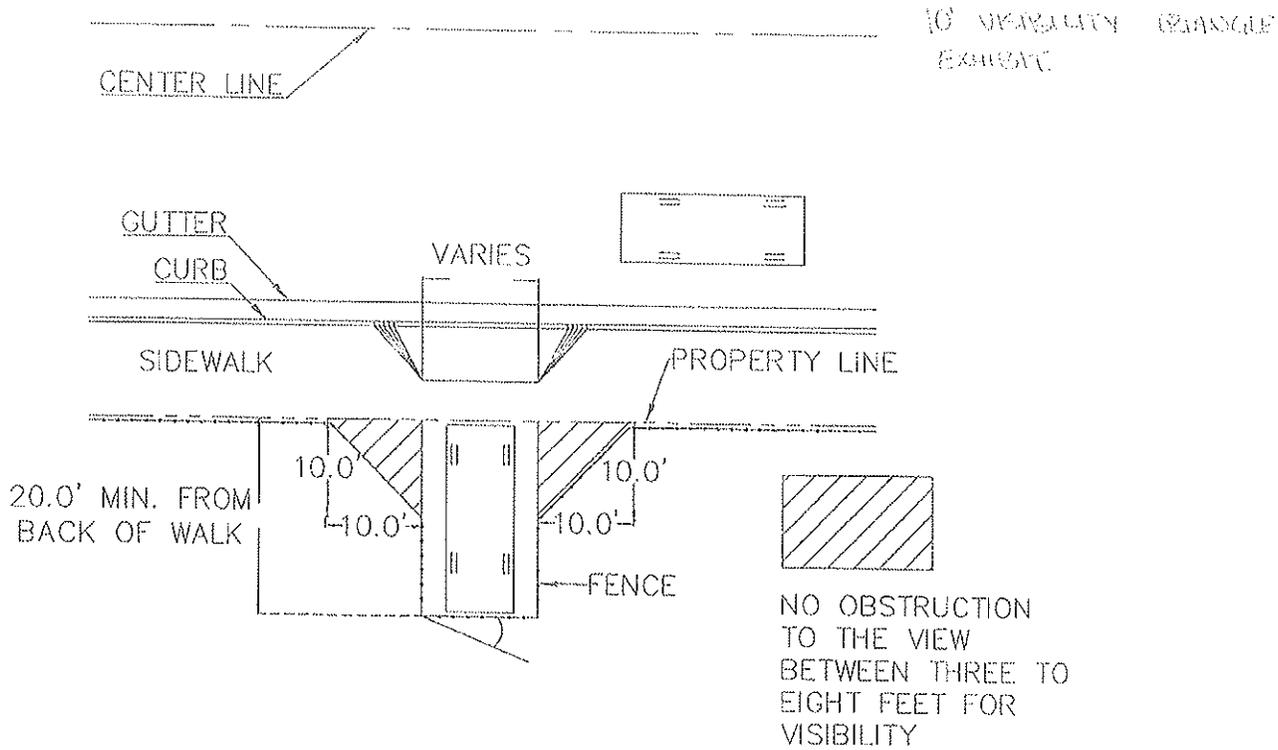
For more information about California State requirements for accessible parking, you can visit the California Division of State Architect (DSA) website at: <http://www.dsa.dgs.ca.gov/Access/default.htm>. You can view the DSA's California Access Compliance Reference Manual (revised June of 2006) at [http://www.dsa.dgs.ca.gov/Access/ud\\_accessmanual.htm](http://www.dsa.dgs.ca.gov/Access/ud_accessmanual.htm), and a checklist for accessible parking at: [http://www.documents.dgs.ca.gov/dsa/pubs/checklists\\_06-16-06.pdf](http://www.documents.dgs.ca.gov/dsa/pubs/checklists_06-16-06.pdf).

The ADA Standards for Accessible Design are available at the US Department of Justice Website: <http://www.ada.gov/stdspdf.htm>.

## TRAFFIC PLANNING

### THE FOLLOWING NOTES INDICATED BY A CHECK MARK ARE REQUIRED ON THE SITE PLAN:

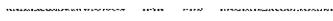
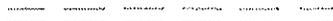
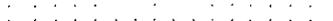
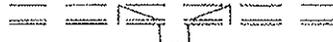
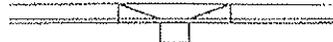
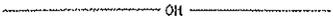
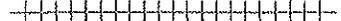
- i Any survey monuments within the area of construction shall be preserved or reset by a person licensed to practice land surveying in the State of California.
- Repair all damaged and/or off-grade concrete street improvements, as determined by the Construction Management Engineer, prior to occupancy.  
  
2 working days before commencing excavation operations within the street right-of way and/or utility easements, all existing underground facilities shall have been located by UNDERGROUND SERVICES ALERT (USA). CALL 1-800-642-2444
- Contact the Public Works Department, Traffic Engineering @ 621-8800, 10 working days prior to any off-site concrete construction.
- Deed(s) of easement(s) for the required dedication(s) shall be prepared by the owner/developer's engineer and submitted to the City with verification of ownership prior to issuance of Building Permits.
- Underground all existing off-site overhead utilities within the limits of this application as per FMC Section 12-1011 and Reso. No. 78-522/88229.
- All existing driveway approaches which no longer provide access to approved vehicle parking areas shall be removed unless otherwise approved by the City Engineer. Such areas shall be reconstructed with curb, gutter and sidewalk to match existing adjacent street improvements. This works shall be completed and accepted before a Permit of Occupancy is issued or the building is occupied. AUTHORITY FMC 11-209
- Submit Engineered Street Construction Plans to the Public Works Department.
- Submit Street Lighting Plans to the Public Works Department, Traffic Engineering.
- All construction on State Highways must conform to both City of Fresno and State division of Highways Specifications.
- All improvements shall be constructed in accordance with the standard specifications of the city of Fresno Public Works Department or Street Construction Plans as required and approved by the City Engineer. The performance of any work within the Public Street right-of-way (including pedestrian and public utility easements) requires a street work permit prior to commencement of work. All required street improvements must be completed and accepted by the City prior to occupancy.
- The required 4' minimum path of travel shall be provided along the public sidewalk directly in front of property, as required by the California Administration Code (Title 24). A pedestrian easement may be required if requirements are not met.
- THE PARCEL CONFIGURATION DEPICTED DOES NOT CONFORM TO RECORD INFORMATION: A Tract Map, Parcel Map, or Lot Line Adjustment (whichever is applicable) is required to establish this configuration prior to Building Permits. Contact the Planning and Development Department for details or submit a revised exhibit confining the proposed development within existing parcel lines.
- STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) FEES:  
Provide verification of payment for these fees to Traffic Planning prior to Building Permits.



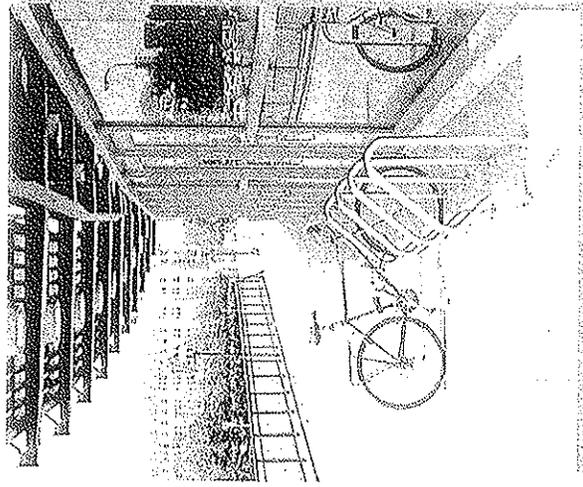
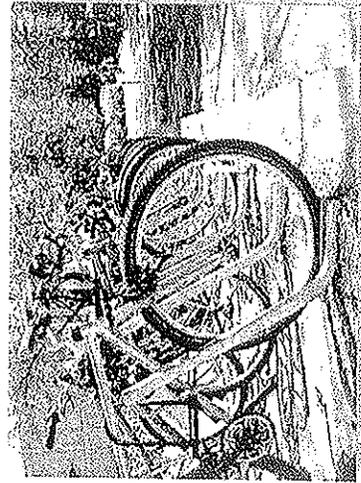
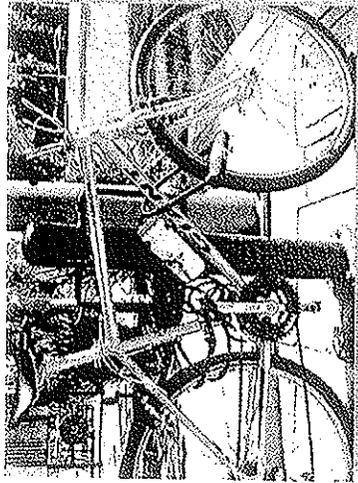
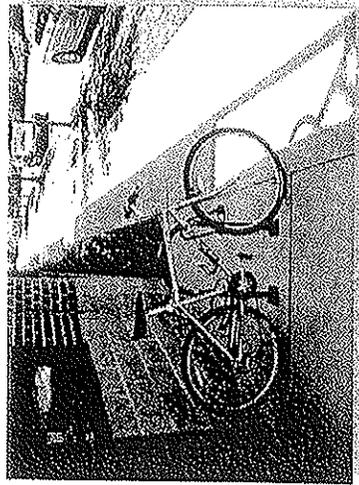
# CITY OF FRESNO

## STANDARD SYMBOLS

ALL ITEMS SHALL BE LABELED AS EXISTING, PROPOSED OR FUTURE

	PROPERTY & RIGHT OF WAY		1	CONSTRUCT CONCRETE CURB & GUTTER PER P.W. STD. DWG. P-5
	SECTION AND CENTER LINE		2	CONSTRUCT CONCRETE SIDEWALK PER P.W. STD. DWG. P-5
	EXISTING CURB		3	CONSTRUCT CONCRETE RAMP PER PW STD P-28, R=___
	EXISTING CURB & GUTTER		4	CONSTRUCT STREET TYPE APPROACH PER PW STD P-77 / P-78
	PROPOSED CURB & GUTTER		5	CONSTRUCT CONCRETE VALLEY GUTTER PER P.W. STD. DWG. P-10
	FUTURE CURB & GUTTER		6	INSTALL _____ OF AC PAVING PER PW SPECIFICATIONS
	EXISTING INLET		7	CONSTRUCT DRIVEWAY APPROACH PER PW STD _____ & P-4
	PROPOSED INLET		8	PROPOSED ON-SITE LIGHTING
	OVERHEAD POWER OR TELEPHONE		9	REMOVE & REPLACE EXIST. CURB & GUTTER PER PW STD P-5
	POWER POLE		10	PROPOSED PAINTED DIRECTIONAL ARROWS
	TELEPHONE POLE		11	CONSTRUCT CONCRETE ALLEY APPROACH PER PW STD P-13
	JOINT-USE POLE		12	CONSTRUCT ALLEY PAVING PER PW STD P-12
	GUY WIRE		13	INSTALL 30" STATE STD "STOP" SIGN W/ "RIGHT TURN ONLY" SIGN BELOW
	GUY POLE		14	INSTALL 30" STATE STD "STOP" SIGN
	POLE WITH LIGHT (SPECIFY POLE TYPE)		15	INSTALL PARKING LOT PAVEMENT TO PW STD.S P-41,42 & 43
	TRAFFIC SIGNAL		16	CONSTRUCT CONCRETE RAMP PER PW STD P-29
	POWER TOWER			
	TREE			
	FENCE (SPECIFY TYPE & HEIGHT)			
	SIGN			
	FIRE HYDRANT			
	RAILROAD TRACKS			

Several bike racks meet Fresno's design requirements, including those shown here.



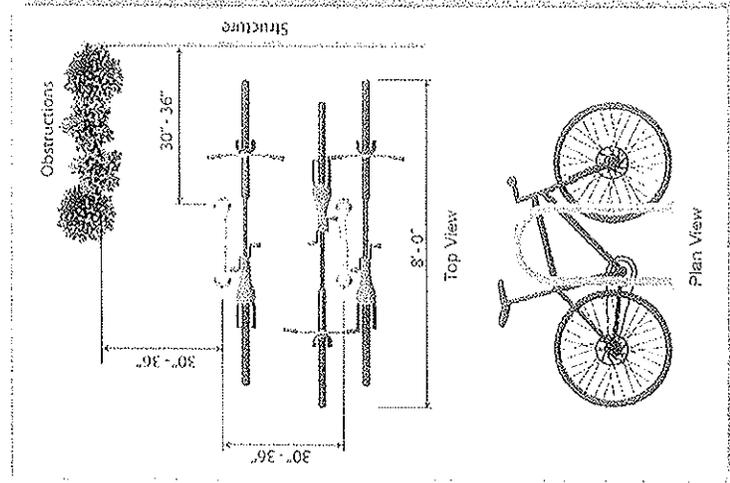


Figure 5.12 – Inverted “U” Rack

Where racks are not possible on sidewalks (because of narrow sidewalk width, sidewalk obstructions, or other issues), bicycle parking can be created in place of on-street parking spaces. Cities like Berkeley, California and Portland, Oregon have implemented these types of short-term bike parking facilities in central business districts. Racks can be clustered in a car parking space protected by bollards or curbs, which incurs only the cost of the racks, bollards, and road striping. While on-street bicycle parking may take space away from automobile parking, the auto parking loss can be mitigated. Additional auto parking spaces can be created by consolidating driveways or otherwise finding places to potentially allow auto parking where it is currently prohibited. Options for combining bicycle and motorcycle parking also exist.

Alternatively, racks can be installed on sidewalk curb extensions where adequate sight distance can be provided. A curb extension is more expensive to install and can be prohibitively expensive if substantial drainage and/or utility work is necessary. Costs may be less if the curb extension is installed as part of a larger street or pedestrian improvement project.

Note that on-street bicycle parking is an atypical design for short-term bicycle parking and no nationally accepted design guidelines currently exist.

Appropriately placed bike racks can encourage use. Table 5.7 provides recommended placement guidelines.



## City of Fresno Bicycle Parking Space Requirements

Number of stalls (per the Fresno Municipal Code; Section 12-306-2.1<sup>1</sup>)

Except as otherwise provided in this Code, the number of bicycle parking spaces to be provided shall be equal to 10% of the automobile parking spaces provided, but not to exceed a total of 10 bicycle stalls, which may be located indoors.

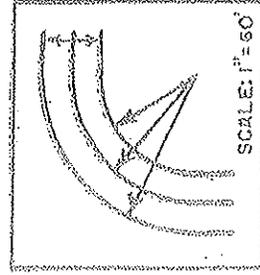
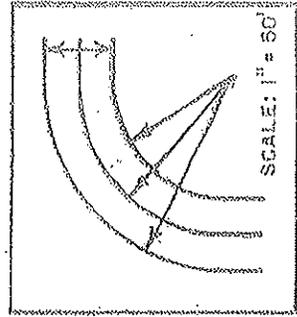
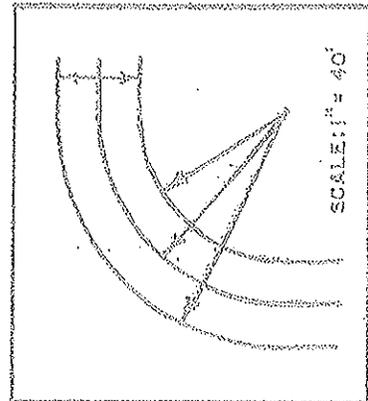
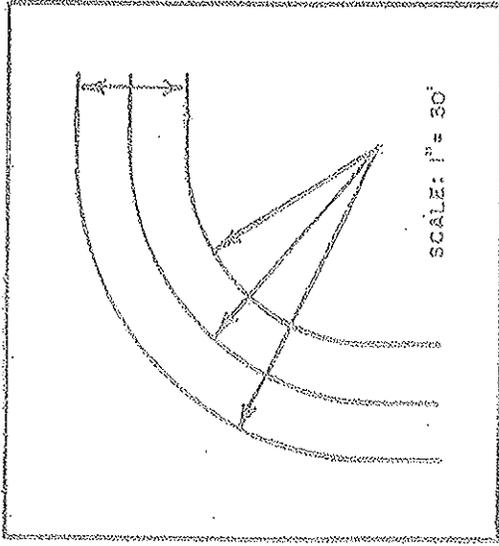
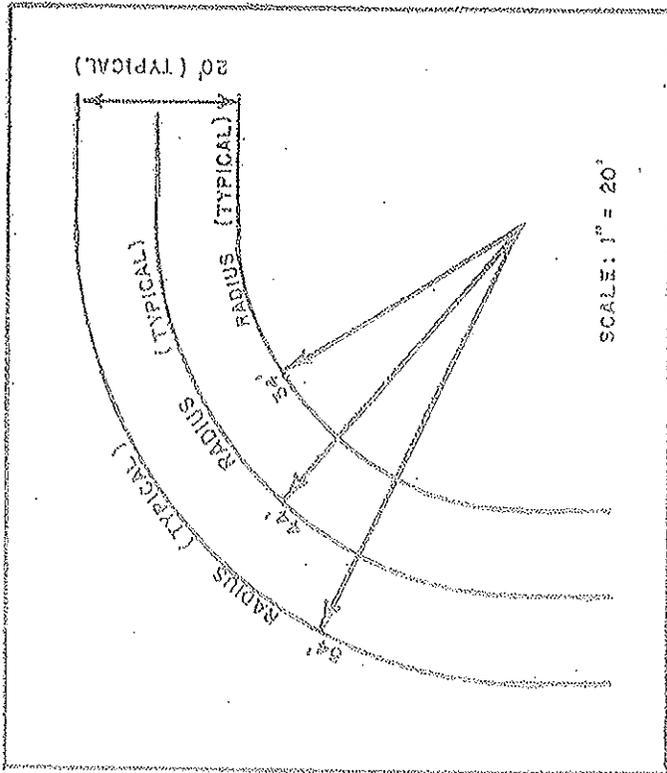
Fresno Municipal Code Section 12-306-I-5 (d)

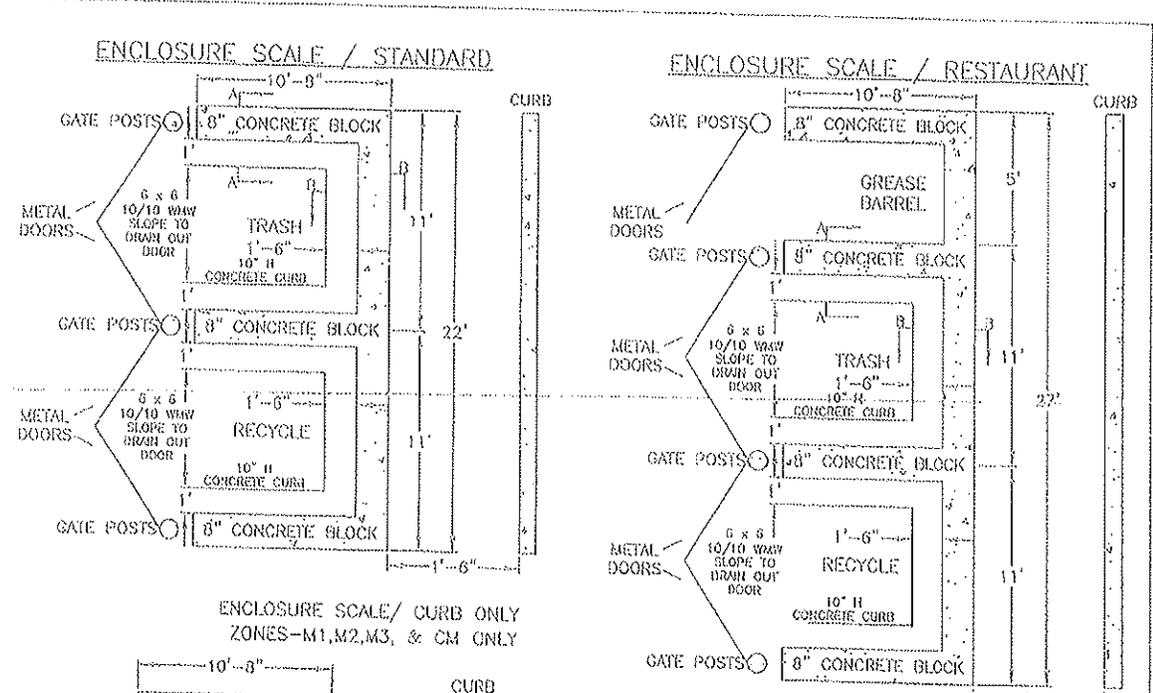
Bicycle parking spaces shall each consist of one slot in a bike rack. Bicycle parking spaces shall be grouped in bicycle racks which allow four feet of clearance on all sides. There shall be adequate space between rack slots to park, lock, and remove bicycles. Bicycle parking spaces and the required four-foot clearance shall be protected from motor vehicle encroachment by means of fixed barriers not less than six inches nor more than three feet in height. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open space, and shall be located proximal to structures.

---

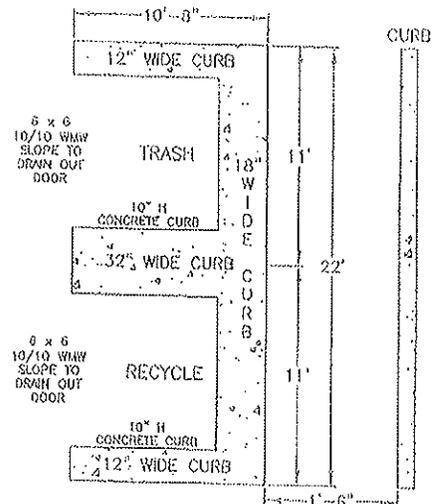
<sup>1</sup> Note that the California Building Code may result in a different number of stalls. The greater number shall be used.

44' FOOT CENTERLINE / TYPICAL SOLID WASTE TRUCK TURNING RADIUS

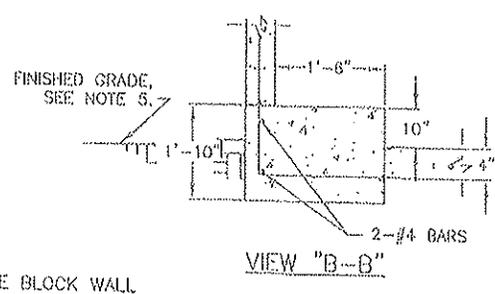
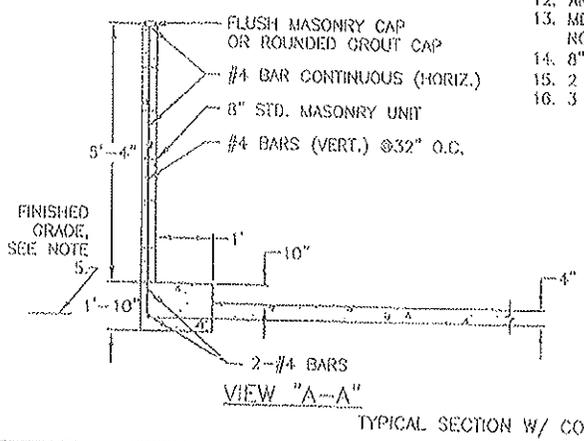




ENCLOSURE SCALE/ CURB ONLY  
ZONES-M1,M2,M3, & CM ONLY



- NOTES:
1. ALL CONSTRUCTION SHALL COMPLY WITH THE FRESNO MUNICIPAL CODE.
  2. GROUT ALL CELLS.
  3. ALL MASONRY UNITS SHALL COMPLY WITH THE LATEST ADOPTED CALIFORNIA BUILDING CODE AND U.B.C. STANDARD 24-4 GRADE N.
  4. ALL MASONRY WALLS SHALL BE INSPECTED BY THE CITY OF FRESNO DEVELOPMENT DEPARTMENT.
  5. DEPTH OF FOOTINGS ARE INTO NATURAL UNDISTURBED SOIL OR TESTED AND APPROVED COMPACTED FILL.
  6. ALL MASONRY UNITS SHALL BE MINIMUM F'M=1500 PSI.
  7. REINFORCING STEEL SHALL BE DEFORMED BAR, MIN. GRADE 40.
  8. FOOTING CONCRETE SHALL BE A MINIMUM 2000 PSI AT 28 DAYS.
  9. MORTAR SHALL BE TYPE-S (MINIMUM 1800 PSI AT 28 DAYS).  
ONE (1) PART CEMENT, TYPE-I  
ONE-HALF (1/2) PART LIME PUTTY OR HYDRATED LIME.  
FOUR AND ONE-HALF (4 1/2) PARTS SAND (MAXIMUM).
  10. GROUT SHALL BE A MINIMUM 2000 PSI AT 28 DAYS.  
ONE (1) PART CEMENT.  
THREE (3) PARTS SAND.  
TWO (2) PARTS PEA GRAVEL.
  11. FINISH PAD ELEVATION TO BE FLUSH WITH GRADE AT ACCESS PAVEMENT.
  12. ANY GATE HINGES SHOULD BE LOCATED ON THE OUTSIDE.
  13. METAL DOORS ARE REQUIRED ON ALL ENCLOSURES, CHAIN LINK IS NOT ACCEPTABLE.
  14. 8" CONCRETE BLOCK TO BE USED FOR WALLS.
  15. 2 CELLS ARE REQUIRED FOR COMMERCIAL/INDUSTRIAL BUILDINGS.
  16. 3 CELLS ARE REQUIRED FOR RESTAURANTS.



TYPICAL REFUSE CONTAINER  
ENCLOSURE DETAILS

REF. & REV.  
AUG., 2010

CITY OF FRESNO  
P-33

GENERAL NOTES:

1. ALL SITE PLANS SHALL HAVE THE SIGNATURE APPROVAL OF A SOLID WASTE MANAGEMENT DIVISION REPRESENTATIVE.
2. CONTAINERS USED AT ALL PLACES SHALL BE PLACED FOR COLLECTION AT SERVICE LOCATIONS APPROVED BY THE PUBLIC UTILITIES DIRECTOR, OR HIS/HER DESIGNEE, BUT SHALL NOT BE STORED IN THE PUBLIC RIGHT-OF-WAY.
3. THE DESIGN OF ANY NEW, SUBSTANTIALLY REMODELED, OR EXPANDED BUILDING OR OTHER FACILITY SHALL PROVIDE FOR PROPER STORAGE OR HANDLING WHICH WILL ACCOMMODATE THE SOLID WASTE LOADING ANTICIPATED AND WHICH WILL ALLOW FOR SAFE AND EFFICIENT WASTE REMOVAL.
4. THE PUBLIC UTILITIES DIRECTOR, OR HIS/HER DESIGNEE, SHALL PLAN WITH THE PROPERTY OWNER AND/OR THEIR REPRESENTATIVE AS TO PLACEMENT OF STORAGE CONTAINERS TO MINIMIZE TRAFFIC, AESTHETIC AND OTHER PROBLEMS BOTH ON THE PROPERTY, AND FOR THE GENERAL PUBLIC.
5. BELOW IS A CHECKLIST OF REQUIREMENTS REVIEWED FOR A SITE PLAN:
  - a. REFUSE, RECYCLABLES, AND GREASE BARRELS SHALL BE STORED FOR LATER REMOVAL FROM THE PREMISES IN AN AREA THAT IS SCREENED FROM VIEW OF THE PUBLIC STREETS BY A CITY OF FRESNO, PUBLIC UTILITIES APPROVED STANDARD ENCLOSURE (REFER TO P-33, P-34, AND P-95 FOR DETAILS). APPROVED STANDARD ENCLOSURES ARE TO BE BUILT USING EIGHT INCH (8") CONCRETE BLOCK AT A HEIGHT OF SIX FEET (6').
  - b. ENCLOSURES BUILT IN (INDUSTRIAL ZONES) M-1, M-2, M-3, AND CM ZONES REQUIRING DIRECTOR APPROVAL, OR HIS/HER DESIGNEE, MAY ELIMINATE WALLS AS LONG AS IT IS NOT VISIBLE FROM A MAIN STREET. FOR THIS DESIGN, THE CURBING WILL BE TWELVE INCHES (12") WIDE ON BOTH SIDES, EIGHTEEN INCHES (18") DEEP ALONG THE REAR WITH A THIRTY-TWO INCH (32") WIDE CURB SEPARATING THE TWO CELLS. CURBING MUST BE REINFORCED WITH REBAR AT A HEIGHT OF TEN INCHES (10"). ALL ENCLOSURES SHALL BE A MINIMUM OF EIGHTEEN INCHES (18") FROM THE NEAREST CURB. ALL OTHER PUBLIC WORKS DESIGN REQUIREMENTS SHALL BE MET DURING REVIEW.
  - c. THE APPROVED STANDARD ENCLOSURE HAS BEEN DESIGNED TO ACCOMMODATE ALL SIZES OF CONTAINERS TO HANDLE THE ACCUMULATION OF WASTE AND RECYCLABLES GENERATE BETWEEN COLLECTIONS. A STORAGE AREA WITH INNER DIMENSIONS TEN FEET (10') BY TEN FEET (10') IS THE MINIMUM. THERE SHALL BE CURBING TWELVE INCHES (12") FROM SIDE WALLS AND EIGHTEEN INCHES (18") FROM REAR WALL AND AT A HEIGHT OF TEN INCHES (10"). THESE FEATURES ARE INCLUDED IN ORDER TO REDUCE THE POSSIBILITY OF DAMAGE TO THE ENCLOSURE ITSELF.
  - d. SERVICE ACCESS TO ENCLOSURE SHALL BE A MINIMUM UNENCUMBERED OPENING OF EIGHT FEET (8'). THE GATE TO BE USED SHALL BE BUILT OF METAL, CHAIN LINK IS NOT ACCEPTABLE, SO THAT BINS CANNOT BE SEEN WHEN GATES ARE CLOSED AND SHALL BE MOUNTED ON THE OUTER SURFACE OF ENCLOSURE AS TO NOT PROTRUDE INTO SERVICE ACCESS OPENING. HARDWARE LATCHES SHOULD BE A HEAVY GAUGE LOCKING GATE LATCH. TWO GATES ARE REQUIRED ON EACH CELL WITH THE EXCEPTION OF THE GREASE BARREL CELL.
  - e. THE FLOOR OR BOTTOM SURFACE OF THE COLLECTION AREA SHALL BE MADE OF CONCRETE, (SLOPED) ONE PERCENT (1%) TO THE FRONT, AND THERE SHALL NOT BE ANY DRAINAGE GUTTER IN FRONT OF ENTRANCE. THE UNENCUMBERED OPENING OF EIGHT FEET (8') REFERENCED IN D. ABOVE SHALL BE A LEVEL SURFACE. THE FLOOR SHALL NOT SLOPE TO THE BACK OR SIDES OF THE ENCLOSURE TO ALLOW DRAINAGE TO THE REAR OF THE AREA OR CAUSE ANY STANDING WATER WITHIN THE ENCLOSURE. IT SHALL BE CONSTRUCTED SO THE COLLECTION VEHICLE CAN DRIVE DIRECTLY INTO THE POCKETS OF THE CONTAINERS WITHOUT ANY OBSTRUCTIONS.
  - f. INGRESS AND EGRESS SHALL HAVE AN UNOBSTRUCTED OVERHEAD CLEARANCE OF SIXTEEN FEET (16') AND SHALL NOT BE LESS THAN EIGHTEEN FEET (18') WIDE AND CAPABLE OF ACCOMMODATING A TRUCK WITH A TWO HUNDRED FIFTY INCH (250") WHEELBASE, A FORTY-FOUR FOOT (44') (CENTER LINE) TURNING RADIUS AND A SUPPORT WEIGHT OF THIRTY-FIVE (35) TONS. AREA SHALL BE UNOBSTRUCTED AND SO CONFIGURED THAT A TRUCK WILL BE ABLE TO MAKE A ROUND TRIP FROM THE PUBLIC RIGHT-OF-WAY TO THE COLLECTION AREA AND RETURN WITHOUT EXCESSIVE BACKING INTO A TRAFFIC LANE OR A PUBLIC THOROUGHFARE. BACKING AROUND A BUILDING IS NOT ALLOWED. AT NO TIME SHALL A TRUCK BE REQUIRED TO BACK IN EXCESS OF FORTY-FIVE FEET (45').
  - g. BIN ENCLOSURE GATES AND SERVICE AREA SHALL NOT OPEN INTO OR BE A PART OF A PARKING STALL OR LOADING ZONE.
  - h. GATED ENTRANCE/EXIT SERVICE SITES SHALL BE AT LEAST FORTY FEET (40') AWAY FROM ENTRANCES AND EXITS TO PREVENT TRUCKS FROM STICKING OUT INTO THE ROADWAY WHILE WAITING TO ACCESS ENCLOSURE AND ALLOW TRUCKS ENOUGH SPACE TO CLEAR GATE ON EXITING WHILE WAITING TO MERGE WITH TRAFFIC.
  - i. THE ENCLOSURE(S) SHALL ACCOMMODATE REFUSE BINS, RECYCLE BINS, AND GREASE BARRELS WHEN APPLICABLE. NEITHER THE WASTE NOR RECYCLING CONTAINER SHALL BE REQUIRED TO BE MOVED IN ORDER TO SERVICE THE OTHER. GREASE BARRELS SHALL NOT BE PLACED IN THE SAME AREA OF THE ENCLOSURE WITH REFUSE OR RECYCLABLES.
  - j. OWNER/OCCUPANTS SHALL NOT USE ENCLOSURES FOR STORAGE OR PLACE ANY MATERIALS AROUND THE TRASH, RECYCLE, OR GREASE CONTAINERS.
  - k. SIGNAGE IS REQUIRED TO CLEARLY IDENTIFY ALL RECYCLING, SOLID WASTE COLLECTION, AND LOADING AREAS AND THE MATERIALS ACCEPTED THEREIN. THIS SIGNAGE SHALL BE PLACED AT ALL POINTS OF DIRECT ACCESS TO RECYCLING, SOLID WASTE, AND LOADING AREAS ON, OR ADJACENT TO, THE RECYCLABLE AND SOLID WASTE MATERIAL CONTAINERS.
  - l. SITES UTILIZING COMPACTORS AND/OR ROLL-OFFS REQUIRE SIXTY FEET (60') OF CLEARANCE IN FRONT OF THE UNIT, AND A MINIMUM OF THREE FEET (3') ON EACH SIDE, FOR LOADING AND UNLOADING.

TYPICAL REFUSE ENCLOSURE  
DETAILS

REF. & REV.  
NOV., 2007

CITY OF FRESNO

P-34

RULE 9510 INDIRECT SOURCE REVIEW (ISR) (Adopted December 15, 2005)

1.0 Purpose

The purposes of this rule are to:

- 1.1 Fulfill the District's emission reduction commitments in the PM10 and Ozone Attainment Plans.
- 1.2 Achieve emission reductions from the construction and use of development projects through design features and on-site measures.
- 1.3 Provide a mechanism for reducing emissions from the construction of and use of development projects through off-site measures.

2.0 Applicability

- 2.1 This rule shall apply to any applicant that seeks to gain a final discretionary approval for a development project, or any portion thereof, which upon full build-out will include any one of the following:
  - 2.1.1 50 residential units;
  - 2.1.2 2,000 square feet of commercial space;
  - 2.1.3 25,000 square feet of light industrial space;
  - 2.1.4 100,000 square feet of heavy industrial space;
  - 2.1.5 20,000 square feet of medical office space;
  - 2.1.6 39,000 square feet of general office space;
  - 2.1.7 9,000 square feet of educational space;
  - 2.1.8 10,000 square feet of government space;
  - 2.1.9 20,000 square feet of recreational space; or
  - 2.1.10 9,000 square feet of space not identified above.
- 2.2 This rule shall apply to any transportation or transit project where construction exhaust emissions equal or exceed two (2.0) tons of NOx or two (2.0) tons of PM10.

# FRESNO METROPOLITAN FLOOD CONTROL DISTRICT DEVELOPMENT REVIEW SERVICE CHARGES

## CURRENT ADOPTED SERVICE CHARGE STRUCTURE

- Notice of Requirements Review Service Charge
  - Tracts \$43 per acre
  - Permits \$35 per acre
- Grading Plan Review Service Charge
  - Tracts \$120 per acre
  - Permits \$178 per acre
- Storm Drain Plan Review Service Charge -- Tracts and Permits
  - Fee Calculation -- Fee equals the lesser of:
    - \$300 per acre
    - OR -
    - \$375 plus 3% of the estimated construction costs of storm drainage facilities, using current drainage fee program unit prices.

## SERVICE CHARGE STRUCTURE EFFECTIVE OCTOBER 13, 2014

- Notice of Requirements Review Service Charge\*
  - Tracts \$43 per acre
  - Permits \$35 per acre
- Grading Plan Review Service Charge\*\*
  - Tracts \$120 per acre
  - Permits \$178 per acre
- Storm Drain Plan Review Service Charge -- Tracts and Permits
  - Fee Calculation -- Fee equals the lesser of:
    - \$300 per acre
    - OR -
    - \$375 plus 3% of the estimated construction costs of storm drainage facilities, using current drainage fee program unit prices.

\* Minimum Notice of Requirements Review Fee \$50

\*\*Minimum Grading Plan Review Fee \$100

To receive a full copy of District's comments please pay the Notice of Requirements Review Service Charge in person or by mail at the District office located at 5479 E. Olive Avenue Fresno, CA 93727 (in the back building). Payments may be made with cash or check payable to FMFCD. A voucher will be given upon receipt of payment which must be submitted by you to the City of Fresno or Clovis or County of Fresno in order for the City or County to release a copy of District's comments regarding the project.

## ARTICLE 12 STOPPING FOR LOADING OR UNLOADING ONLY

- SEC. 14-1201. AUTHORITY TO ESTABLISH LOADING ZONES.
- SEC. 14-1202. CURB MARKINGS TO INDICATE NO STOPPING AND PARKING REGULATIONS.
- SEC. 14-1203. AUTHORITY TO ESTABLISH LIMITED LOADING ZONES.
- SEC. 14-1204. TAXICABS STANDING IN STREETS OF BUSINESS DISTRICTS.
- SEC. 14-1205. STANDING IN OFFICIAL CAR ZONES.
- SEC. 14-1206. EFFECT OF PERMISSION TO LOAD AND UNLOAD.
- SEC. 14-1207. STANDING FOR LOADING OR UNLOADING ONLY.
- SEC. 14-1208. STANDING IN PASSENGER LOADING ZONE.
- SEC. 14-1209. STANDING IN BANK SERVICE ZONE.
- SEC. 14-1210. SCHOOL BUSES LOADING AND UNLOADING AT TRANSIT SYSTEM CURBSPACES.

### SEC. 14-1201. AUTHORITY TO ESTABLISH LOADING ZONES.

(a) The City Traffic Engineer, with the approval of the Chief of Police, is hereby authorized to determine and to mark loading zones, passenger loading zones, taxicab zones, and postal mailing zones as follows:

(1) At any place in the central business district or any business district.

(2) Elsewhere in front of the entrance to any place of business or in front of any hall or place used for the purpose of public assembly.

(b) Loading zones shall be indicated by yellow paint upon the top and face of all curbs within such zones.

(c) Passenger loading zones shall be indicated by a white line stenciled with black letters, "PASSENGER LOADING ONLY" upon the top of all curbs in said zones.

(d) Taxicab zones shall be indicated by a white line stenciled with black letters, "TAXI ZONE", upon the top of all curbs in said zones.

(e) Postal mailing zones shall be indicated by a white line stenciled with black letters, "POSTAL MAILING ZONE", upon the top of all curbs in said zones. (Orig. Ord. 3811; Rep. and Added Ord. 6130, 1962).

### SEC. 14-1202. CURB MARKINGS TO INDICATE NO STOPPING AND PARKING REGULATIONS.

(a) The City Traffic Engineer is hereby authorized, subject to the provisions and limitations of this chapter, to place, and when required herein shall place the following curb markings to indicate parking or standing regulations, and said curb markings shall have the meanings as herein set forth:

(1) Red shall mean no stopping, standing, or parking at any time except as permitted by the Vehicle Code, and except that a bus may stop in a red zone marked or signed as a bus zone.

(2) Yellow shall mean no stopping, standing, or parking at any time between 7:00 a.m. and 6:00 p.m. of any day except Sundays and holidays for any purpose other than the loading or unloading of passengers or materials, provided that the loading or unloading of passengers shall not consume more than three minutes nor the loading and unloading of materials more than thirty minutes, unless the materials loaded or unloaded exceed two and one-half tons, in which event twelve minutes shall be allowed for the loading or unloading of each ton of materials, and provided further that for the purpose of conducting funeral services, a hearse accompanied by a maximum of three passenger vehicles may occupy a yellow zone for a period not to exceed two hours.

(3) White shall mean no stopping, standing, or parking for any purpose other than loading or unloading of passengers which shall not exceed three minutes, and such restrictions shall apply between 7:00 a.m. and 6:00 p.m. of any day except Sundays and holidays and except as follows:

(i) When such zone is in front of a hotel, the restrictions shall apply at all times.

(ii) When such zone is in front of a theater, the restrictions shall apply at all times, except when such theater is closed, materials may be loaded or unloaded for not more than thirty minutes.

(iii) When such a zone is a "Taxicab Zone," the restrictions for the loading or unloading of passengers shall apply for passenger vehicles at all times.

(iv) When such a zone is a "Postal Mailing Zone," the restrictions for the loading and unloading of passengers shall apply at all times. Stopping, standing, or parking for the purpose of depositing mail in a curbside mail box shall not exceed a period of time necessary for the expeditious depositing of mail, and in no event shall this period of time be more than thirty seconds. These restrictions shall apply at all times.

(v) When such zone is immediately adjacent to a bus terminal, the restrictions shall apply at all times.

(4) Green shall mean no standing or parking for longer than twenty-four minutes at any time between 9:00 a.m. and 6:00 p.m. of any day except Sundays and holidays.

(5) Blue shall mean no stopping, standing or parking of any vehicle other than one which displays one of the distinguishing license plates issued by the State Department of Motor Vehicles to disabled persons pursuant to Vehicle Code Section 22511.5 or to disabled veterans, as specified in Section 9105 of the Vehicle Code.

(b) When the City Traffic Engineer as authorized under this chapter has caused curb markings to be placed, no person shall stop, stand, or park a vehicle adjacent to any such legible curb marking in violation of any of the provisions of this section. (Rep. and Added Ord. 6130, 1962; based on former Sec. 1203; Am. Ord. 6873, 1966; Am. Ord. 67-26, 1967; Am. Ord. 68-8, 1968; Am. Ord. 76-57, § 3, 7-25-76).

#### **SEC. 14-1203. AUTHORITY TO ESTABLISH LIMITED LOADING ZONES.**

Whenever a survey by the City Traffic Engineer or Traffic Division of the Police Department has established the necessity for loading zones or bus zones only during certain hours of the day, the City Traffic Engineer is hereby authorized to install signs giving notice thereof. If such loading zones are located in any parking meter district, the sign shall be placed on the parking meter post and indicate the hours during which that parking meter space shall become a loading zone. The deposit of coins in the parking meter shall not be required during the time the space is reserved as a loading zone. If such loading zones are located outside the parking meter district, signs shall be placed designating the hours and limits of such zones. All sections of this Code regulating loading zones shall apply equally to limited loading zones during the designated hours. (Rep. and Added Ord. 6130, 1962; based on former Sec. 10-1202).

#### **SEC. 14-1204. TAXICABS STANDING IN STREETS OF BUSINESS DISTRICTS.**

No driver of a taxicab shall park a taxicab upon any street in any business district at any place other than a taxicab stand, except that this provision shall not prevent the driver of any such vehicle from temporarily stopping in accordance with other stopping or parking regulations at any place for the purpose of and while actually engaged in loading or unloading passengers. (Rep. and Added Ord. 6130, 1962; based on former Sec. 10-1206).

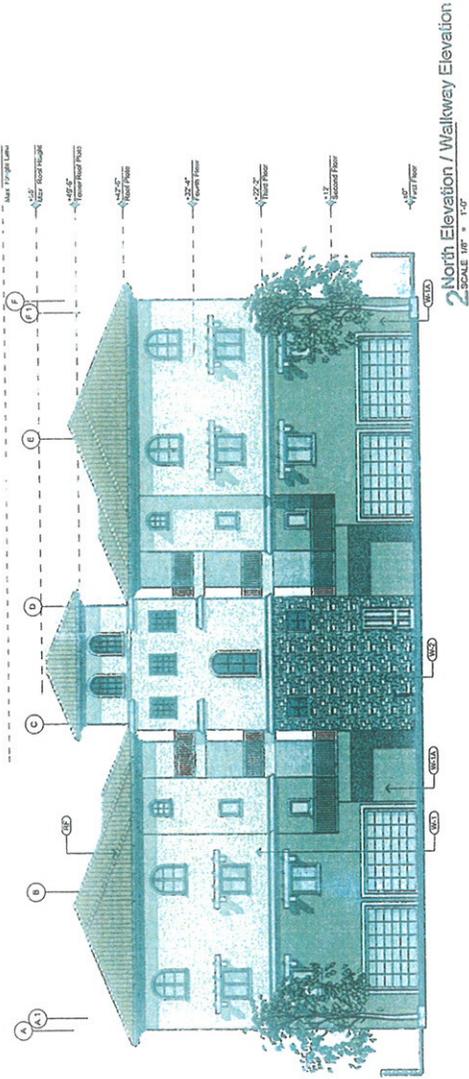
#### **SEC. 14-1205. STANDING IN OFFICIAL CAR ZONES.**

No person shall stop, stand or park a vehicle in any "Official Car Zone" unless such vehicle is equipped with exempt license plates issued by the State of California, or has on display a permit issued by an official agency authorized to issue such permits. Such zones will be in effect when permanent or temporary signs are installed giving notice thereof. The establishment of these zones may be authorized by the Chief of Police. (Rep. and Added Ord. 6130, 1962; based on former Sec. 10-1209).

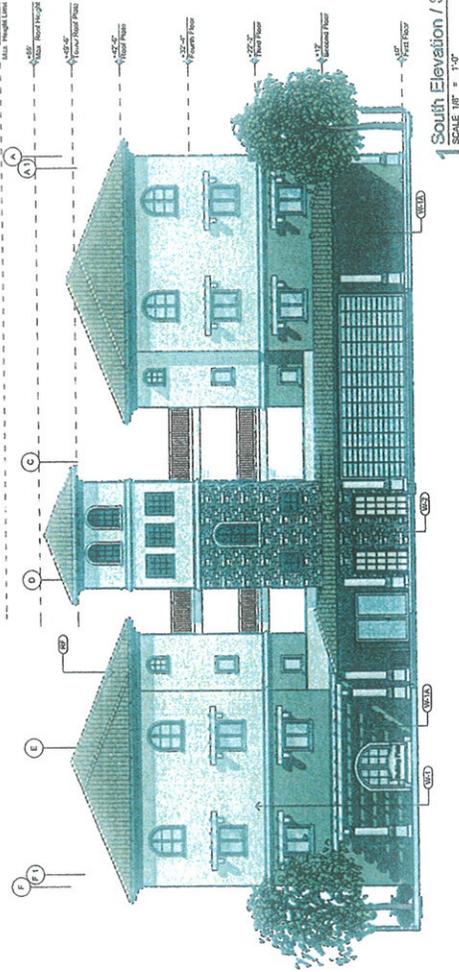
#### **SEC. 14-1206. EFFECT OF PERMISSION TO LOAD AND UNLOAD.**

Exhibit F:  
Site Plan and Site Details





2 North Elevation / Walkway Elevation  
SCALE 1/8" = 1'-0"



1 South Elevation / Street Elevation  
SCALE 1/8" = 1'-0"

- EXTERIOR FINISHES**
- R1 CERAMIC ROOF TILE COLOR: RED BLEND
  - EXTERIOR WALLS
  - W-1 STUCCO COLOR: TAN
  - W-2 STONE VENEER COLOR: DARK BROWN BLEND
  - W-3 SPLIT FACE GILD WALL COLOR: TAN

APP. NO. 14-093 DATE 10-13-14  
 PROJ. ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 COND. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

Exterior Elevations  
**A9**

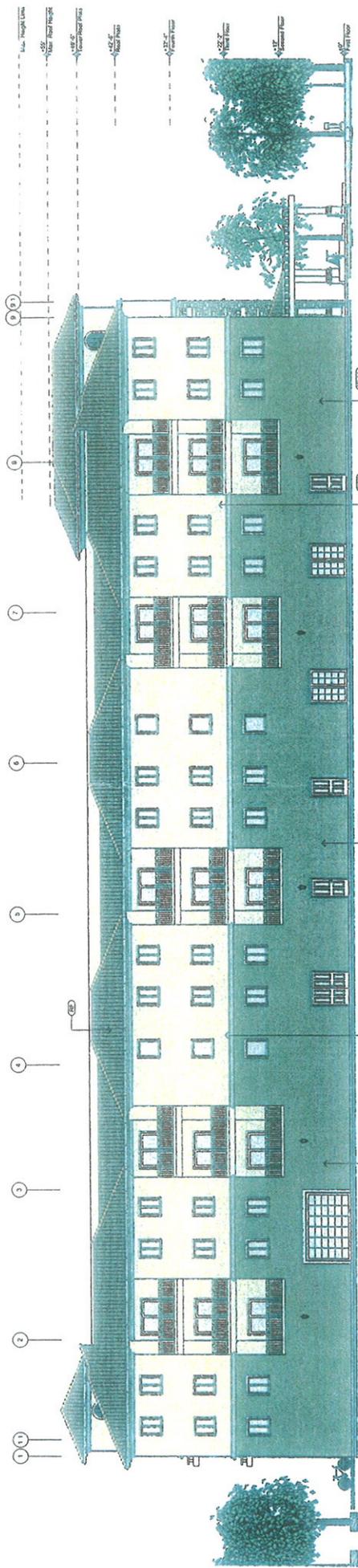
PROJECT NO. 12016.00  
 PLOT DATE 07/20/14

**BULLDOG LANE STUDENT HOUSING**

TRILOGY PROPERTIES LLC  
 5210 N MILLBROOK AVE  
 FRESNO, CA 93710



**Douglas Pancake**  
 ARCHITECTS  
 1101 F STREET, 11TH FLOOR, SUITE 1100, FRESNO, CA 93702



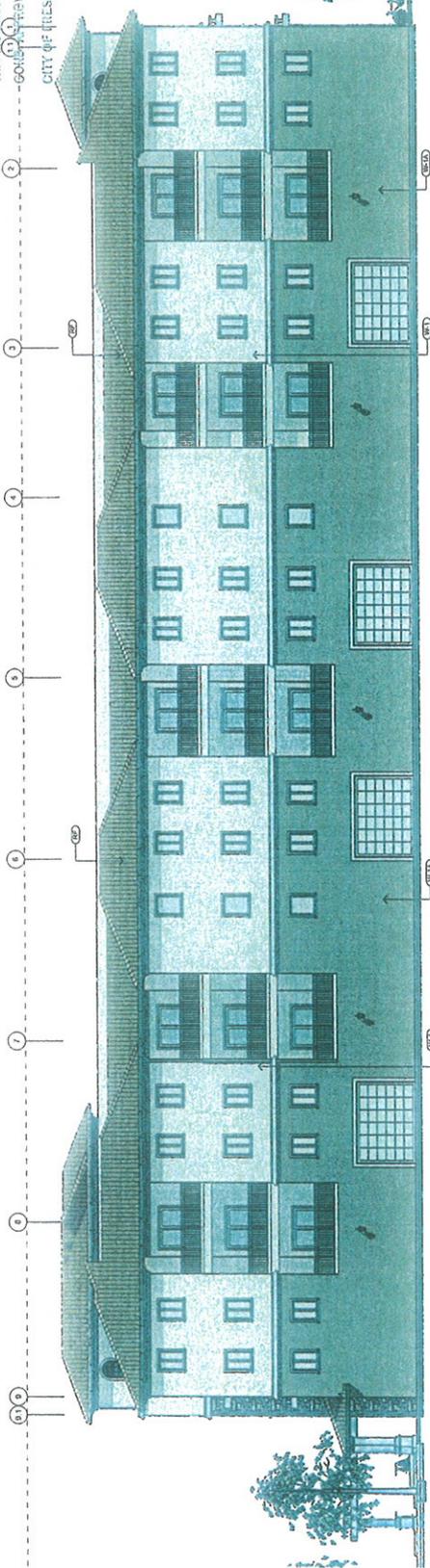
West Elevation  
SCALE: 1/8" = 1'-0"

PROJECT NO. 14-042 EXHIBIT 2-DAT 10-13-14

DATE: \_\_\_\_\_  
DRAWN BY: \_\_\_\_\_  
CHECKED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

CITY OF FRESNO PLANNING & DEVELOPMENT DEPT

- EXTERIOR FINISHES
- RF CERAMIC ROOF TILE COLOR RED BLEND
  - EXTERIOR WALLS
  - W-1 STUCCO COLOR TAN
  - W-1A STUCCO COLOR DARK BROWN
  - W-2 SPLIT FACE CHU WALL COLOR TAN



East Elevation  
SCALE: 1/8" = 1'-0"

Exterior Elevations  
A10

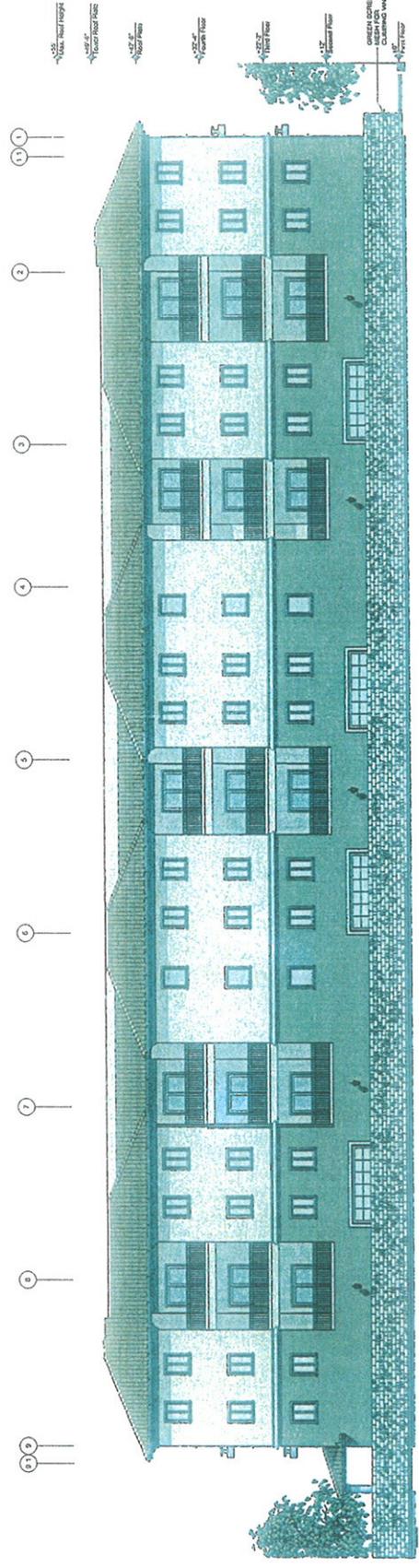
BULLDOG LANE STUDENT HOUSING

TRILOGY PROPERTIES LLC  
2225 BULLDOG LANE  
FRESNO, CA 93710



Douglas Pancake  
ARCHITECTS  
1410 J STREET, SUITE 100, FRESNO, CA 93703  
TEL: 559.233.8888 FAX: 559.233.8889  
WWW.PANCAKEARCHITECTS.COM

PROJECT NO: 12016.00  
PLOT DATE: 01/20/14



East Elevation  
SCALE 1/8" = 1'-0"

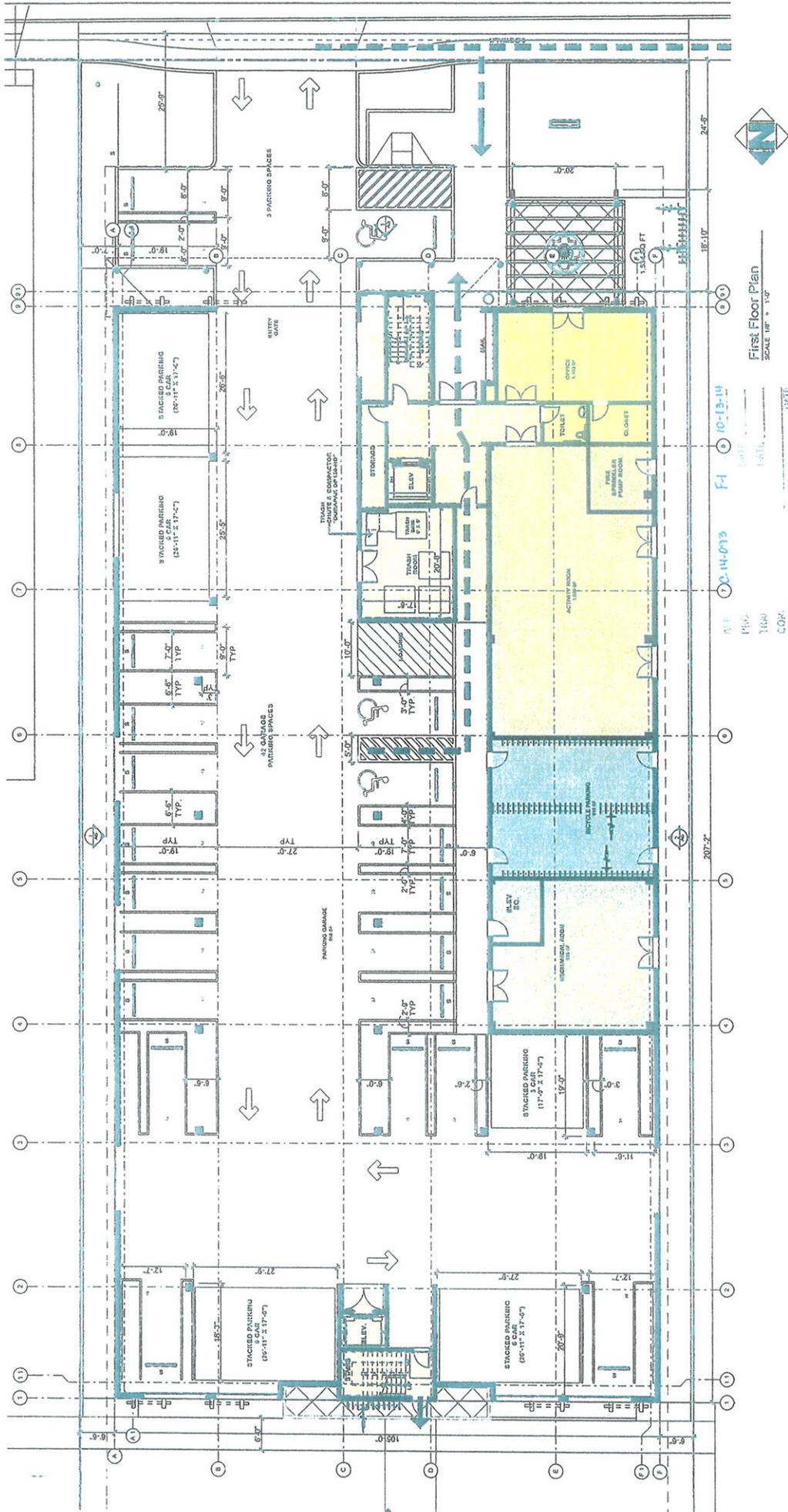
APPL. NO. C-11-012 EXHIBIT E-3 DATE 10-13-14  
 DESIGNER: \_\_\_\_\_ DATE \_\_\_\_\_  
 TRIOLOGY PROPERTIES \_\_\_\_\_ DATE \_\_\_\_\_  
 OWNER: \_\_\_\_\_ DATE \_\_\_\_\_  
 PROJECT ADDRESS: \_\_\_\_\_ DATE \_\_\_\_\_  
 PROJECT: TRIOLOGY STUDENT HOUSING DEVELOPMENT

Exterior Elevations  
**A11**  
 PROJECT NO. 12016.00  
 PLOT DATE 07/18/2014

**BULLDOG LANE STUDENT HOUSING**  
 TRIOLOGY PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710



**Douglas Pancake**  
 ARCHITECTS  
 1000 UNIVERSITY AVENUE, SUITE 1000, FRESNO, CA 93706  
 TEL: 559.233.1111 FAX: 559.233.1112 WWW.DPGARCHITECTS.COM



First Floor Plan  
SCALE 1/8" = 1'-0"

DATE: 10-13-11  
 PROJECT: 08-14-013  
 CITY: BULLDOG LANE  
 CLIENT: TRILogy PROPERTIES  
 CONTRACTOR: COKI  
 DESIGNER: DPTE

First Floor Plan  
A4

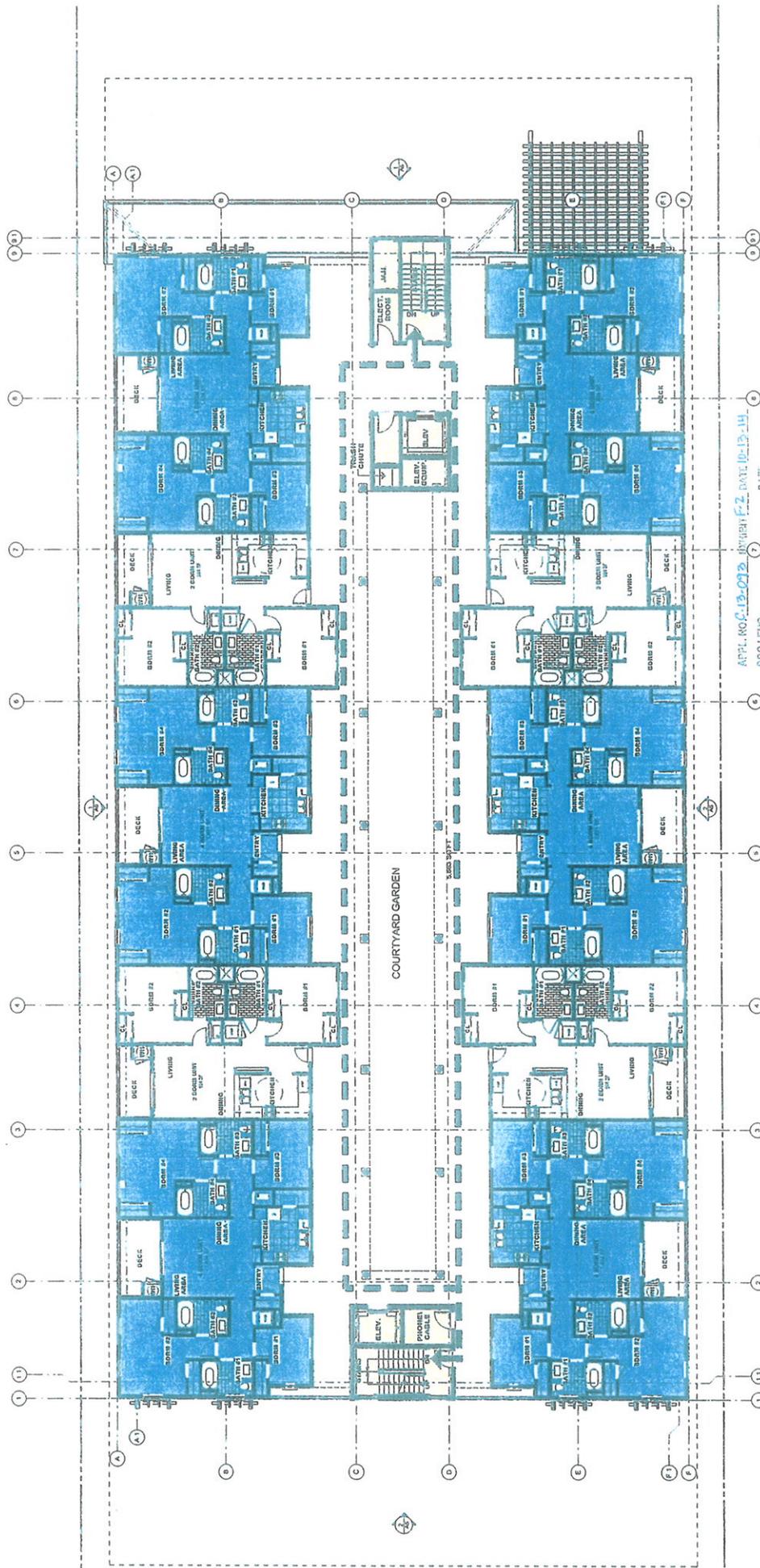
PROJECT NO. 12018.00  
 PLOT LINE 7/16/14

**BULLDOG LANE STUDENT HOUSING**

TRILogy PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710



**Douglas Pancake**  
 ARCHITECTS  
 1420 MADISON AVE. SECOND FLOOR, SUITE 200  
 FRESNO, CA 93705  
 TEL: 559.233.1111 FAX: 559.233.1112



Second Floor Plan  
SCALE 1/8" = 1'-0"

APPL. NO. C-13-0912 BY TRILGY P.Z. DATE 02-13-14  
 PROJ. ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 COM. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.



Second Floor Plan  
A5

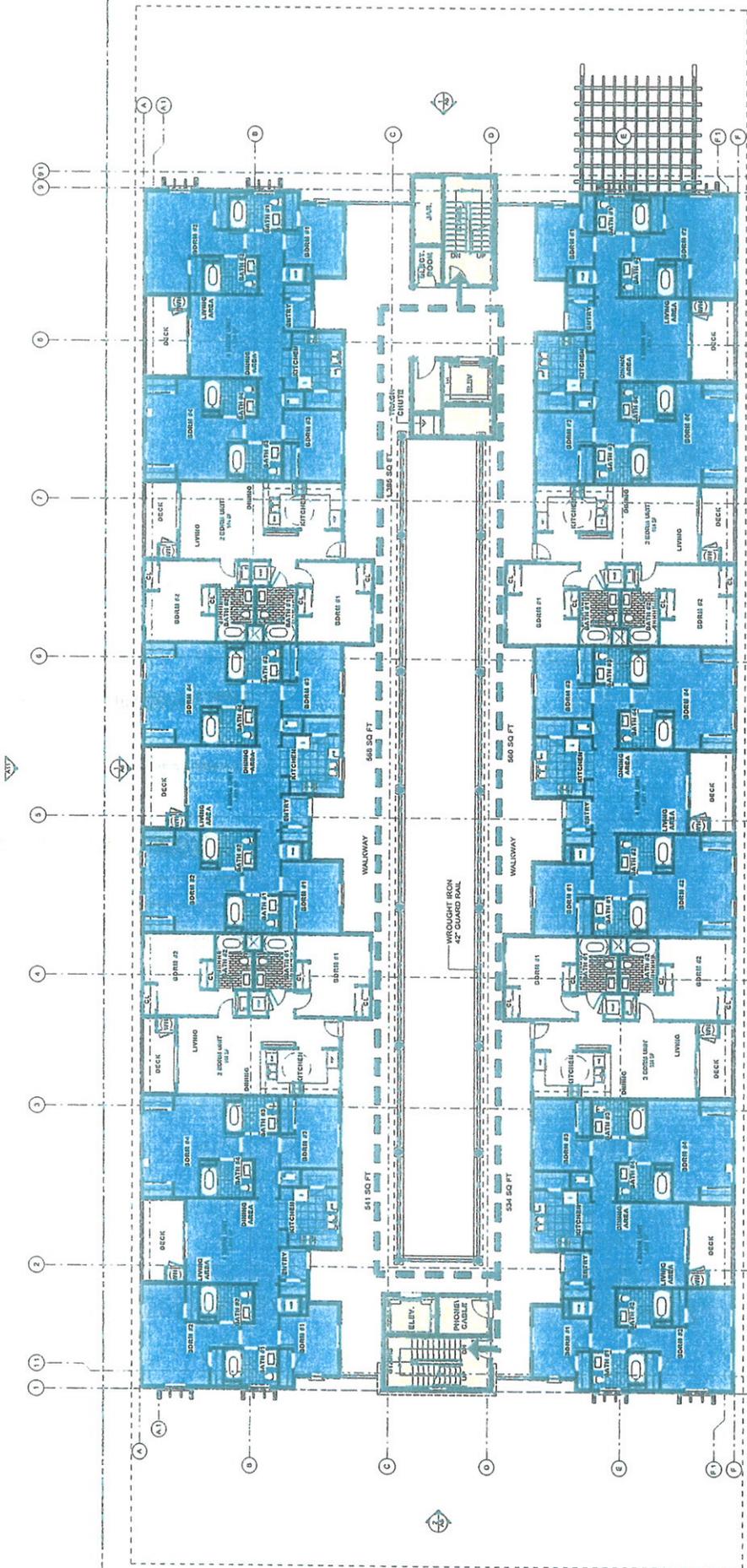
PROJECT NO 12018.00  
PLOT DATE 01/12/14

**BULLDOG LANE STUDENT HOUSING**

TRILGY PROPERTIES, LLC  
5218 N MILLBROOK AVE  
FRESNO, CA 93710



**Douglas Pancake**  
ARCHITECTS  
1475 UNIVERSITY AVENUE, SUITE 1000  
FRESNO, CA 93707  
TEL: 737.3888 • FAX: 737.3443 • WWW.PANCAKEARCHITECTS.COM



APPL. NO. CA-H-072 EXHIBIT 3 DATE 10.19.14  
 PROJECT NO. \_\_\_\_\_ DATE \_\_\_\_\_  
 TRIN TIC INC. \_\_\_\_\_ DATE \_\_\_\_\_  
 COND. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.



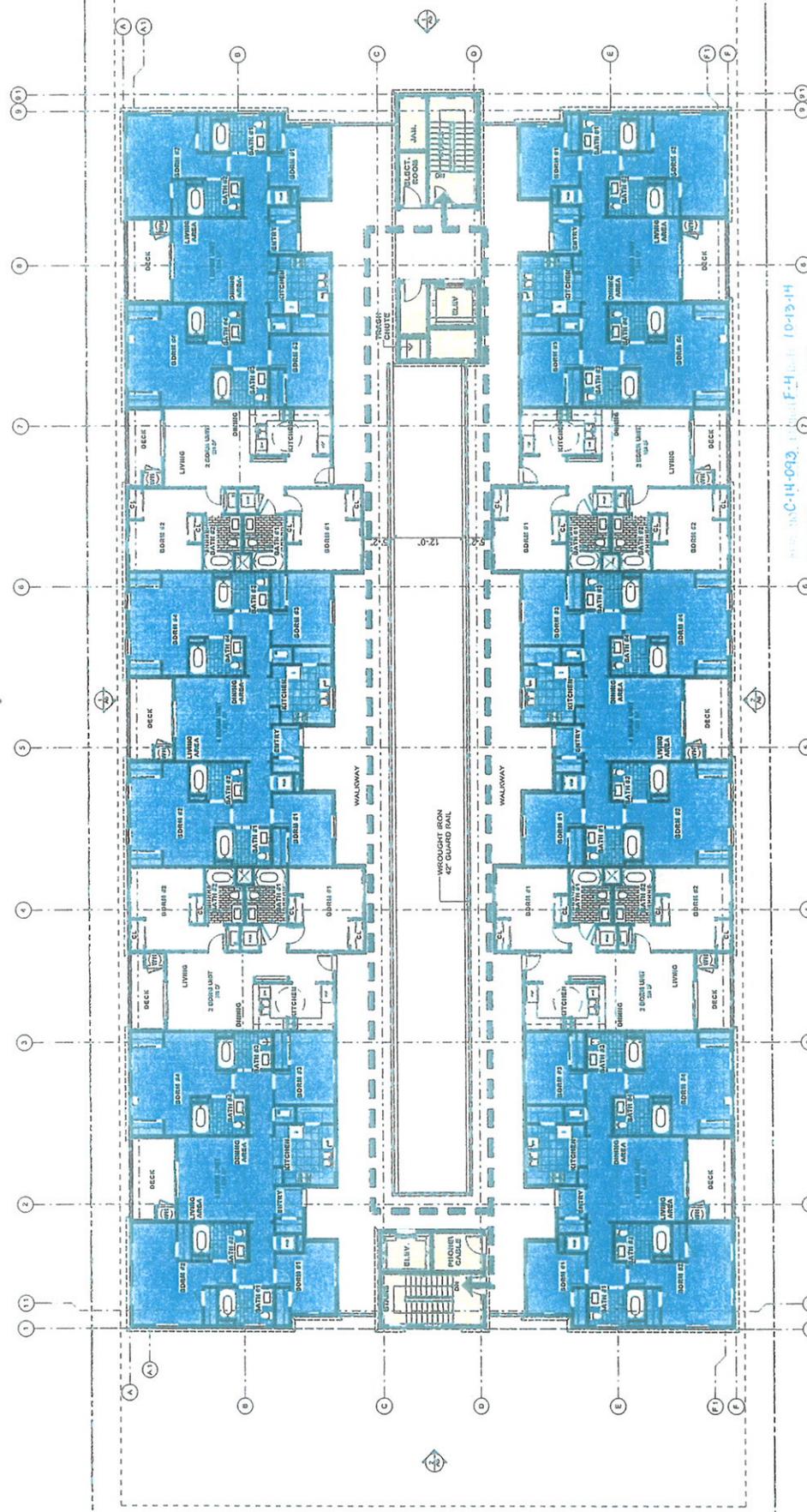
Third Floor Plan  
 SCALE 1/8" = 1'-0"

Third Floor Plan  
 A6  
 PROJECT NO. 12018.00  
 PLOT DATE 8/10/2014

**BULLDOG LANE STUDENT HOUSING**  
 TRILogy PROPERTIES LLC  
 5219 N MILLBROOK AVE  
 FRESNO, CA 93710

**Douglas Pancake**  
 ARCHITECTS  
 1424 AVENUE ROAD, SECOND FLOOR, NEWPORT SPANCA, CALIFORNIA 92569  
 T: 951.221.3500 • F: 951.221.3543 • W: WWW.DOUGLASPANCAKEARCHITECTS.COM

**TRILogy**  
 PROPERTIES



Fourth Floor Plan  
SCALE: 1/8" = 1'-0"

PROJECT NO. C-14-092  
DATE: 10-19-14  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
DATE: [Date]  
CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

Fourth Floor Plan  
A7

PROJECT NO. 12016.00  
PLOT DATE: 6/18/2014

**BULLDOG LANE STUDENT HOUSING**

TRILOGY PROPERTIES LLC  
5218 N MILLBROOK AVE  
FRESNO, CA 93710



**Douglas Pancake**  
ARCHITECTS  
1475 MARSHBREE ROAD, SECOND FLOOR, FRESNO, CA 93702  
TEL: 559.233.1111 FAX: 559.233.1112 WWW.DPGARCHITECTS.COM

**BUILDDOG LANE STUDENT HOUSING**  
 1453 BUILDDOG LANE  
 FRESNO, CA 93710

**LANDSCAPE PLAN**

**DESIGNED BY** VOS  
**CHECKED BY** SP  
**DATE** 1/18/17  
**REVISIONS**



**L1.1**

THIS LANDSCAPE PLAN IS BASED ON THE CITY OF FRESNO APPLICATION REQUIREMENTS FOR SITE PLAN REVIEW, AND THE CITY OF FRESNO REQUIREMENTS FOR THE DEVELOPMENT OF THE CONSTRUCTION DOCUMENTS FOR THE LANDSCAPE AND IRRIGATION FOR THIS PROJECT.

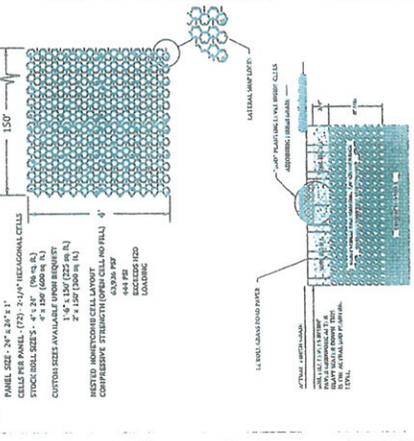
**PLANTING NOTES:**

- TREE SPECIES SELECTION IN THE PUBLIC RIGHT OF WAY WILL BE BASED ON THE CITY OF FRESNO GREEN TREE LIST. TREES SHALL BE LOCATED WHERE POSSIBLE TO PROVIDE SHADING FOR SIDEWALKS, OUTDOOR USE AREAS, PARKING LOTS, AND BUILDING ENTRANCES. TREES SHALL BE SPECIALLY PLANTED WHERE TREES ARE TO BE LOCATED WITHIN PAVED AREAS OR ADJACENT TO PAVED AREAS. ROOT BARRIERS SHALL BE INSTALLED TO PROTECT PAVEMENTS FROM POTENTIAL UPRISAL AND DISPLACEMENT CAUSED BY ROOTS.
- SITE SOILS, MICROCLIMATES, WATER USE DYNAMICS, AND MAINTENANCE REQUIREMENTS SHALL BE CONSIDERED IN THE SELECTION OF PLANT SPECIES. PLANTING SHALL BE DONE IN A MANNER THAT APPEARS AS A COLLECTION OF INDIVIDUAL PLANTS.
- THE LANDSCAPE DESIGN SHALL INCLUDE A WATER EFFICIENCY PLAN, INCLUDING BUT NOT LIMITED TO:
  - IRRIGATION SYSTEM DESIGN AND CALCULATIONS OF THE MAXIMUM APPLIED LANDSCAPE ORNAMENT.
  - IRRIGATION SYSTEM DESIGN AND CALCULATIONS OF THE MAXIMUM APPLIED LANDSCAPE ORNAMENT.
  - THE IRRIGATION SYSTEM WILL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER THAT IS PROGRAMMABLE FOR MULTIPLE SCHEDULES AND USES EMVAO TRANSPARENT (WEATHER BASED) INFORMATION AND A "RAIN SENSOR" OUTPUT DEVICE.
  - THE IRRIGATION SYSTEM SHALL INCLUDE A BACKFLOW PREVENTION DEVICE AT THE CONNECTION TO THE POTABLE WATER SUPPLY THAT WILL PROTECT AGAINST CROSS CONNECTION CONTAMINATION. BACKFLOW DEVICE IS TO BE INSTALLED PER CITY OF FRESNO STANDARDS SPECIFICATIONS AND DETAILS.
  - IRRIGATION SYSTEM SHALL BE DESIGNED TO ALLOW THE MANUAL SHUT DOWN OF THE IRRIGATION SYSTEM FOR REPAIRS AND MAINTENANCE.
  - DRAIN PROTECTION OR OTHER LOW VOLUME IRRIGATION SPRAY NOZZLES AND NOZZLES WILL BE USED WHEN NECESSARY TO IRRIGATE PLANTS.
  - IRRIGATION DESIGN AND PRESSURE ASSOCIATED WITH OVERHEAD IRRIGATION SHALL BE DESIGNED TO PROTECT AGAINST CROSS CONNECTION CONTAMINATION. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED PER CITY OF FRESNO STANDARDS SPECIFICATIONS AND DETAILS.
  - IRRIGATION DESIGN SHALL BE DESIGNED TO ALLOW THE MANUAL SHUT DOWN OF THE IRRIGATION SYSTEM FOR REPAIRS AND MAINTENANCE.
  - IRRIGATION PIPING AND MIRRING UNDER PAVEMENTS WILL BE SLEEVED. ALL IRRIGATION VALVES WILL BE LOCATED IN VALVE BOXES.

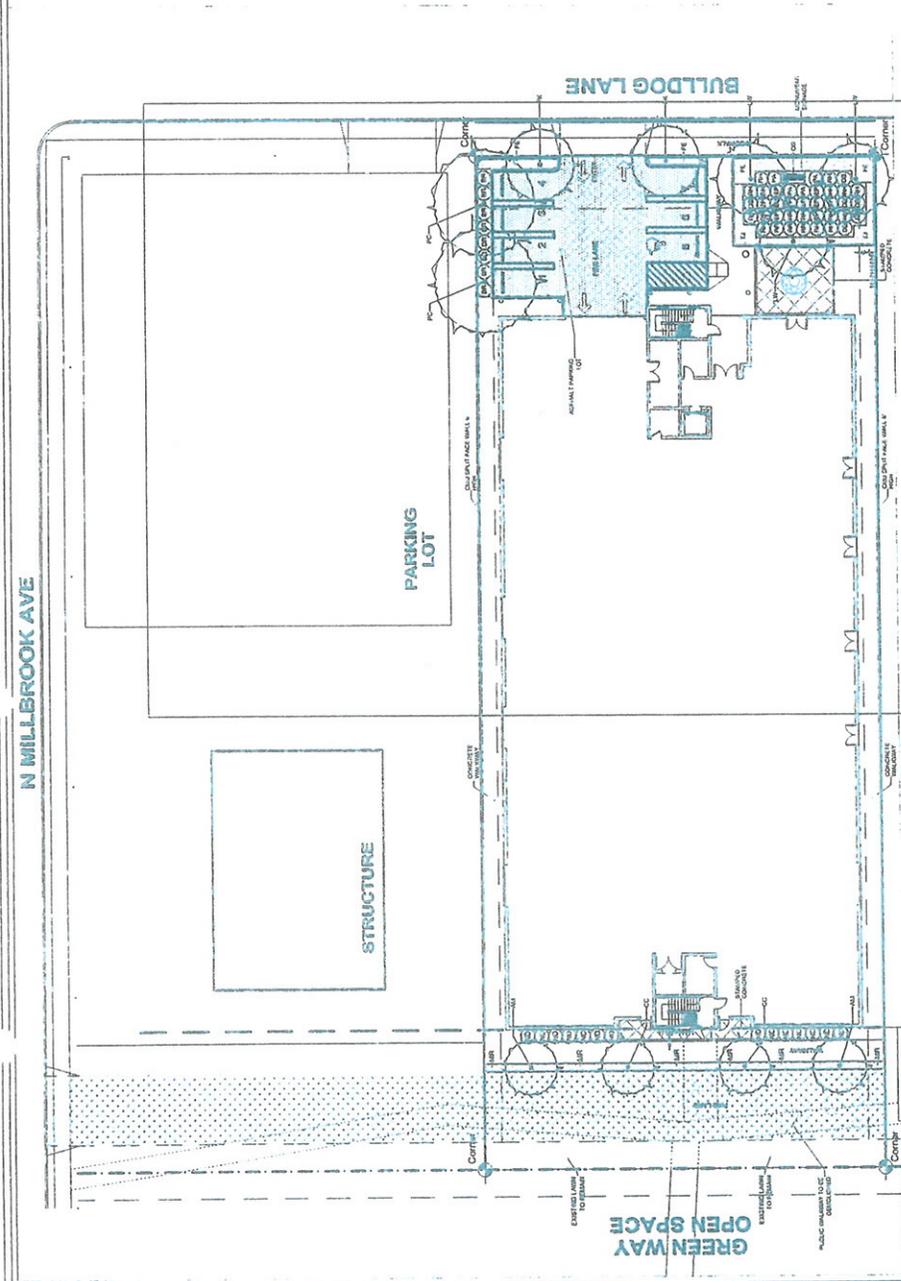
PLANT SPECIES SELECTION IN THE PUBLIC RIGHT OF WAY WILL BE BASED ON THE CITY OF FRESNO GREEN TREE LIST. TREES SHALL BE LOCATED WHERE POSSIBLE TO PROVIDE SHADING FOR SIDEWALKS, OUTDOOR USE AREAS, PARKING LOTS, AND BUILDING ENTRANCES. TREES SHALL BE SPECIALLY PLANTED WHERE TREES ARE TO BE LOCATED WITHIN PAVED AREAS OR ADJACENT TO PAVED AREAS. ROOT BARRIERS SHALL BE INSTALLED TO PROTECT PAVEMENTS FROM POTENTIAL UPRISAL AND DISPLACEMENT CAUSED BY ROOTS.

THE LANDSCAPE DESIGN SHALL INCLUDE A WATER EFFICIENCY PLAN, INCLUDING BUT NOT LIMITED TO:

- IRRIGATION SYSTEM DESIGN AND CALCULATIONS OF THE MAXIMUM APPLIED LANDSCAPE ORNAMENT.
- IRRIGATION SYSTEM DESIGN AND CALCULATIONS OF THE MAXIMUM APPLIED LANDSCAPE ORNAMENT.
- THE IRRIGATION SYSTEM WILL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER THAT IS PROGRAMMABLE FOR MULTIPLE SCHEDULES AND USES EMVAO TRANSPARENT (WEATHER BASED) INFORMATION AND A "RAIN SENSOR" OUTPUT DEVICE.
- THE IRRIGATION SYSTEM SHALL INCLUDE A BACKFLOW PREVENTION DEVICE AT THE CONNECTION TO THE POTABLE WATER SUPPLY THAT WILL PROTECT AGAINST CROSS CONNECTION CONTAMINATION. BACKFLOW DEVICE IS TO BE INSTALLED PER CITY OF FRESNO STANDARDS SPECIFICATIONS AND DETAILS.
- IRRIGATION SYSTEM SHALL BE DESIGNED TO ALLOW THE MANUAL SHUT DOWN OF THE IRRIGATION SYSTEM FOR REPAIRS AND MAINTENANCE.
- DRAIN PROTECTION OR OTHER LOW VOLUME IRRIGATION SPRAY NOZZLES AND NOZZLES WILL BE USED WHEN NECESSARY TO IRRIGATE PLANTS.
- IRRIGATION DESIGN AND PRESSURE ASSOCIATED WITH OVERHEAD IRRIGATION SHALL BE DESIGNED TO PROTECT AGAINST CROSS CONNECTION CONTAMINATION. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED PER CITY OF FRESNO STANDARDS SPECIFICATIONS AND DETAILS.
- IRRIGATION DESIGN SHALL BE DESIGNED TO ALLOW THE MANUAL SHUT DOWN OF THE IRRIGATION SYSTEM FOR REPAIRS AND MAINTENANCE.
- IRRIGATION PIPING AND MIRRING UNDER PAVEMENTS WILL BE SLEEVED. ALL IRRIGATION VALVES WILL BE LOCATED IN VALVE BOXES.



**TYPICAL EZ-ROLL GRASS PAVER H.V. / FIRE ACCESS DETAIL**



**PARKING LOT SHADING CALCULATIONS:**

STAND	POTENTIAL SHADE / COMMENTS (ESTIMATED FULL GROWTH)	QUANTITY OF TREES	SHADE PER TREE (SQ. FT.)	TOTAL SHADE (SQ. FT.)	PERCENT SHADE
PK	PLANTING: CHERRY BLOSSOM	2 @ 48"	2 @ 48"	2 @ 48"	2 @ 48%
PK	PLANTING: CHERRY BLOSSOM	2 @ 24"	2 @ 24"	2 @ 24"	2 @ 24%
<b>TOTAL TREE SHADE</b>					
<b>TOTAL AVAILABLE SURFACE AREA</b>					
<b>TOTAL AVAILABLE PAVED AREA</b>					
<b>PERCENT SHADE</b>					

**PLANT LIST**

CODE	SCIENTIFIC NAME	COMMON NAME	SIZE	USED IN	NOTES
01	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	48"	PK	APPROVED PLANTING LOT TREE
02	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
03	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
04	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
05	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
06	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
07	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
08	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
09	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
10	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
11	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
12	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
13	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
14	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
15	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
16	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
17	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
18	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
19	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE
20	PLANTING: CHERRY BLOSSOM	CHERRY BLOSSOM	24"	PK	APPROVED PLANTING LOT TREE

APPL. NO. **C-11-073** EXHIBIT **L** DATE **10-18-19**  
 TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_  
 COMD. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 CITY OF FRESNO PLANNING & DEVELOPMENT DEPT.

**PLANT LEGEND**

- TREES
- SHRUBS
- GROUNDCOVER
- NEW LAWN WITH AT PAVE LANE
- DRIVE WALK

Exhibit G:  
Environmental Assessment No. C-14-093

**CITY OF FRESNO  
CATEGORICAL EXEMPTION  
ENVIRONMENTAL ASSESSMENT NO. C-14-093**

THE PROJECT DESCRIBED HEREIN IS DETERMINED TO BE CATEGORICALLY  
EXEMPT FROM THE PREPARATION OF ENVIRONMENTAL DOCUMENTS  
PURSUANT TO ARTICLE 19 OF THE STATE CEQA GUIDELINES.

**APPLICANT:** Sid Evans  
Trilogy Properties, LLC  
260 Newport Center Drive, Ste. 100  
Newport Beach, CA 92660

**PROJECT LOCATION:** 1470 E. Bulldog Lane  
Fresno, CA 93710  
(APN: 418-163-06s)  
(Council District 4, Councilmember Caprioglio)

**PROJECT DESCRIPTION:** **Conditional Use Permit Application No. C-14-093** was filed by Sid Evans of Trilogy Properties LLC and pertains to 0.79 acre of property located on the north side of East Bulldog Lane, between North Sixth Street and North Millbrook Avenue just west of Fresno State Bulldog Stadium. The applicant proposes the construction of an approximate 65,000 square-foot four story student housing project with Tuscan-style architecture. There will be ground level parking (45 spaces) and three stories of apartment living with two elevators, 12 two-bedroom apartments and 18-four bedroom apartments (total of 30 units---96 bedrooms and 97 bathrooms). The property is zoned R-4 (*High Density Multiple Family Residential*).

**This project is exempt under 15332/Class 32 of the California Environmental Quality Act (CEQA) Guidelines.**

**EXPLANATION:**

Section 15332/Class 32 exempts from the provisions of CEQA, construction of projects characterized as in-fill development meeting the following conditions: a) the project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations, b) the proposed development occurs within city limits on a project site of no more than five acre and is substantially surrounded by urban uses, c) the project site has no value as habitat for endangered, rare or threatened species, d) approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality, and e) the site can be adequately served by all required utilities and

public services.

This site is located within the City limits and is consistent with the general plan designation, policies, and zoning. The proposed development occurs on a project site of approximately 0.79 acres, which is less than the five acre maximum, and is substantially surrounded by urban uses. Public Works Traffic Engineering has analyzed the project and has determined that the trips generated by the project are 15 A.M. peak hour trips and 19 P.M. peak hour trips. The site has no value as habitat for endangered, rare or threatened species and can be adequately served by all required utilities and public services. No adverse environmental impacts will occur as a result of the proposed project. None of the exceptions to Categorical Exemptions set forth in the CEQA Guidelines, Section 15300.2 apply to this project. Furthermore, the proposed project is not expected to have a significant affect on the environment. Accordingly, a categorical exemption, as noted above, has been prepared for the project.

Date: October 7, 2015

Prepared By: Christopher Preciado, Planner II

Submitted by:   
\_\_\_\_\_  
McKencie Contreras, Supervising Planner  
City of Fresno  
Development and Resource Management Dept.  
(559) 621-8024

Exhibit H:  
Opposition Letters

## Christopher Preciado

---

**From:** Dan Waterhouse <bdsmdanfresno@yahoo.com>  
**Sent:** Monday, October 27, 2014 2:38 PM  
**To:** Christopher Preciado  
**Subject:** Re: Proposed Student Housing on Bulldog Lane

Thanks for the response first of all! Please add my name to the project notification list.

Dan

Sent from my iPhone

On Oct 27, 2014, at 1:54 PM, Christopher Preciado <[Christopher.Preciado@fresno.gov](mailto:Christopher.Preciado@fresno.gov)> wrote:

> Mr. Waterhouse,

>

> The Bulldog Apartment Project is currently being processed. Upon approval, a notice of granting will be sent to the surrounding property owners with a fifteen (15) day appeal period. I can add your name to the list to be noticed, at which time you can appeal the project in writing. Your appeal must be received by the end of business day on the day specified in the notice.

>

> You are welcome to attend the District 4 Implementation Committee today at 4:00 pm. The information on that committee is below:

>

> District 4 Plan Implementation Committee Monday, October 27, 2014,

> 4:30 - 5:30pm Fresno City Hall, 2600 Fresno St., Room 3078, third

> floor north The District 4 Implementation Committee meets the second

> and fourth Monday each month. The committee evaluates and makes recommendations on most land use applications for new and additions to buildings, and/or land use proposals in the District. For additional information, including agendas, please contact McKencie Contreras at (559) 621-8066 or via email at [McKencie.Contreras@fresno.gov](mailto:McKencie.Contreras@fresno.gov).

>

>

> If you have any further questions, please do not hesitate to call me.

>

> Thank you,

> Christopher Preciado

> Planner II

> City of Fresno

> Development and Resource Management Dept.

> 2600 Fresno Street, Fresno, CA 93721

> Phone: (559) 621-8068

> [Christopher.Preciado@Fresno.gov](mailto:Christopher.Preciado@Fresno.gov)

>

>

>

>

>

>  
> -----Original Message-----  
> From: Laura Rios  
> Sent: Monday, October 27, 2014 1:17 PM  
> To: Christopher Preciado  
> Subject: FW: Proposed Student Housing on Bulldog Lane

>  
>  
>  
> -----Original Message-----  
> From: Bdsmdanfresno@yahoo.com [mailto:Bdsmdanfresno@yahoo.com]  
> Sent: Sunday, October 26, 2014 6:10 AM  
> To: District4  
> Subject: Proposed Student Housing on Bulldog Lane

> Contact Us

> -----

>  
> Name: Dan Waterhouse  
> Address: 6363 N Wilson Ave  
> City: Fresno  
> State: California  
> Zip: 93704  
> Phone:  
> Email: [Bdsmdanfresno@yahoo.com](mailto:Bdsmdanfresno@yahoo.com)  
> Fax:  
> Preferred Method of Contact: Email

>  
> Comments:  
> As a member of the Alumni Advisory Board of Iota Beta Chapter, Pi Kappa Alpha Fraternity and a Fresno State alumnus, I'm writing to you to convey my opposition to the proposed four-story student housing complex in the 1400 block of Bulldog Lane.

>  
> I am opposed for the following reasons:

>  
> - a four story building will not fit the neighborhood of primarily two  
> storied buildings  
> - the lot it's sited on historically had an overlay on it restricting  
> it to fraternity or sorority housing  
> - it will create increased liability issues for the neighboring Greek  
> houses due to "crashing" during recruitment and social events  
> - on a related note, mixing random "students" with Greek housing will create neighbor conflicts. The fraternities host social events with music and large groups of attendees.

>  
> I understand this proposal is coming before the District planning implementation committee on October 27th. I'm asking the committee to consider rejecting the proposal and having the developer work with the neighbors before any other action occurs.

>  
> Thank you!

>  
>

## Christopher Preciado

---

**From:** Jamie Snyder <jamiesnyder5905@yahoo.com>  
**Sent:** Tuesday, November 25, 2014 7:19 PM  
**To:** Christopher Preciado  
**Subject:** Bulldog Lane Apartment Complex Concerns

Christopher,

It has been brought to my attention that the empty lot on Bulldog lane wants to be over run with apartments. Being apart of the greek system, I don't see this as any sort of benefit to our community. I have lived in my sorority for three years now, and as scary as it already is, thank god nothing major has happened to me. With adding these apartments, I see a disastrous outcome. I can guarantee the cops will be receiving more disturbance calls from not only the greek system living around them but also the people that live nearby. I predict more chaos and more people added to the already disturbing street of Bulldog lane. Please take all of our concerns serious, as this is our safety at hand. Thank you.

Jamie Snyder

## Christopher Preciado

---

**From:** Alicia Persaud <aliciapersaudap@gmail.com>  
**Sent:** Wednesday, December 03, 2014 1:27 PM  
**To:** Christopher Preciado  
**Subject:** Proposed housing project on Bulldog Lane

Dear Mr. Preciado,

I am a student at California State University Fresno and Vice President of Membership for the Epsilon Epsilon chapter of the Delta Zeta Sorority at CSUF. I am writing you with some concerns regarding the plans to build a housing development in the empty lot on Bulldog Lane. Myself, the rest of my chapter and the entire Fresno State greek system are concerned about this proposition for two main reasons: safety and traffic. We do not believe that this housing development should be built.

Apart from the Sorority and Fraternity houses in the neighborhood, the area around the empty lot shows considerable economic hardship. We are worried that if more housing is put in here it may appeal to the wrong kind of people. Having more cheap housing available in such a poor neighborhood puts everyone's safety at risk. The crime rate in this area is already extremely high and the opportunity for there to be more concerns us greatly. Cars are broken into on a regular basis, the current residents of the area are already fearful of walking around the area alone, and there have been assaults/attacks on both men and women in the area. This new housing project will only make the problem worse and put more people's safety at risk.

Not only is safety an issue, we have problems with traffic and parking in the area. On a regular day it can be difficult to find parking near your destination. When the school is having an event (football game, concert, etc.) it can be impossible. Giving more people the opportunity to live in the area will only make the already bad parking situation a nightmare.

I hope that you understand that building a housing development in the empty lot on Bulldog Lane will be detrimental to the current residents, the greek system and ultimately Fresno State. We hope that you will take our concerns into consideration when planning this project.

On behalf of the Epsilon Epsilon chapter of Delta Zeta I would like to thank you for your time and encourage you to contact us further if you have any questions regarding our concerns.

Best Wishes,  
Alicia M. Persaud  
VP Membership  
Delta Zeta  
Fresno State

## Christopher Preciado

---

**From:** Emily McCrone <emilymccrone1@gmail.com>  
**Sent:** Tuesday, December 02, 2014 11:52 AM  
**To:** Christopher Preciado  
**Subject:** Student Housing Project Bulldog Lane

Dear Mr. Preciado,

I am a student at CSU, Fresno and I am a member of Delta Zeta Sorority. I am writing to you with some concerns regarding the plans to build a housing development on the empty lot on Bulldog Lane.

The biggest concern that I have is that we, as a Greek system, would have no control over who is living in the building. We already have problems with break ins around the area due to the surrounding neighborhood. It can be frightening to even walk to our cars that are parked outside of Greek Row. It would be a crime to put a housing project near near students without knowing who will move in. The crime rate is already so high, and it would look bad if it went up.

The second concern I have is that parking is already an issue for many of the Greeks. We simply do not have the space to accommodate everyone. Already girls sometimes park a mile away and have to be driven from their cars and back before and after meetings. With the addition of an apartment complex is the addition of more cars.

The third concern I have is noise. Obviously, that is not a quiet area on the weekends. If an apartment with people who are not Greek or even students is put there, the noise complaints would go through the roof. As college students, parties are fun. It's a way to blow off steam but they can be loud. I would be terrified that the people who move into the apartments will call in noise complaints every weekend and try to destroy the Greek system here at Fresno State.

Finally, I would like to say that I am not totally against the idea of an apartment complex there. I believe that it could be built as student only housing and if it works out correctly, could be offered first to Greeks without a house so the integrity of Greek Row stays intact. Greek life has been such an integral part of my life here at Fresno State. I am a Dean's list student. I am a feature twirler for the marching band. I am a part of NSSHLA too. I am a typical Greek woman who just does not want to see Greek Row disappear.

Thank you for your time and consideration.

Sincerely,  
Emily McCrone

## Christopher Preciado

---

**From:** Melina Behiel <goforthegold33@att.net>  
**Sent:** Friday, December 05, 2014 12:05 PM  
**To:** Christopher Preciado  
**Subject:** Student Housing Project On Bulldog Lane

Hello,

My name is Melina Behiel, Active Member of Kappa Alpha Theta at Fresno State.

I am e-mailing on a concerned note regarding the possible apartment complex construction in between Delta Sigma Phi and Sigma Chi.

If these apartments are built, which I feel that they should not be, they should be limited at most to Students only but hopefully Greeks only.

Having non-students and/or non-Greeks living on Fraternity row would be a liability to all. We are already concerned enough about our safety by living so close to "Sin City". If outside people move in so close to all of our houses I can only imagine the crime rate increasing drastically.

Please take this into consideration before building,

Thank you!

Melina Behiel

## Christopher Preciado

---

**From:** Nat DiBuduo <nat@alliedgrapegrowers.org>  
**Sent:** Monday, September 28, 2015 2:12 PM  
**To:** Christopher Preciado; Mike Sanchez  
**Cc:** bill@soldevelopment.com  
**Subject:** FW: 1470 E Bulldog Lane  
**Attachments:** 1470 E Bulldog Lane.pdf; City of Fresno City Hall - location.docx

Christopher

Please include this email below as my opposition to the apartment project at 1470 E. Bulldog Lane. Please include this as part of the staff report to the Planning Commission and applicant. If you have any response to the items below I would appreciate a response as well as they be addressed in your final staff report to the PC. If I haven't heard anything from you or my Sanchez by Friday I will assume I need to forward this to the PC Chairman for inclusion.

Thank you .

Nat DiBuduo  
Former PC Member and concerned citizen

**From:** Nat DiBuduo [mailto:nat@alliedgrapegrowers.org]  
**Sent:** Monday, September 28, 2015 10:42 AM  
**To:** Mike Sanchez <Mike.Sanchez@fresno.gov>  
**Cc:** Debbie Adishian-Astone <debbiea@csufresno.edu>; Tony.Gonsalves@wellsfargo.com; bill@soldevelopment.com; Fischer, Brad <BFischer@premiervalleybank.com>  
**Subject:** FW: 1470 E Bulldog Lane

Mike

I would like to go on the **record of opposition of this project** for a number or reasons some of which are:

- This site was never designated as a suitable location for apartments
- I believe in the original subdivision map this site like all the others surrounding this location were designated as part of the fraternal / Greek system and needs to be compatible with that designation.
- Tis use is NOT compatible with the Greek housing located all around this parcel.
- I understand the Mayor's mission to have quality infill projects but those infill projects must still meet the suitability of the surrounding neighborhood. This may be a infill project but it is not suitable at this location
- I believe this site is over developed for the location with 90 rooms and only 45 parking stalls including no offsite parking therefore parking is inadequate.
- There is no guarantee that the way this project is designed that occupancy may always be limited to 90 individuals or even students
- I saw the analysis that the owner that ne may be able to limit the residents to "Student Only Housing". I'm not sure that statement would hold up in court as no one wants to see any sort of discrimination. Including that of student housing with their family allowed. Again this project is unsuitable for this site.
- A four story building with underground parking is not compatible with existing residential designs of the Greek Mall

- I did not see an appropriate traffic study nor any mitigation for the added traffic of a project this size would contribute to the traffic already existing on Bulldog Lane, Barstow or Sixth Street
- It is my understanding this project does not have the approval or endorsement of the District 4 Review Committee, CSU Fresno. Fresno State Intra Fraternity Council , Associated Student Body visa the Student Senate , the Various Alumni Associations of the Fraternity & Sororities as well as the student active members of these Fraternities & Sororities.

I do not understand how this project was allowed to be processed through the Planning Department and reached approval of the Planning Department staff. **Please send me a copy of the Staff Report** regarding this project. Who is the staff person assigned to this project? I plan on attending the PC meeting along with many others to oppose this project and speak in opposition. I also am **requesting the agenda for that evening** to better understand other agenda items that may be heard before or after this agenda item.

Thank you Mike & I'll see you on the October 7<sup>th</sup> .

*Respectfully*  
*Nat DiBuduo*



President CEO

Allied Grape Growers

Office: 559-276-7021

Fax: 559-276-7129

[www.alliedgrapegrowers.org](http://www.alliedgrapegrowers.org)

<http://www.facebook.com/pages/Allied-Grape-Growers/173261782730916>

## Christopher Preciado

---

**From:** Scott, Mark <MScott@burbankca.gov>  
**Sent:** Tuesday, September 29, 2015 10:52 AM  
**To:** Christopher Preciado  
**Cc:** Mike Sanchez; Jennifer Clark  
**Subject:** 1470 E. Bulldog Lane

Dear Mr. Preciado:

I would appreciate it if you would provide a copy of this email to the City Planning Commission regarding their review of the 1470 E. Bulldog Lane project.

I would like to add my voice to concerns about the density of the proposed project. As you are all well-aware by now, this parcel has long been part of what was originally envisioned as a Fraternity Mall, to match the Sorority Mall that still thrives about a half-block away. We acknowledge that only 4 of the fraternities at Fresno State fulfilled the original vision by building substantial houses in the 60's. Other types of student housing was built to the west. In the years since, the student housing in what was called "Sin City" during my college years, has become the very troubled El Dorado Park neighborhood. The vision for student housing there was eventually replaced by what could only be characterized as blight and crime. Huge amounts of time have been spent by Councilmembers Caprioglio and Westerlund, and by Mayor Swearengin, to try to make that neighborhood more livable. I know that the Planning Commission and staff have also been deeply involved.

I can appreciate that confidence in the original Fraternity Mall concept has faded, and perhaps(?) today it is necessary to allow a developer of the 1470 site to build some sort of housing. I am quite sure, however, that the best solution is not the kind of density and bulk being proposed. This is simply a case of a corporate land developer buying a parcel at a bargain price and asking a local community to entitle significant windfall value by allowing a density that does not fit the area. For better or worse, the fraternity and sorority developments have been the only stabilizing land use in the stadium area. My fraternity (Signal Chi) continues to put very large sums of money into maintaining our house. We have made great strides in bringing the activity in our house to meet the behavioral standards of the current time. If this huge new building is located next door, essentially enclosing our house, then I fear we lose the last stable land use in the area.

If some sort of apartment development of that site is legally required, I would suggest that the right approval is for something far less dense, far less bulky and far more fitting of the character that best serves the neighborhood. It is a not designed for a corporate apartment use. A buyer of that parcel should see that very clearly.

I want to also suggest that fraternities and sororities at Fresno State are just one of several institutions that have nurtured leadership among its students. Our Fresno State Greek system has nurtured Mayors, at least one U.S. Congressman, a California Secretary of State, a former U.S. Ambassador, many local business leaders, public school administrators, hospital administrators, City Planning Commissioners, and just generally good Fresnans. Again, it is just one of many institutions that have done that. Personally, I attribute the start of my city management career to my 4 years of living on Bulldog Lane and helping govern my fraternity. I hope future generations will not lose that opportunity.

I wish all my friends the best and thank you for your ongoing service to my hometown!

Sincerely,

Mark Scott

## Christopher Preciado

---

**From:** David Price III <davidpriceiii@gmail.com>  
**Sent:** Wednesday, September 30, 2015 11:42 AM  
**To:** Christopher Preciado  
**Subject:** Trilogy Properties LLC - 1470 E. Bulldog Lane

It has come to my attention that Trilogy Properties is proposing a development project amidst existing fraternity houses near Fresno State University. I am sure you will receive many comments regarding the proposed project. Suffice it to say that as a former Fresno State Student Body Vice President and President (1974-75; 1975-76), it is my opinion that this is an incompatible use considering the nature and scope of adjoining, already developed properties.

Due to previous development patterns, many universities throughout the United States struggle to find enough land for the clustered grouping of fraternity and sorority uses. Fresno State used considerable foresight in accommodating the creation of what we know as Sorority Mall and Fraternity Row. However, there is limited property available to accommodate any additional Greek letter houses. To inject the proposed use in the midst of this defined and unique community would have a disparate impact on the existing immediate community and preclude future growth of the on-site Greek community. Additional issues are as follows:

- **A four story building with underground parking is not compatible with existing residential designs of the Greek Mall**
- **All Greek Mall properties are owned by 501(c)3 not for profit owners, not out of town for-profit investors**
- **Student housing does not exclude families. Where will the kid's play? Fraternity Mall?**
- **There is no guarantee that the way this project is designed that occupancy may always be limited to 96 bedroom tenants or even students**
- **Cannot accommodate a Fraternity as a tenant as there is no common area or central kitchen or dining room**

It is for these reasons that I respectfully request that the City of Fresno not approve this request, related land use applications(s), nor the environmental document.

Sincerely,

David Price III

Former Assistant Planning Director  
County of Kern  
Resource Management Agency Director (Retired)  
County of Kern

345 Elmhurst Drive  
Kingsport, TN 37663-2303  
423-406-1236

## Christopher Preciado

---

**From:** jamesvaux@comcast.net  
**Sent:** Thursday, October 01, 2015 4:08 AM  
**To:** Christopher Preciado  
**Cc:** Fischer, Brad; Robinson, Bill  
**Subject:** Property at 1470 E. Bulldog Lane

Dear Mr. Preciado,

I am writing to voice my opposition regarding the Trilogy Properties LLC's proposal to build a four story "student housing" project on the vacant lot in the midst of fraternity row. First of all, it has nothing in common with the other buildings in the area. All houses are either one or two stories and are designed for students only (no families). In addition, there doesn't seem to be adequate parking on site for all tenants. This will result in overflow parking on the already crowded streets. My real concern is the upkeep and maintenance of the building and property. Who's going to ensure the place is clean and kept-up to normal standards? A messy property will negatively affect the other house's value and appraisal. Noise is another concern. Students must have a quiet environment to study. Ninety-six tenants will not guarantee peaceful conditions especially if not all of them are students.

I'm afraid that in 2-3 years when the owners have trouble obtaining full occupancy, he will let the property slide into disrepair and will start renting to people who don't care about their living conditions and take no pride in their surroundings. Each fraternity owns their own house and the members are very particular about how each individual property is maintained. I doubt if that will be the case with the Trilogy project.

I wholeheartedly reject the concept being proposed for 1470 E. Bulldog Lane and hope the Planning Commission does the same.

Respectfully submitted by,

Jim Vaux, Secretary  
Sigma Chi Alumni Chapter of Fresno