



**REPORT TO THE PLANNING COMMISSION**

AGENDA ITEM NO. VIII-A  
COMMISSION MEETING 07/02/14

July 2, 2014

DEPARTMENT DIRECTOR

FROM: MIKE SANCHEZ, Planning Manager  
Development Services Division

THROUGH WILL TACKETT, Supervising Planner  
Development Services Division

BY: SANDRA BROCK, Planner  
Development Services Division

**SUBJECT: CONSIDERATION OF VESTING TENTATIVE TRACT MAP  
NO. 6063/UGM, CONDITIONAL USE PERMIT APPLICATION  
NO. C-14-018, AND RELATED ENVIRONMENTAL  
ASSESSMENT NO. T-6063/C-14-018**

**RECOMMENDATION**

Staff recommends that the Planning Commission take the following actions:

1. APPROVE the adoption of the Mitigated Negative Declaration (MND) prepared for Environmental Assessment (EA) No. T-6063/C-14-018, dated May 30, 2014 for the purpose of the proposed tract map, conditional use permit application, and street vacation.
2. APPROVE Vesting Tentative Tract Map (VTTM) No. 6063/UGM to divide the subject property into ten (10) single family residential parcels, subject to the findings included within the Staff Report to the Planning Commission dated July 2, 2014 and subject to compliance with the Conditions of Approval for the vesting tentative tract map, dated July 2, 2014. Approval of VTTM 6063/UGM is also contingent upon Planning Commission approval of the related MND for EA No. T-6063/C-14-018 and CUP Application No. C-14-018.
3. APPROVE Conditional Use Permit (CUP) Application No. C-14-018 for the establishment of a 10-lot single family residential planned unit development with modified property development standards and public street access for lots proposed to be created by VTTM No. 6063/UGM, subject to the findings included within the Staff Report to the Planning Commission dated July 2, 2014 and subject to compliance with the Conditions of Approval for the CUP dated July 2, 2014. Approval of CUP Application No. C-14-018 is also contingent upon Planning Commission approval of the related MND for EA No. T-6063/C-14-018 and VTTM 6063/UGM.

## EXECUTIVE SUMMARY

Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit Application No. C-14-018 have been filed by Gary Giannetta of Gary G, Giannetta Civil Engineering and Land Development on behalf of owner and subdivider Copper Park LLC. These applications propose to create a ten-lot planned unit development with a public street on approximately 1.78 acres of property located at 1025 East Carnoustie Avenue, on the southeast corner of North Friant Road and East Copper Avenue south of the park & ride lot, comprised of Assessor's Parcel No. 577-210-54 and street right-of-way being vacated. (please refer to the attached aerial photo, vicinity map, assessor's parcel map, and diagram of the proposed Vesting Tentative Tract Map 6063/UGM). Staff supports approval of these applications, subject to conditions.

## PROJECT INFORMATION

PROJECT	Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit Application No.C-14-018 propose to create a ten-lot planned unit development with a public street on approximately 1.78 acres of property located at 1025 East Carnoustie Avenue, on the southeast corner of North Friant Road and East Copper Avenue south of the park & ride lot
APPLICANT	Gary Giannetta of Gary G. Giannetta Civil Engineering and Land Surveying, on behalf of Copper Park LLC (subdivider and property owner).
LOCATION	1025 East Carnoustie Avenue (APN 577-210-54), on the southeast corner of North Friant Road and East Copper Avenue <b>(Council District 6, Councilmember Brand)</b>
SITE SIZE	Approximately 1.78 net acres
PLANNED LAND USE	Existing - Medium Density Residential Proposed - same
ZONING	Existing - R-1/EA/UGM ( <i>Single Family Residential District/ Expressway Area Overlay District/Urban Growth Management Area</i> ) Proposed - same

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**PLAN DESIGNATION AND CONSISTENCY** Pursuant to Table 2 of the 2025 Fresno General Plan (Planned Land Use and Zone District Consistency Matrix) and pursuant to Fresno Municipal Code (FMC) Section 12-403-B-1 (Zone District Consistency Table), the existing R-1/UGM (*Single Family Residential District/Urban Growth Management Area*) zoning classification for the subject property is consistent with the 2025 General Plan and the Woodward Park Community Plan.

VTTM 6063/UGM, and CUP Application No. C-14-018 may be found consistent with the Medium Density Residential planned land use designation for the subject property, because these applications would establish residential use of the subject property at a density of 5.61 units per acre, which is within the 4.99 to 10.37 dwelling unit/acre density range established for the Medium Density Residential Land use under the General Plan and the Woodward Park Community Plan.

**ENVIRONMENTAL FINDING** The Initial Study conducted for Environmental Assessment No. T-6063/C-14-018 recommends a Finding of Mitigated Negative Declaration. A Notice of Intent to make the finding was published in the Fresno Bee and posted with the Fresno County Clerk on May 30, 2014. The Planning Commission hearing is intended to serve as part of the process for receiving comments on the EA.

**PLAN COMMITTEE RECOMMENDATION** The Council District 6 Plan Implementation Committee recommended approval of this project by a 4-0 vote on April 2, 2014 (a copy of the project review record is attached).

**STAFF RECOMMENDATION** (1) Adopt the Finding of Mitigated Negative Declaration prepared for Environmental Assessment T-6063/C-14-018; and  
(2) Approve Vesting Tentative Tract Map 6063/UGM and Conditional Use Permit Application No. C-14-018 to authorize development of the proposed 10-lot Planned Unit Development with public street, subject to conditions of approval for the tract map and CUP.

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**BORDERING PROPERTY INFORMATION**

	<b>Planned Land Use</b>	<b>Existing Zoning</b>	<b>Existing Land Use</b>
<b>North</b>	Parking	<b>P</b> <i>(Parking District)</i>	Park & Ride Lot
<b>South</b>	Medium-Low Density Residential	<b>R-1/UGM</b>	Developed housing subdivision
<b>East</b>	Medium-Low Density Residential	<b>R-1/UGM</b>	Developed housing subdivision
<b>West</b>	Multi-Use Open Space	<b>AE-20 (County)</b> and <b>AE-5/UGM</b> <i>(Exclusive Five-Acre Agricultural District/ UGM Area)</i>	Surface mining site being reclaimed

**ENVIRONMENTAL FINDING**

The Development and Resource Management Department staff consulted with responsible and trustee agencies (City departments and partnering agencies) regarding the tract map and conditional use permit applications, then prepared an initial study using the Appendix G checklist from the California Environmental Quality Act (CEQA) Guidelines.

These applications were evaluated in accordance with the land use and environmental policies and provisions of the 2025 Fresno General Plan and its related Master Environmental Impact Report (MEIR) No. 10130 (State Clearinghouse No. 2001071097), as well as the Mitigated Negative Declaration (MND) No. A-09-02 adopted for the General Plan Air Quality Update (SCH No. 2009051016). The resulting Environmental Assessment is appended to this report.

All applicable mitigation measures of MEIR No. 10130 and MND No. A-09-02 have been applied to the project necessary to assure that the project will not cause significant adverse cumulative impacts, growth inducing impacts, and irreversible significant effects beyond those identified by MEIR No. 10130 and MND No. A-09-02 as provided by CEQA Guidelines Section 15177(d).

After conducting a review of the adequacy of the MEIR pursuant to Public Resources Code Section 21157.6(b)(1), the Development and Resource Management Department, as lead

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agency, finds that no substantial changes have occurred with respect to the circumstances under which the MEIR was certified and the MND adopted; and, that no new information, which was not known and could not have been known at the time that the MEIR was certified as complete or the MND was adopted, has become available.

Pursuant to CEQA Guidelines Section 15178(a), the project proposal has been determined to be a subsequent project not fully within the scope of the MEIR and MND, because some additional project-specific mitigation measures have been deemed necessary to ensure that residents of this subdivision would not be adversely impacted by roadway noise from Friant Road soil or conditions which may exist in this portion of Fresno. Therefore, the recommended finding for this project is a Mitigated Negative Declaration, as provided by CEQA Guidelines Section 15178(b).

The environmental assessment resulted in a proposed finding of Mitigated Negative Declaration and staff published a Notice of Intent to make this finding in the Fresno Bee, and posted the Notice of Intent with the Fresno County Clerk, on May 30, 2014. No comments or appeals regarding the proposed environmental finding have been received to date.

## BACKGROUND / ANALYSIS

### Land Use Plans and Policies; Zoning

The 2025 Fresno General Plan devoted considerable attention to residential development, focusing on protecting neighborhood quality of life while maximizing the efficient use of land and resources. Several of the General Plan's Goal statements reflect this:

- Goal 1:** Enhance the quality of life for the citizens of Fresno and plan for the projected population within the moderately expanded Fresno urban boundary in a manner which will respect physical, environmental, fiscal, economic, and social issues.
- Goal 6:** Coordinate land uses and circulation systems to promote a viable and integrated multi-modal transportation network
- Goal 7:** Manage growth to balance Fresno's urban form while providing an adequate public service delivery system which is fairly and equitably financed.
- Goal 8:** Provide opportunity for a variety of affordable housing throughout the Metropolitan Area

Objective C-9 of the 2025 Fresno General Plan directs planning for the diversity and quality of residential housing, at locations necessary to provide for adequate and affordable housing opportunities. Housing patterns should support balanced urban growth, and should make efficient use of resources and public facilities.

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Supporting General Plan Policy C-9-j recommends that Medium Density Residential uses shall be developed to maximize the efficient use of land.

Similarly, goals, objectives, and policies of the Woodward Park Community Plan are directed toward providing for efficient use of land while protecting the integrity of established neighborhoods; creating compatible relationships between differing housing types and densities; and providing for safe, clean and aesthetically pleasing neighborhoods while ; fostering a diversity of housing opportunities.

The proposed subdivision would retain the R-1/EA/UGM (*Single Family Residential District/Expressway Area Overlay/UGM Area*) zoning classification assigned to the subject property. That zone district is consistent with the Medium Density Residential land use designation assigned to the property in the 2025 Fresno General Plan and Woodward Park Community Plan.

Pursuant to Table 2 of the 2025 Fresno General Plan (Planned Land Use and Zone District Consistency Matrix) and pursuant to Fresno Municipal Code (FMC) Section 12-403-B-1 (Zone District Consistency Table), the existing R-1/UGM (*Single Family Residential District/Urban Growth Management Area*) zoning classification, VTTM 6063/UGM, and the conditional use CUP Application NO. C-14-018 may be found consistent with the Medium Density Residential planned land use designation for the subject property. VTTM 6063/UGM and CUP C-14-018 applications would establish residential use of the subject property at a density of 5.61 units per acre, which is within the 4.99 to 10.37 dwelling unit/acre density range established for the Medium Density Residential Land use under the General Plan and the Woodward Park Community Plan.

It requires a 200-foot building setback from the center of the nearest expressway travel lane, which is reducible to 75 feet upon demonstration of adequate noise protection through an acoustical study. The applicant submitted an acoustical study done by Brown, Buntin, dated February 4, 2014 (a copy is attached to Environmental Assessment No. T-6063/C-14-018 appended to this staff report). Accordingly, the Expressway Area setback along North Friant Road has been reduced to 75 feet, with imposition of effective noise mitigation via a masonry soundwall and prohibition of second floor and rooftop patios in project conditions of approval, because those elevated outdoor areas which would be higher than the yard area protected by the soundwall.

### **Tentative Tract Map Findings**

The Subdivision Map Act (California Government Code Section 66400 et. seq.) requires that a proposed subdivision not be approved unless the map, together with its design and improvements, is found to be consistent with the General Plan and any applicable specific plan (Finding No. 1 below). State law further provides that the proposed subdivision map be denied if any one of the Finding Nos. 2 - 5 below is made in the negative. In addition, State law requires that a subdivision be found to provide for future passive and natural heating or cooling opportunities in the subdivision development (Finding No. 6 below).

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Subject to the recommended conditions of approval for Vesting Tentative Tract Map 6063/UGM and its accompanying Conditional Use Permit No. C-14-018, the subdivision map complies with the design and property development standards of the Zoning Ordinance and local Subdivision Ordinance. Based upon the plans and information submitted by the applicant and the recommended conditions of project approval, staff has determined that the following findings can be made:

1. The proposed subdivision map, together with its design and improvements, is consistent with the City's 2025 Fresno General Plan and Woodward Park Community Plan and the existing R-1/EA/UGM (*Single Family Residential District/ Expressway Area Overlay District/Urban Growth Management Area*) zoning of the subject property. The project design meets the density, intensity, objectives, policies, and programs specified in the 2025 Fresno General Plan and Woodward Park Community Plan for the creation and development of single family residential lots within this plan designation.
2. This site is physically suitable for the proposed type and density of development, because the subject property is of sufficient size to accommodate the development of the subject property at the density proposed, while affording sufficient amenities as necessary to ensure the sustainability of the development. Design of the subdivision, in conjunction with conditions of approval applied to the subdivision, will ensure adequate access and drainage infrastructure.
3. The proposed subdivision design and improvement is not likely to cause damage to the natural environment, including fish, wildlife or their habitat, because the site has been extensively modified by past grading which extinguished original habitat value, and all agricultural uses on the subject property have been discontinued for a period of years. The subject property remains without trees, or irrigation to sustain and attract wildlife; its vegetation is ruderal, and does not provide a suitable habitat diversity to sustain native wildlife species.
4. The proposed subdivision design and improvements are not likely to cause public health and safety problems, because conditions of approval will ensure that the subdivision conforms to city health, safety, and noise attenuation standards.
5. The proposed subdivision design will not conflict with public easements within, through, or abutting the site, because the project design and conditions of approval will assure noninterference with any existing or proposed easements for roadways, utilities, and the multi-purpose trail that borders the subject property.
6. The design of the subdivision provides, to the extent feasible, for future passive and natural heating or cooling opportunities in the subdivision, because of orientation of the proposed lots and homes allow for solar access and air circulation.

**Findings and Conditions of Approval for CUP No. C-1-018**

Staff has determined that the required findings could be made pursuant to the Fresno Municipal Code special permit process (FMC Section 12-405-A-2) for this project, with development appropriately conditioned and mitigated to protect quality of life and public service capacity (copies of the CUP Conditions of Approval and Environmental Assessment No. T-6063/C-14-018 are attached to this report):

<b>Required Findings under FMC Section 12-405-A-2</b>	
<i>FMC §12-405-A-2.a. All applicable provisions of this Code are complied with and the site of the proposed use is adequate in size and shape to accommodate said use, and accommodate all yards, spaces, walls and fences, parking, loading, recycling areas, landscaping, and other required features; and,</i>	
<b>Finding a:</b>	This site proposed for development under Conditional Use Permit (CUP) Application No. C-14-018 and related Vesting Tentative Tract Map (VTTM) T-6063/UGM is of an adequate size and configuration for the proposed planned unit development. The applicant is required to improve the property as detailed in the final corrected site plan (Exhibit A) for the CUP, as corrections may be required pursuant to implementation of written conditions of approval for the CUP and accompanying VTTM 6063/UGM and mitigation measures for Environmental Assessment No. T-6063/ C-14-018. The project is consistent with 2025 Fresno General Plan policies and with Woodward Park Community Plan policies for residential development and permissible noise exposure for residential uses
<i>FMC §12-405-A-2.b. The site for the proposed use relates to streets and highways adequate in width and pavement type to carry the quantity and kind of traffic generated by the proposed use; and,</i>	
<b>Finding b:</b>	The proposed extension of East Carnoustie Avenue as a public street meeting the City's 50-foot wide standard and cul-de-sac design is adequate to carry the quantity and kind of traffic generated by the proposed use and to provide for ingress and egress of emergency vehicles.

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*FMC §12-405-A-2. c. The proposed use will not be detrimental to the public welfare or injurious to property or improvements in the area in which the property is located. The third finding shall not apply to uses which are subject to the provision of Section 12-306-N-30 of this Code.*

**Finding c:**

After consultation with the regional Air Pollution Control District and other City departments and agencies having regulatory oversight of aspects of development, resources, and infrastructure relating to the project, after solicitation of comments from potentially affected parties regarding the proposed project, and based upon information contained in the project application and special studies of potential traffic impacts and air quality impacts, the Development and Resource Management Department has determined that the proposed use will not be detrimental to the public welfare or injurious to property or improvements in the area in which the property is located, provided that development occurs subject to the conditions of approval for CUP No. C-14-018 and VTTM 6063/UGM and the mitigation measures applied through Environmental Assessment No. T-6063/C-14-018.

Setbacks and lot coverage

Lots 2 through 10 have 13.5-foot minimum front yard setbacks, and Lot 10 has a minimum ten-foot front yard setback. Minimum interior side yard setbacks are three (3) feet, but Lots 1 and 10 are subject to an Expressway Overlay Area setback of 75 feet from the center of the nearest travel lane, leading to a 22-foot minimum side yard setback on the northwest side of Lot 1 has a 21-foot minimum side yard setback on the northwest side of Lot 10. All lots have a minimum 10-foot rear yard setback. All plot plans show at least a driveway 18 feet long, or longer (those having less than a 20-foot driveway are conditioned upon having a roll-up garage door).

However, the resulting "building envelopes" on these parcels (the area in which the main residential structure is to be constructed) would comprise much more than the 45 percent lot coverage allowed in the R-1 zone district. In order to prevent local drainage system capacity from being overwhelmed by routine ("design") storm events, the CUP Conditions of Approval limit lot coverage on any tract lot to fifty percent, and require that this limit also include patio covers and accessory structures on parcels.

A "fit table" will be used verify which house models proposed for this planned unit development could be accommodated (could fit) on which tract lots, given these requirements of the conditions of approval.

### Walls required for acoustical protection

Given that the proposed subdivision is located adjacent to an expressway and an arterial street (North Friant Road and East Copper Avenues) with large projected traffic volumes, an acoustical study was required for this project.

Pursuant to the environmental assessment conducted for this project, a mitigation measure is proposed to require masonry walls at least six feet in height along the westerly and northerly boundaries of the subdivision for major street noise attenuation.

On the northerly boundary of the project, the masonry wall will also provide a protective barrier between the Park & Ride lot at this intersection and residential back yards). Conditions of approval address anti-graffiti landscaping for this wall.

The acoustical study noted that soundwalls would not protect outdoor areas on the second floor of residences in this tract from Friant Road noise. Therefore, conditions of approval for this project do not permit outdoor patio balconies or rooftop patios that would be exposed to roadway noise in excess of the City's adopted noise standard for residential areas.

### **Circulation and major streets, traffic capacity, and trail system**

All improvements related to major street circulation are complete, and the proximal segments of major streets are operating at an acceptable level of service. The City's major street plans and local circulation designs are the product of careful planning that projects traffic capacity needs based on the intensities of planned land uses anticipated at build-out of the plan area. The intent is to provide adequate access, while recognizing the traffic generating characteristics of developed property, and affording the community an efficient circulation system.

The Public Works Department Traffic Engineering Division has reviewed the proposed vesting tentative tract map and conditional use permit application and has determined that the streets adjacent to and near the subject site will be able to accommodate the quantity and kind of traffic generated, subject to requirements for improvements and right-of-way dedications as listed within the City of Fresno Department of Public Works memoranda dated April 21, 2014 (copies of these memoranda are appended to the attached Conditions of Approval) .

To provide access to the ten lots proposed, existing local street East Carnoustie Avenue will be extended westward and will be finished with a terminus bulb meeting Public Works Department standards for local public streets (the extension of Carnoustie Avenue built by this subdivider will meet the standard 50-foot right-of-way residential street geometric standard).

The California Department of Transportation (Caltrans) has not identified any project related impacts to the State Highway System.

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The developer of this project will be required to pay all applicable regional, City-wide and New Growth Area street impact fees.

The tract includes previously dedicated street right-of-way for a previously planned intersection of North Millbrook Avenue, East Copper Avenue, and North Friant Road. The City's major street planning process has modified that design, and making most of this right-of-way no longer needed for public access purposes. However, the vacation feasibility study (Public Works File No. 11763) pointed out that portions of this previously dedicated major street right-of-way will need to be retained by the City for the multi-modal trail along North Friant Road, and reserved for a local public street, the extension of East Carnoustie Avenue westward to its planned cul-de-sac terminus. (Please refer to the January 7, 2014 letter from Alan James of the Public Works Department which is appended to the Conditions of Approval for VTTM 6063/UGM and CUP No. C-14-018).

Staff and the applicant evaluated the possibility of providing direct access to the trail along Friant Road. Not only would acoustical protection have been impaired by an opening in the soundwall, there is a grade differential of at least three feet all along the trail--this property was previously filled and elevated in order to meet drainage requirements of the Fresno Metropolitan Flood Control District Master Plan. Therefore, it was determined that American Disability Access requirements could not feasibly be met for a direct pedestrian connection between this tract and the trail.

### **Public Services**

The project is located in Clovis Unified School District, and school construction fees will be collected prior to issuance of home building permits. The School District provided a letter outlining attendance areas and its fee policy, dated March 26, 2011; a copy is attached to the tract map conditions of approval.

The City of Fresno Department of Public Utilities (DPU) has determined that adequate sanitary sewer and water services are available to serve the project site subject to implementation of 2025 Fresno General Plan policies and continuing implementation of the City's Metropolitan Water Resources Management Plan and Urban Water Management Plan. Implementation of the 2025 Fresno General Plan policies, mitigation measures of Master Environmental Impact Report No. 10130 and the Water Resources Management Plan will provide an adequate, reliable, and sustainable water supply for the project's urban domestic and public safety consumptive purposes.

DPU memoranda outlining water and sewer requirements for this project, are appended to the conditions of approval proposed for VTT 6063/UGM and CUP No. C-14-018 (dated March 27, 2014 and April 8, 2014, respectively). The appropriate infrastructure impact fees for the project are assessed in the conditions of approval.

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Solid waste service will be provided, and a covenant is required so that property owners will have affirmative notification that parking is not allowed on the cul-de-sac on solid waste pickup days (the DPU memorandum relating these requirements, dated April 22, 2014, is attached to project conditions).

The subject property will be serviced by the Fresno Fire and Police Departments. The Fire Department has conditioned the proposed project with requirements for installation of fire hydrants and the provision of adequate fire flows per Public Works Standards (refer to the Fire Department memorandum dated April 10, 2014, attached to conditions of approval).

The Fresno Metropolitan Flood Control District (FMFCD) has indicated that there are adequate facilities to serve the proposed project. Therefore, the developer will be required to construct facilities and/or pay impact fees for this project's proportionate share of the storm drain system (refer to FMFCD's April 4, 2014 Notices of Requirements for Tract 6063 and CUP No. C-14-018, appended to conditions of approval for the tract map and CUP).

### **PUBLIC CONSULTATION**

The applicant and representatives for the subdivider met with the Council District 6 Plan Implementation Committee on April 2, and the Committee members unanimously supported the proposed project (4-0 vote, two members absent).

Notices for the Planning Commission's July 2 hearing were mailed on Friday, June 20, 2014 (a copy of the mailed hearing notice is attached, along with the mailing list and noticing radius map). Staff has not received any inquiries or appeals as of date of preparation of this report.

### **CONCLUSION**

The appropriateness of the proposed project has been examined with respect to its consistency with the planned land use and existing zoning of the subject property, as well as goals and policies of the 2025 Fresno General Plan and the Woodward Park Community Plan. The project has been determined to be compatible with surrounding existing and planned; and the conditions of approval and mitigation measures proposed for the project avoid or adequately mitigate potentially significant adverse environmental impacts. Upon consideration of this evaluation, it can be concluded that approval of Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit No. C-14-018 is appropriate to subdivide this property to establish a 10-lot planned unit development with a public street.

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Attachments:

- Aerial Photo
- Vicinity Map, with zone districts annotated
- Assessor's Parcel Map that includes the subject property
- Vesting Tentative Tract Map 6063/UGM diagram
- Council District 6 Project Review Record, dated April 2, 2014
- C-14-018 exhibits (site plan, landscape plan, home elevations and floor plans)
- Copy of mailed Notice of Planning Commission hearing, with list of recipients and mailing radius map
- Proposed Conditions of Approval for VTT 6063, with attachments
- Proposed Conditions of Approval for CUP C-14-018, with attachments
- Planning Commission Public Hearing Notice and Mailing List
- Environmental Assessment No. T-6063/C-14-018, with attachments



2008 aerial photo, vicinity of Vesting Tentative Tract 6063/UGM and Conditional Use Permit No. C-14-018









577-21

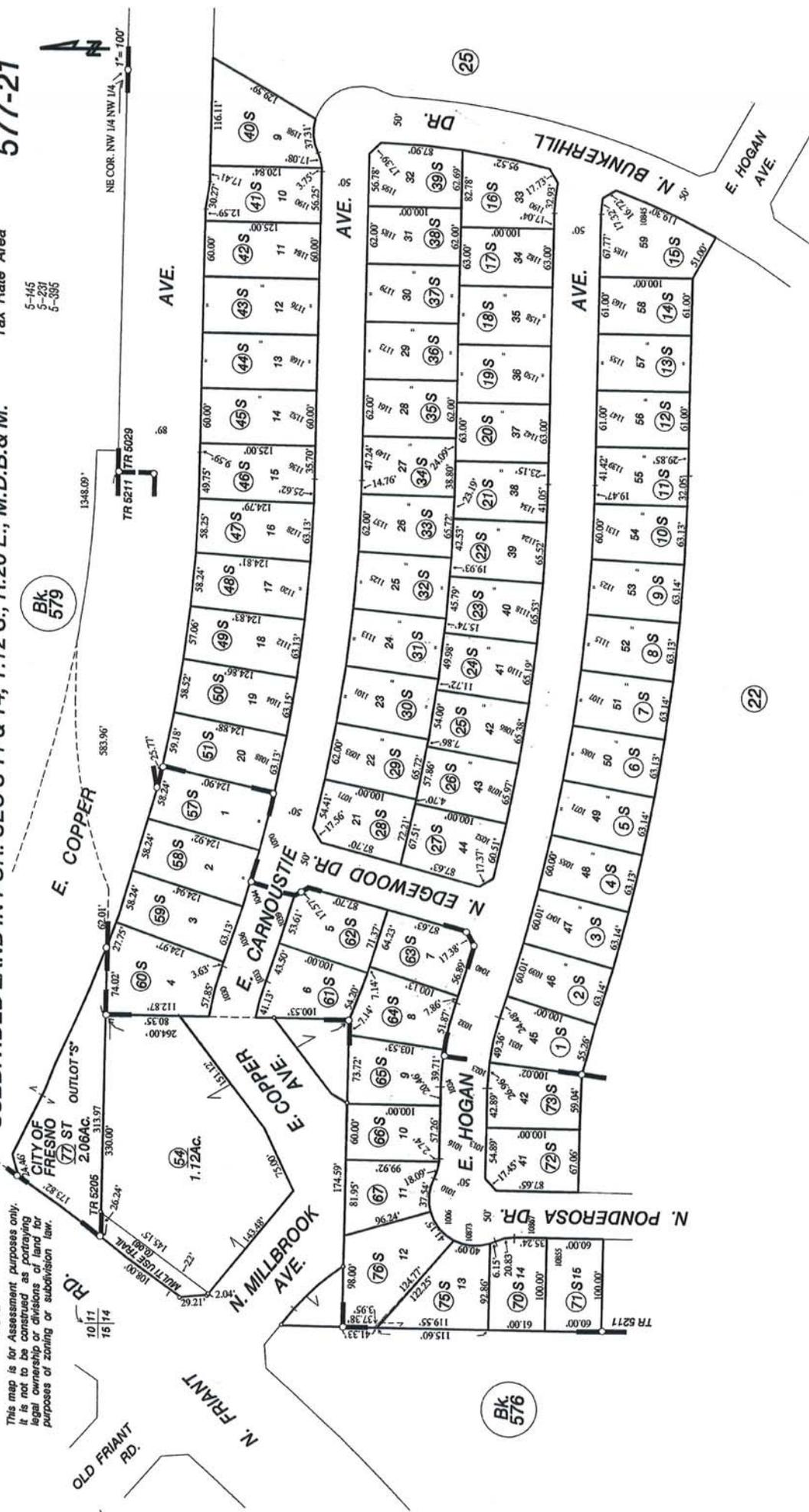
Tax Rate Area

5-145  
5-231  
5-395

SUBDIVIDED LAND IN POR. SEC'S 11 & 14, T.12 S., R.20 E., M.D.B.&M.

NOTE  
This map is for Assessment purposes only.  
It is not to be construed as portraying  
legal ownership or divisions of land for  
purposes of zoning or subdivision law.

10/11  
15/14



Bk 579

Bk 576

Terrabella at Copper River Ranch, Amended - Tr. 5205 - Plat Bk. 76, Pgs. 46-70  
Tract No. 5029 - Plat Bk. 68, Pgs. 76-81  
Tract No. 5211 - Plat Bk. 75, Pgs. 23-26

Assessor's Map Bk. 577 - Pg. 21  
County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.  
Assessor's Parcel Numbers Shown in Circles.



TENTATIVE MAP

# TRACT No. 6063/UGM

A VESTING MAP

A PLANNED UNIT DEVELOPMENT

APN 577-210-54

NET AREA = 1.78 ACRES

GROSS AREA = 2.00 ACRES

**IMPROVEMENTS TO BE INSTALLED:**

1. STREETS - PUBLIC - CITY OF FRESNO STANDARDS
2. SEWER - CITY OF FRESNO STANDARDS
3. WATER - CITY OF FRESNO STANDARDS
4. CURB & GUTTER - CITY OF FRESNO STANDARDS
5. SIDEWALK - CITY OF FRESNO STANDARDS
6. TRAIL LIGHTS - CITY OF FRESNO STANDARDS
7. DRAINAGE - CITY OF FRESNO STANDARDS
8. GAS & ELECTRICITY - CALIFORNIA FLOOD CONTROL DISTRICT
9. TELEPHONE - A.T.&T. PACIFIC GAS & ELECTRIC
10. CABLE TELEVISION - COMCAST

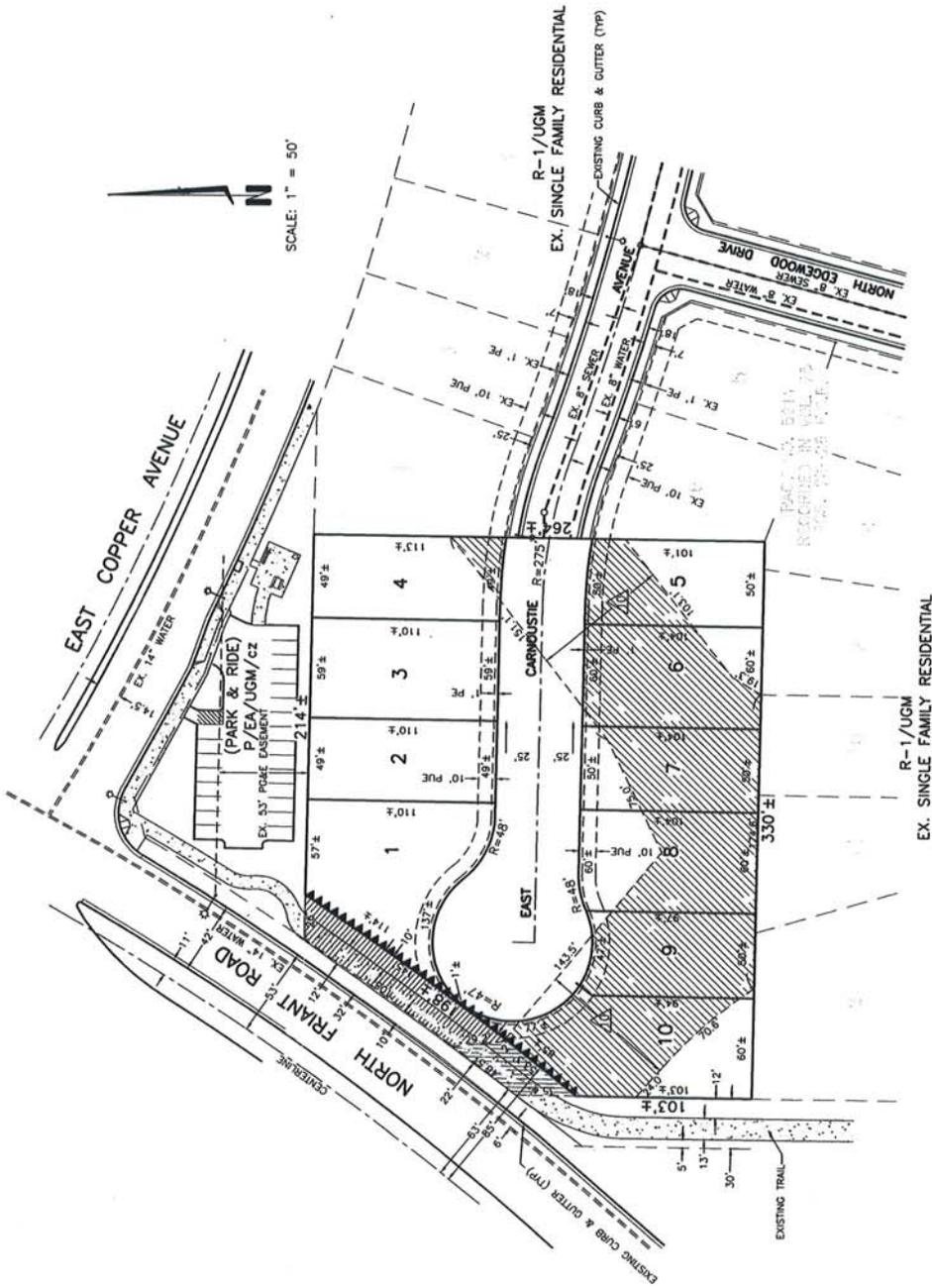
**NOTES:**

1. EXISTING ZONING - R-1/UGM
2. PROPOSED ZONING - R-1/UGM
3. EXISTING USE - VACANT/UNUSED STREET EASEMENT (TO BE VACATED)
4. THERE ARE NO WELLS, CESSPOOLS, SEWER, CULVERTS, DUMPSITES OR OTHER UNDERGROUND STRUCTURES WITHIN THIS SUBDIVISION.
5. THE SUBDIVISION DESIGN PROVIDES FOR THE OCCUPANCY OF THE TRACTS SUBJECT TO THE CITY OF FRESNO STANDARDS.
6. THE SUBDIVISION DESIGN PROVIDES FOR THE OCCUPANCY OF THE TRACTS SUBJECT TO THE CITY OF FRESNO STANDARDS.
7. THERE ARE NO TREES WITHIN THE PROPERTY.
8. SUBJECT PROPERTY.
9. \*\*\*\*\* - INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHTS. PREVIOUSLY DEEDED FOR PUBLIC STREET PURPOSES AS PER GRANT DEED RECORDED DECEMBER 24, 1968 IN BOOK 5645, PAGE 866, OFFICIAL RECORDS OF FRESNO COUNTY.
10. PUBLIC STREET TO BE VACATED BY RECORDATION OF THE FINAL MAP.
11. EASEMENT AREA TO BE RESERVED BY THE CITY OF FRESNO FOR MULTI-PURPOSE TRAIL PREVIOUSLY DEDICATED TO THE CITY OF FRESNO FOR MULTI-PURPOSE TRAIL.

VICINITY MAP



SITE



SCALE: 1" = 50'

**RECORD OWNERS:**

1306 W. HERNDON AVE. STE 101  
FRESNO, CA 93711  
(559) 436-0900

**SUBDIVIDER:**

1306 W. HERNDON AVE. STE 101  
FRESNO, CA 93711  
(559) 436-0900

**GARY G. GIANNETTA**  
CIVIL ENGINEERING & LAND SURVEYING  
1118 3<sup>RD</sup> STREET  
FRESNO, CA 93721  
(569) 264-3500 FAX (569) 264-0698





**DISTRICT 6 PLAN IMPLEMENTATION COMMITTEE**

**PROJECT REVIEW April 2, 2014**

*Project Record*

**PROJECT INFORMATION, Agenda Item 4.c**

**Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit Application No. C-14-018** were filed by Gary Giannetta, on behalf of Grantor Copper Park LLC. These applications pertain to 2.0 gross acres (1.78 net acres) of property located at 1025 East Carnoustie Avenue (site address), APN 577-210-54, in the Copper River development ant the southeast corner of North Friant Road and East Copper Avenue (just south of the park & ride lot there). The property is planned for Medium Density Residential land use, and is zoned R-1/UGM (*Single Family Residential/Urban Growth Management*). **VTTM 6043/UGM** proposes a 10-lot single family PUD with public streets, and concomitant **CUP Application No. C-14-013** for this PUD proposes modification of some development standards.

**COMMITTEE RECOMMENDATION**

APPROVE     APPROVE WITH CONDITIONS     DENY     NO ACTION

	Forrest	Brown	Engleman	McLoughlin	Sidhu	Walker
Approve	TS4	M SB	S 2 <sup>nd</sup> RRE			H:W
Deny						
Abstain						
Absent				X	X	L

**COMMITTEE CONDITIONS / COMMENTS**

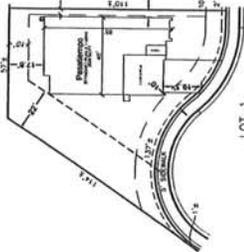
[no conditions requested by Committee.]

Staff Liaison: Sandra L Brock      Date 4/2/14

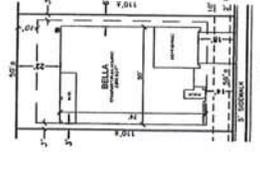


**NOTES:**

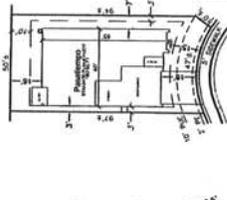
1. THE PROPOSED WATER DESIGN FOR IMPROVEMENT IS SUBJECT TO INTERFERENCES AND CONFLICTS WITH EXISTING UTILITIES AND RECORDS OF PREVIOUS EDITIONS.
2. THE SANITARY SERVICES, WATER, GAS AND ANY OTHER UTILITIES SHALL BE MAINTAINED AS SHOWN ON THE RECORDS OF PREVIOUS EDITIONS.
3. ANY SERVICE CONNECTIONS WITHIN THE AREA OF CONSTRUCTION SHALL BE MAINTAINED AS SHOWN ON THE RECORDS OF PREVIOUS EDITIONS.
4. ALL SITES ARE TO BE SUBMITTED TO PLANNING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
5. THE PLANNING DEPARTMENT SHALL BE NOTIFIED OF ANY CHANGES TO THE ORIGINAL PLAN.
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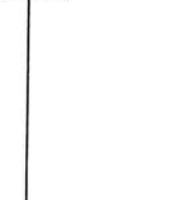
LOT 1  
SCALE 1"=30'



LOT 2  
SCALE 1"=30'

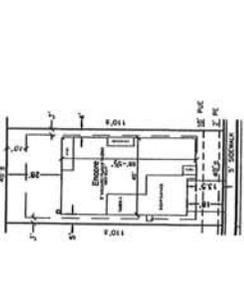


LOT 3  
SCALE 1"=30'



LOT 4  
SCALE 1"=30'

8. THE PROPOSED WATER DESIGN FOR IMPROVEMENT IS SUBJECT TO INTERFERENCES AND CONFLICTS WITH EXISTING UTILITIES AND RECORDS OF PREVIOUS EDITIONS.
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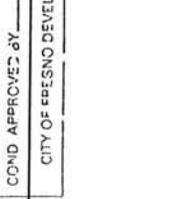
LOT 5  
SCALE 1"=30'



LOT 6  
SCALE 1"=30'

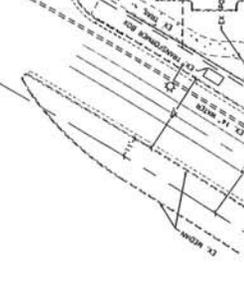


LOT 7  
SCALE 1"=30'

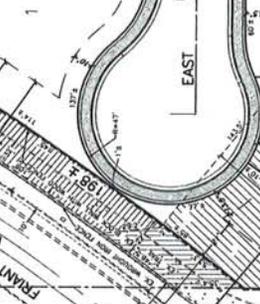


LOT 8  
SCALE 1"=30'

31. ALL CONSTRUCTION WORK ON THE PROJECT IS SUBJECT TO INTERFERENCES AND CONFLICTS WITH EXISTING UTILITIES AND RECORDS OF PREVIOUS EDITIONS.
32. THE SANITARY SERVICES, WATER, GAS AND ANY OTHER UTILITIES SHALL BE MAINTAINED AS SHOWN ON THE RECORDS OF PREVIOUS EDITIONS.
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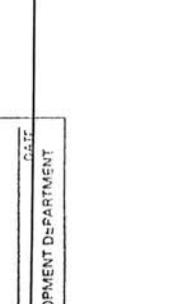
LOT 9  
SCALE 1"=30'



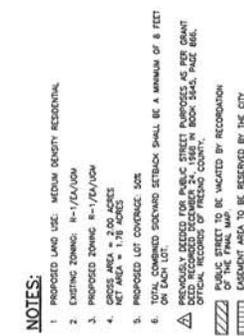
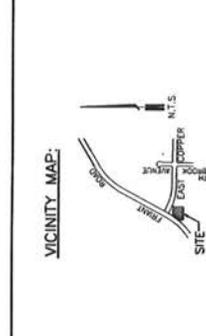
LOT 10  
SCALE 1"=30'



LOT 11  
SCALE 1"=30'



LOT 12  
SCALE 1"=30'



- NOTES:**
1. PROPOSED LAND USE: MEDIUM DENSITY RESIDENTIAL.
  2. EXISTING ZONING: R-1/DA/DM.
  3. PROPOSED ZONING: R-1/DA/DM.
  4. GROSS AREA: 2.00 ACRES. NET AREA: 1.78 ACRES.
  5. PROPOSED LOT COVERAGE: 50% ON EACH LOT.
  6. TOTAL COMBINED SIDEWALK SETBACK SHALL BE A MINIMUM OF 8 FEET ON EACH LOT.
- PROPOSED SETBACKS FOR PUBLIC STREET PURPOSES AS PER GRANT OF PUBLIC STREET TO BE RECORDED BY THE CITY OF FRESNO FOR MULTI-PURPOSE TRAIL.
- PREVIOUSLY APPROVED TRAIL.



SCALE: 1" = 30'

- LEGEND:**
- EXISTING BLOCK WALL
  - CENTERLINE
  - PROPOSED CURB AND GUTTER
  - EXISTING CURB AND GUTTER
  - EXISTING PROPERTY LINE
  - PROPOSED PROPERTY LINE
  - SETBACK LINE
  - SITE BOUNDARY LINE

**SITE PLAN**  
1025 EAST CARNOUSTIE AVENUE  
APN 577-210-54  
TRACT 6063  
NET AREA = 1.78 ACRES  
GROSS AREA = 1.78 ACRES

GARY G. CIANNETTA  
CIVIL ENGINEERING & LAND SURVEYING  
1114 N. STREET  
FRESNO, CA 93703  
TEL: 558-8844  
FAX: 558-8844

**RECORD CHARGES:**  
100% OF RECORDING FEE  
100% OF RECORDING FEE  
100% OF RECORDING FEE  
100% OF RECORDING FEE

APPL. NO. C-14-018 EXHIBIT A DATE: 6-27-14

PROJECT: \_\_\_\_\_ DATE: \_\_\_\_\_

TRAFFIC ENC: \_\_\_\_\_ DATE: \_\_\_\_\_

COND. APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY OF FRESNO DEVELOPMENT DEPARTMENT



# PLANTING SCHEDULE

SYMBOL SIZE BOTANICAL / COMMON NAME

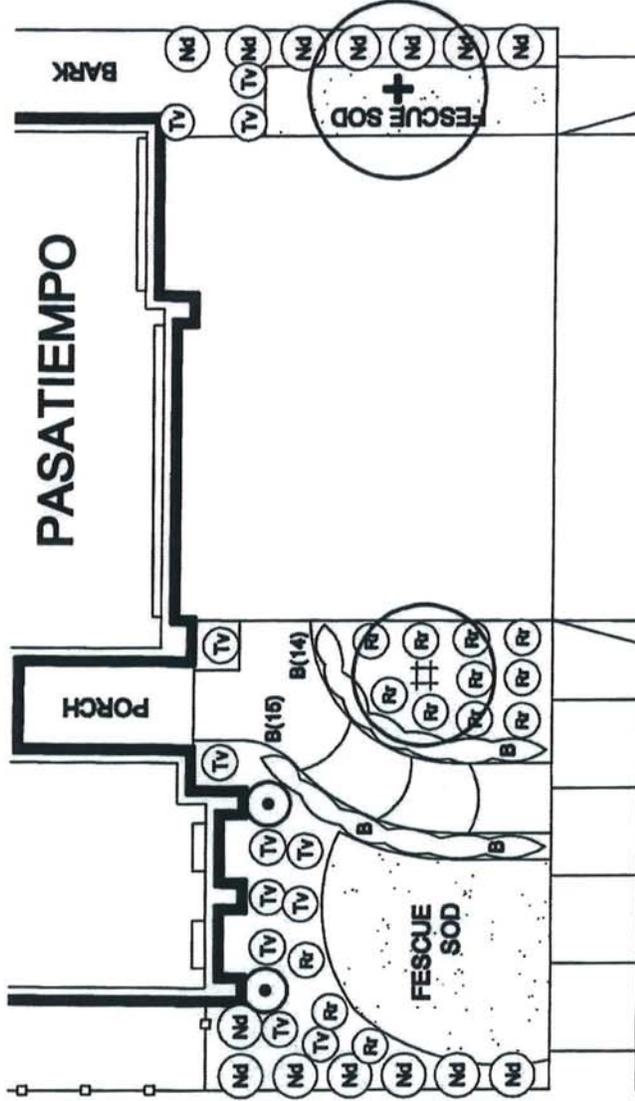
- TREES**
- # 15 GAL. ARBUTUS UNEDO / STRAWBERRY TREE
  - + 15 GAL. ELAEOCARPUS D. / BLUEBERRY TREE, STANDARD
  - o 15 GAL. ORNAMENTAL COLUMN

**SHRUBS / GROUNDCOVERS**

- ⊖ 1 GAL. BUXUS M. J. 'WINTER GEM' / JAPANESE BOXWOOD (12" O.C.)
- ⊖ 1 GAL. MANDARINA D. FIREPOWER / HEAVENLY BAMBOO
- ⊖ 1 GAL. ROSA FLORIBUNDA / FLOWER CARPET ROSE, RED
- ⊖ 1 GAL. TULBAGHIA VIOLACEA / SOCIETY GARLIC

FESCUE SOD

NOTE: SHRUBS TO BE PLANTED AT 18" MIN. AWAY FROM HOUSE.



APPL. NO. C-14-018 EXHIBIT L-1 DATE 6/20/14

PROJ. ENG. \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_

COND. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF ESPENO DEVELOPMENT DEPARTMENT

FRONT:  
PLANTER AREA 400 SF  
TURF AREA 200 SF

DATE: 1-17-14  
DRAWN BY: CG

P: (650) 522-6158 F: (650) 522-7057



**Landscape Connection**

LIC.# 908734 6874 E. SHEPHERD AVE. ; CLOVIS, CA 95018

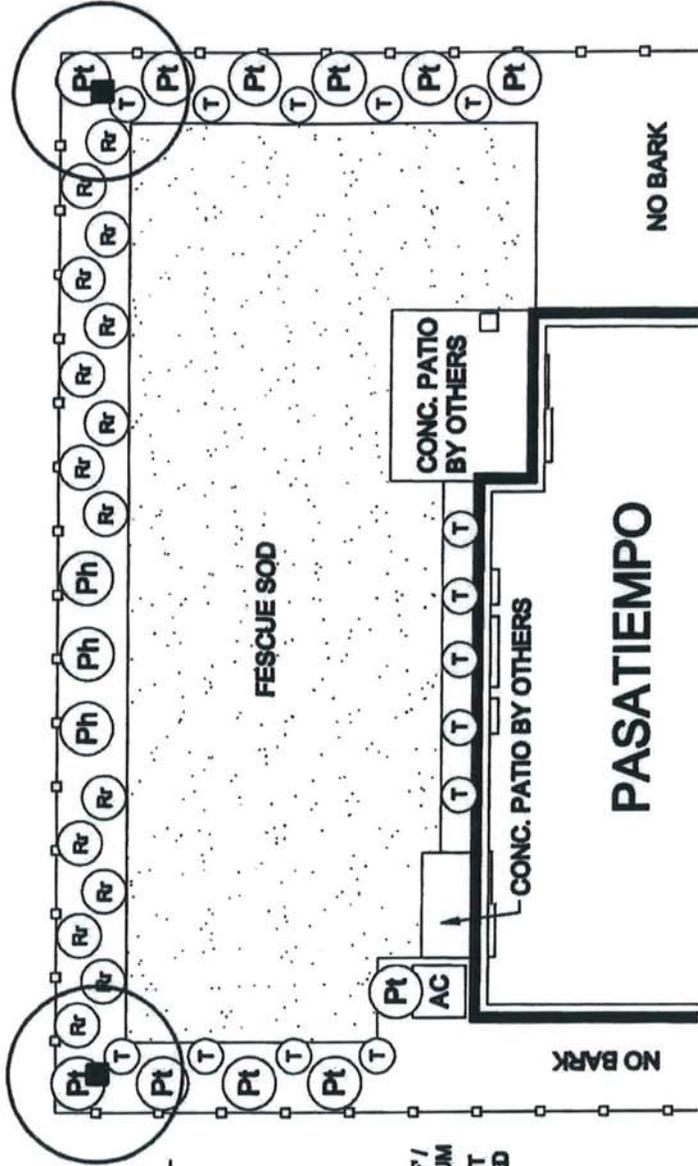
**GRANVILLE HOMES**  
**TRACTS 5597 & 6037**  
**"PASATIEMPO" FRONT TYP.**  
**OPTION A: FESCUE TURF**

# PLANTING SCHEDULE

SYMBOL SIZE BOTANICAL / COMMON NAME

- TREES**
- 15 GAL. ARBUTUS UNEDO / STRAWBERRY TREE
- SHRUBS / GROUNDCOVERS**
- Ⓟ 5 GAL. PHORMIUM T. 'DUSKY CHIEF' / NEW ZEALAND FLAX
  - Ⓟ 5 GAL. PITTOSPORUM T. 'WHEELERS DWARF' / PITTOSPORUM
  - Ⓟ 1 GAL. ROSA FLORIBUNDA / FLOWER CARPET ROSE, RED
  - Ⓟ 1 GAL. TULBAGHIA VIOLACEA / SOCIETY GARLIC

FESCUE SOD



*Comply with MWELD stds for xeriscape and landscape water demand analysis.*

**NOTE: SHRUBS TO BE PLANTED AT 18" MIN. AWAY FROM HOUSE.**

APPL. NO. C-14-018 EXHIBIT L-2 DATE 6/20/14

PROJ. ENG. \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENG. \_\_\_\_\_ DATE \_\_\_\_\_

COND. APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

CITY OF ERESNO DEVELOPMENT DEPARTMENT

**N.T.S.**

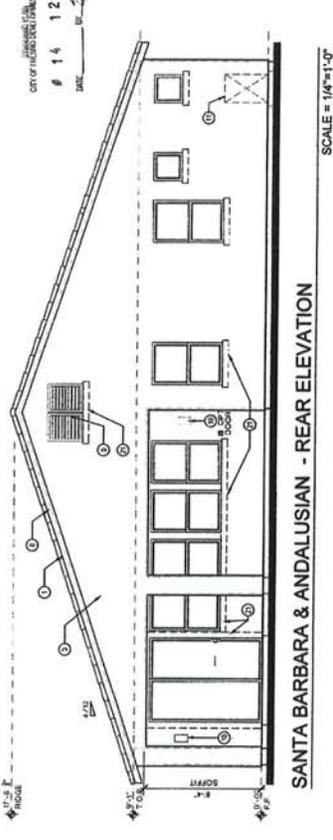
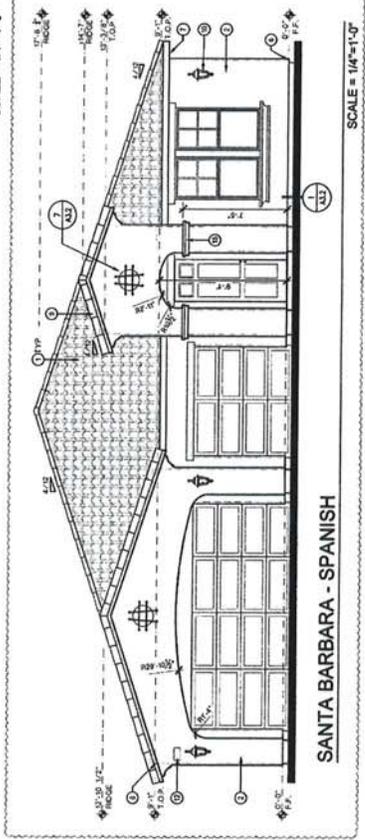
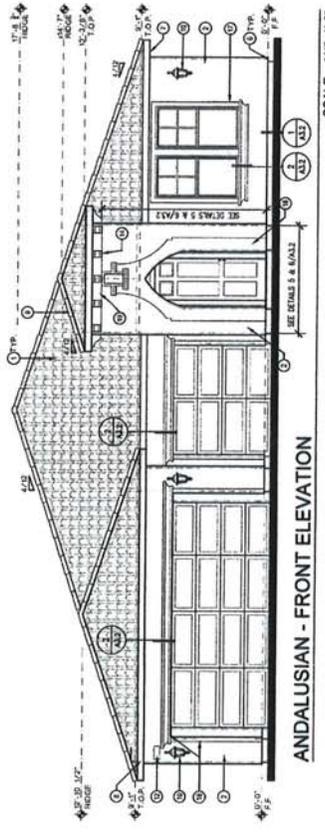
**GRANVILLE HOMES  
TRACTS 5597 & 6037  
"PASATIEMPO" BACK TYP.  
STANDARD CONCRETE**

**BACK:**  
TURF AREA 940 SF  
PLANTER AREA 480 SF

DATE: 1-2-14  
DRAWN BY: CG

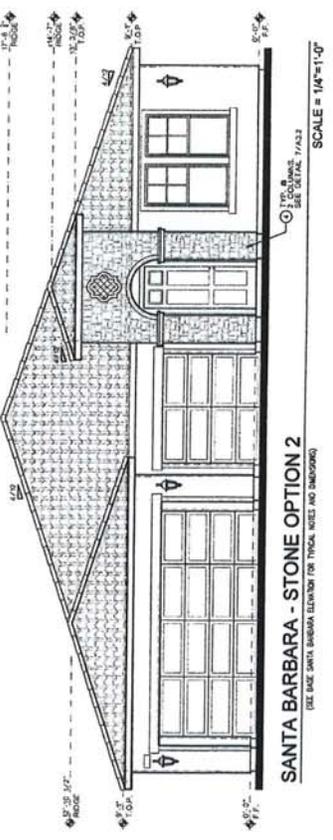
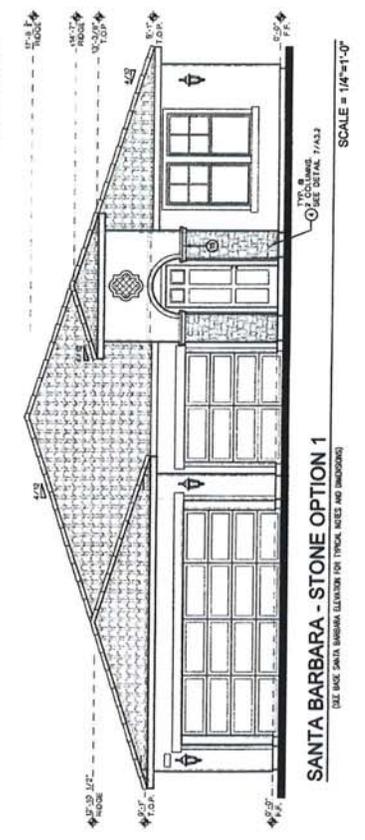
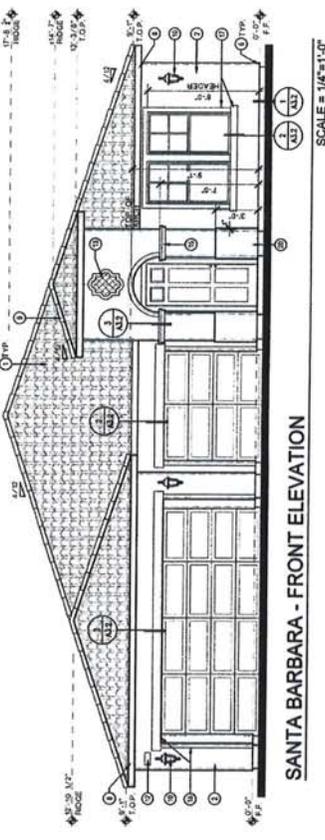
**Landscape Connection**

LIC.# 83874 6574 E. SHEPHERD AVE. ; CLOVIS, CA 95019 P: (509) 323-8120 F: (509) 323-7087



**ELEVATION KEYNOTE**

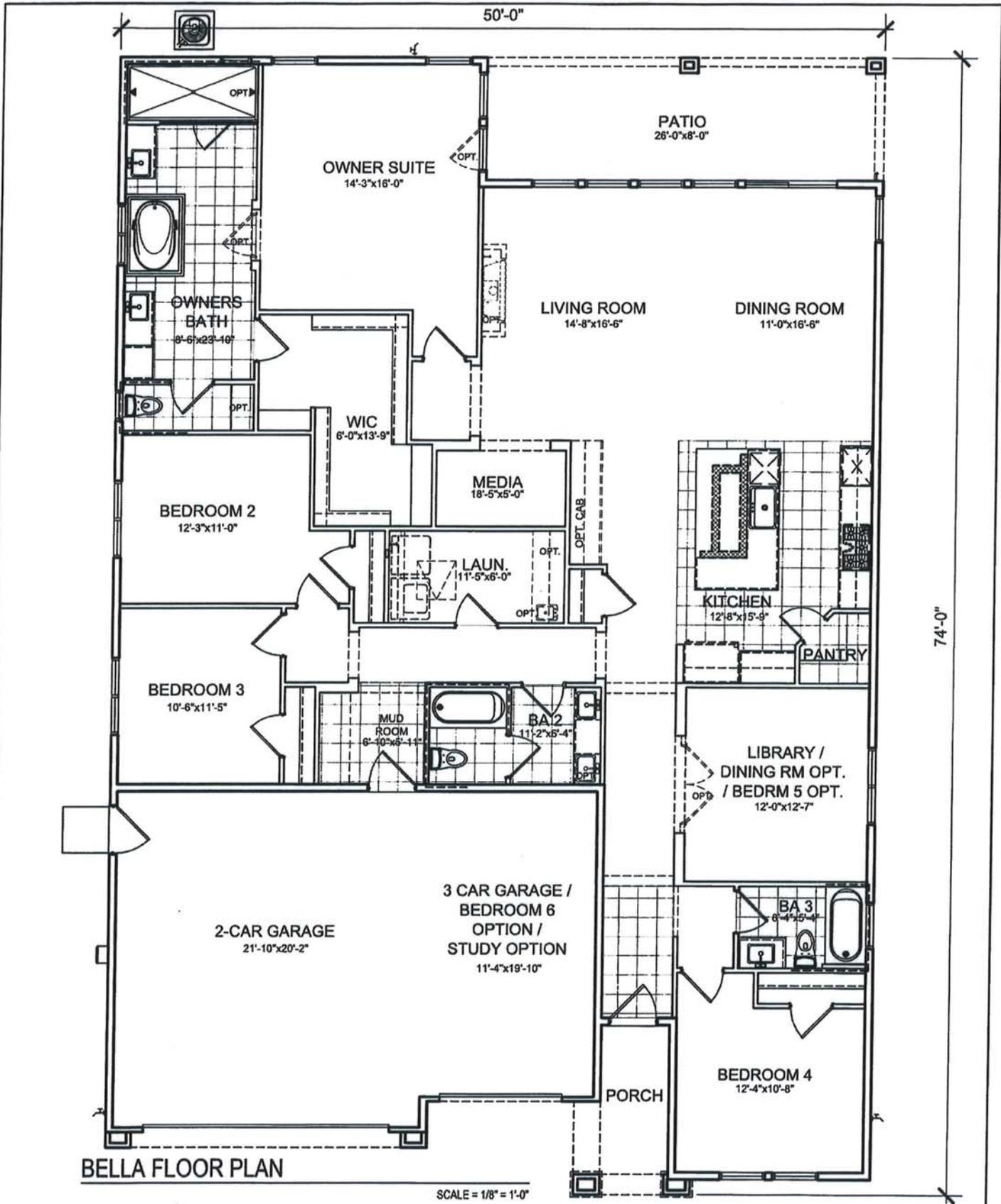
1	BRICKWORK - SEE DETAIL 1/4/23
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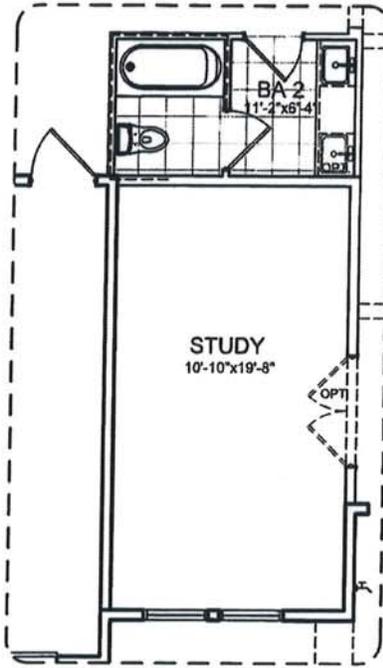




BELLA FLOOR PLAN

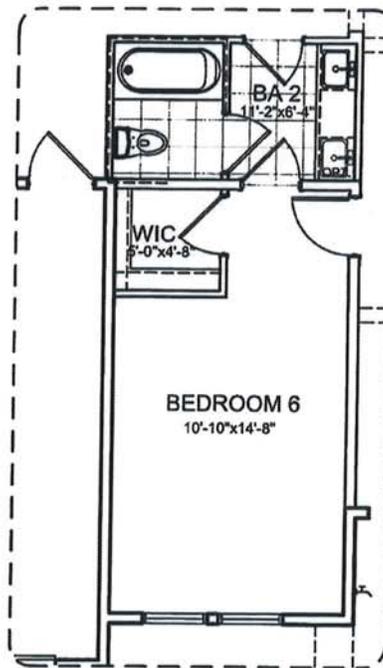
SCALE = 1/8" = 1'-0"

<b>BELLA</b> 2014		PAGE 1 of 2	
2593 - 2823 sq. ft.		Date: 01.06.14	
4-6 BED, 3 BATH		Drawn by: JG	
2-3 CAR GARAGE			<small>1390 W. Hamilton, Suite 101, Fresno, CA, 93711 business phone (559)430-0000 LIC # 568645</small>



STUDY

SCALE = 1/8" = 1'-0"



BEDROOM 6

SCALE = 1/8" = 1'-0"



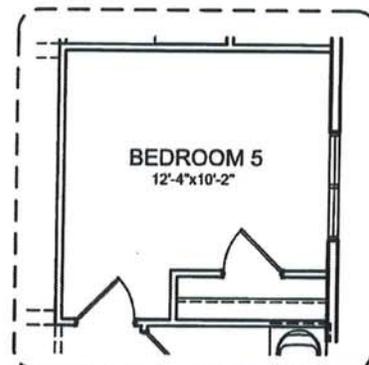
LIVING ROOM FIREPLACE

SCALE = 1/8" = 1'-0"



DINING ROOM

SCALE = 1/8" = 1'-0"



BEDROOM 5

SCALE = 1/8" = 1'-0"

MATRIX FOR STANDARD PLAN OPTIONS

	A1.0	A2.0	A2.1	A3.0	A3.1	A3.2	A4.0	S1.0	S2.0	S3.0	SD1 THRU SD1.4	E1.0	M1.0	M2.0	M2.1	P1	P2	P3	P4
SANTA BARBARA ELEVATIONS				•	•	•													
SANTA BARBARA SPANISH ELEV.																			
ANDALUSIAN ELEVATIONS				•	•	•													
2-CAR GARAGE	•	•	•		•														
STUDY			•		•							•	•	•	•	•	•	•	•
BEDROOM 5			•									•				•	•	•	•
BEDROOM 6			•		•							•	•	•	•	•	•	•	•
LIVING ROOM FIREPLACE		•	•					•	•	•									•

**BELLA** 2014

PAGE 2 of 2

2593 - 2823 sq. ft.

Date: 01.06.14

4-6 BED, 3 BATH

Drawn by: JG

2-3 CAR GARAGE



1385 W. Hamilton, Suite 101, Fresno, CA 93711  
business phone (559) 236-0009 LIC # 565945



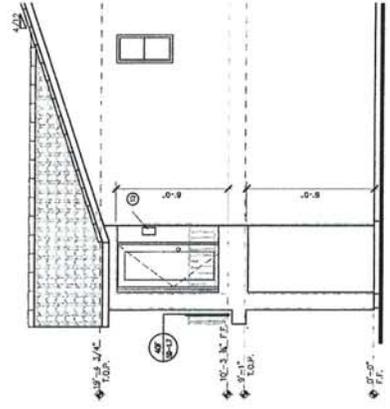




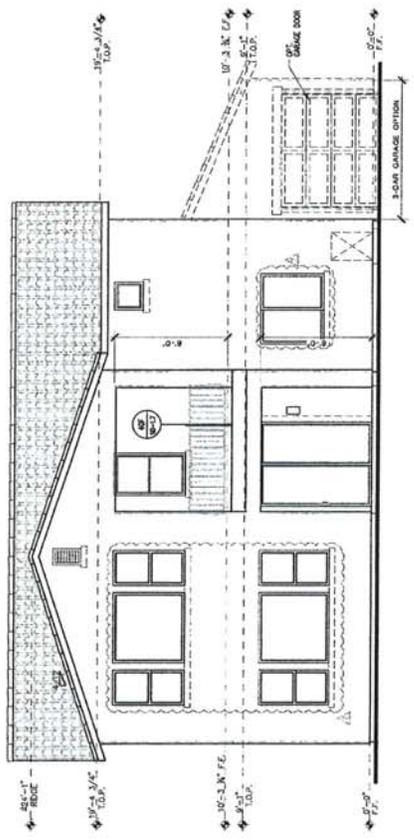
- ELEVATION KEYNOTE**
1. GABLE ROOFING PRODUCTS: COOL ROOF™ CONIC TILE CONIC MB TECHNOLOGIES OR EQ 3/4" COB 240 SOLID PLYWOOD
  2. TYPICAL STUCCO: OMEGA™ STUCCO SYSTEM (SEE ITEM 17) 3/8" WIRE MESH w/ FOAM BOARD, VESICFOAM™ EPS-118 OR 1" POLYURETHANE EPS-118 w/ 2 LAYERS OF 90 MIL GRADE 'D' FIBERGLASS FABRIC
  3. STUCCO AT EXPOSED ATTIC AREAS: OMEGA™ STUCCO SYSTEM w/ 3/8" WIRE MESH w/ FOAM BOARD w/ 2 LAYERS OF 90 MIL GRADE 'D' FIBERGLASS FABRIC
  4. FLOORING: 3/4" x 3/4" x 1/4" VENEER (SEE 248) 3/4" x 1/4" x 1/4" VENEER (SEE 248) 3/4" x 1/4" x 1/4" VENEER (SEE 248) 3/4" x 1/4" x 1/4" VENEER (SEE 248)
  5. GABLE END ATTIC VENT: SEE FRAMING PLAN FOR SIZING
  6. 3/4" x 1/4" x 1/4" VENEER (SEE 248) 3/4" x 1/4" x 1/4" VENEER (SEE 248) 3/4" x 1/4" x 1/4" VENEER (SEE 248) 3/4" x 1/4" x 1/4" VENEER (SEE 248)
  7. PROVIDE 1/4" OVERHANG UNLESS OTHERWISE NOTED
  8. 248 FANOA
  9. PROVIDE GL SHEET METAL FLASHING AND COUNTER FLASHING AS REQUIRED
  10. LIGHT FIXTURE - SEE ELECTRICAL DWG.
  11. CONDENSING UNIT LOCATION ON CONIC PAD
  12. BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET
  13. ADDRESS NUMBERS SHALL BE 1 1/2" HIGH AND CONTRAST WITH THEIR BACKGROUND
  14. ADDRESS NUMBERS SHALL BE 1 1/2" HIGH AND CONTRAST WITH THEIR BACKGROUND
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STANDARD PLAN  
CITY OF PLYMOUTH DEVELOPMENT DEPT.  
#13 564  
DATE: 8/9/2009

STANDARD PLAN  
CITY OF PLYMOUTH DEVELOPMENT DEPT.  
#13 585  
DATE: [Signature]



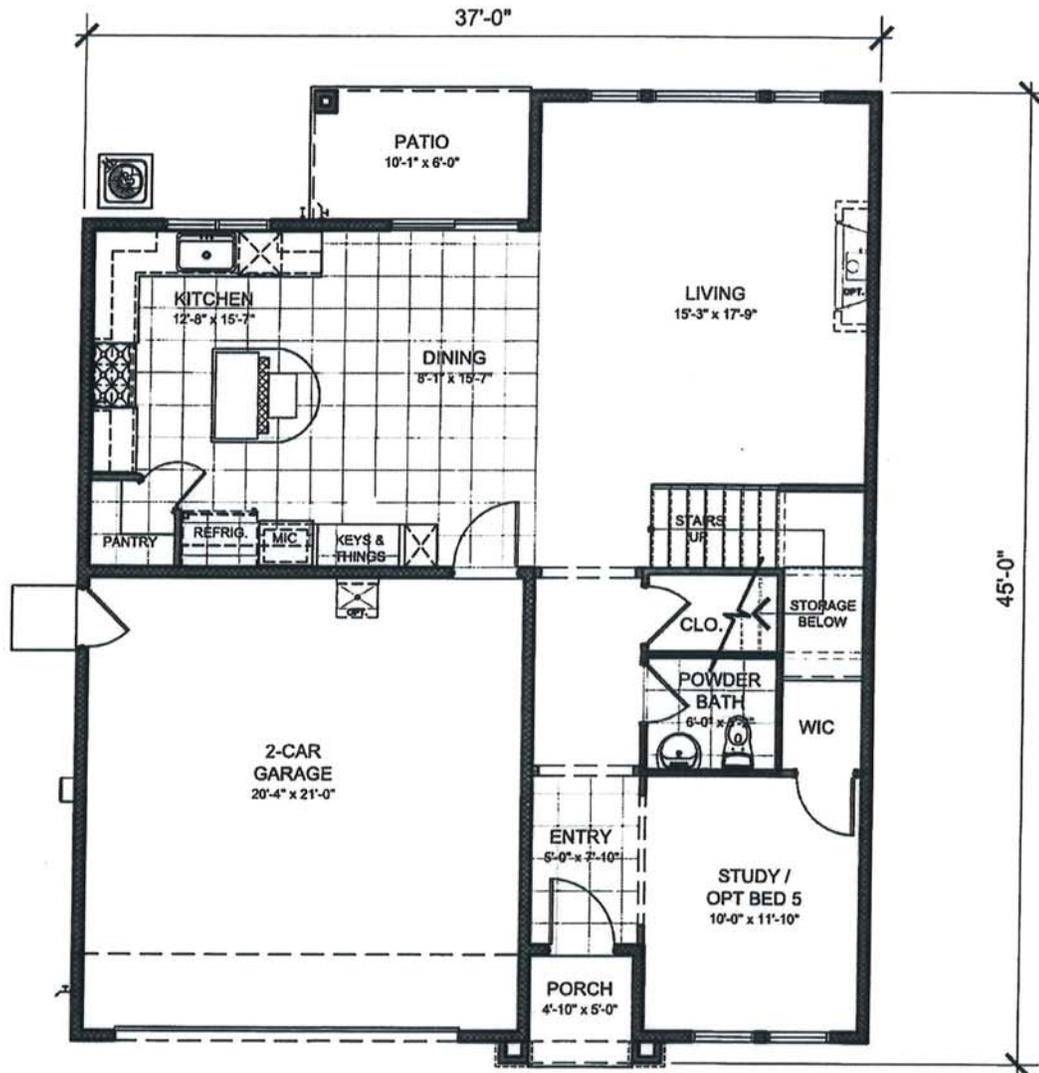
**LEFT ELEVATION - BALCONY OPTION**  
HANNAH (SEE SAME SANTA BARBARA BOUT ELEVATION FOR TYPICAL NOTES AND DIMENSIONS)  
SCALE = 1/4"=1'-0"



**REAR ELEVATION - BALCONY OPTION**  
HANNAH (SEE REAR ELEVATION OF TYPICAL NOTES AND DIMENSIONS)  
SCALE = 1/4"=1'-0"



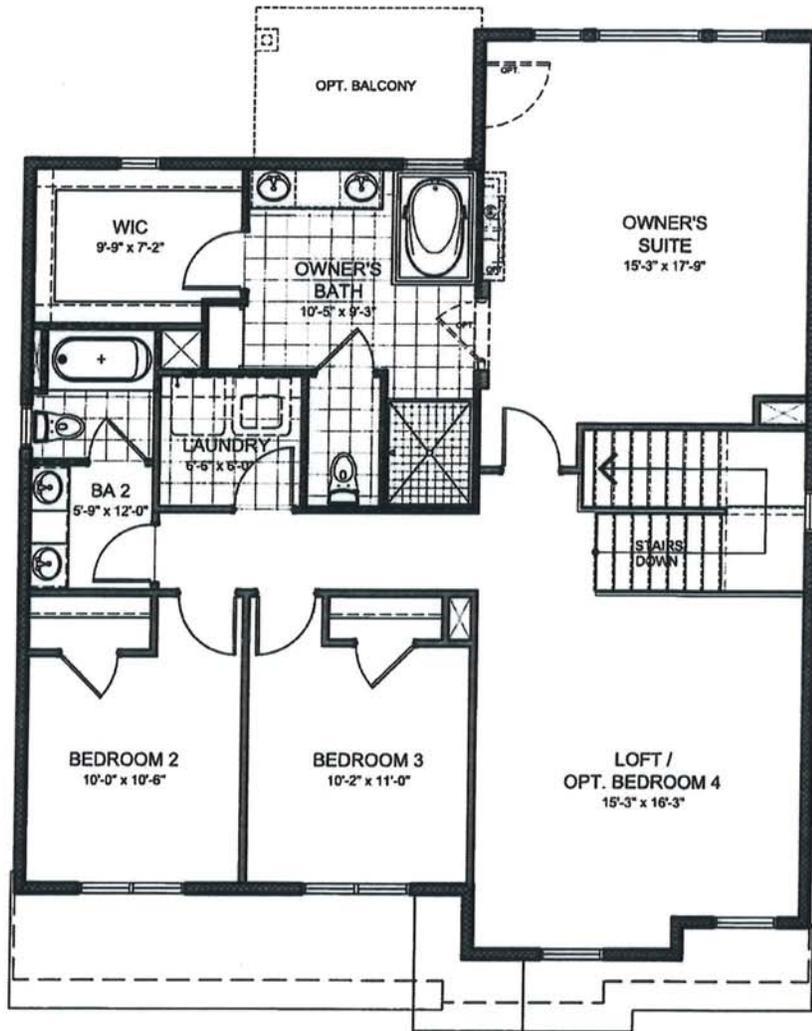




HANNAH - FIRST FLOOR PLAN

SCALE = 1/8" = 1'-0"

<b>HANNAH</b>	PAGE 1 of 3	 <small>1308 W. Herndon, suite 101, Fresno, CA, 93711          business phone (559)436-0900 LIC # 586845</small>
2,347 Sq. Ft.	Date: 09.27.13	
3-5 BED, 2.5-3 BATH	Drawn by: EA	
2-3 CAR GARAGE		

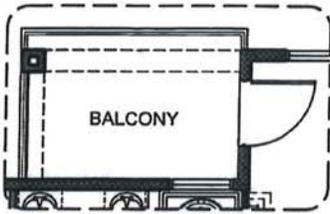


**HANNAH - SECOND FLOOR PLAN**

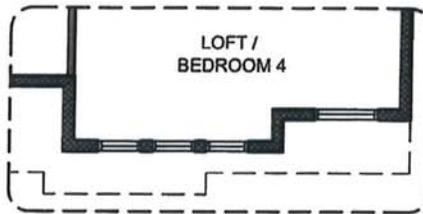
W/ SANTA BARBARA ELEVATION

SCALE = 1/8" = 1'-0"

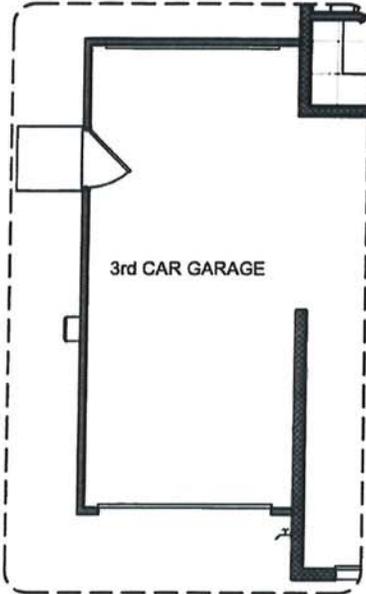
<b>HANNAH</b>	PAGE 2 of 3	 <small>1396 W. Herndon, suite 101, Fresno, CA, 93711          business phone (559)436-0900 LIC # 568845</small>
2,347 Sq. Ft.	Date: 09.27.13	
3-5 BED, 2.5-3 BATH	Drawn by: EA	
2-3 CAR GARAGE		



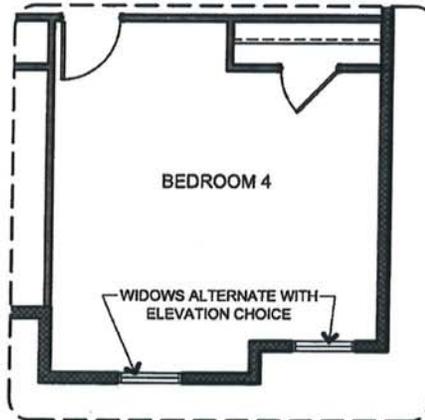
BALCONY



LOFT /  
BEDROOM 4  
ANDALUSIAN ELEVATION  
(SECOND FLOOR ALTERNATE WINDOWS)



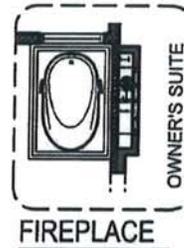
3rd CAR GARAGE



BEDROOM 4  
W/ SANTA BARBARA ELEVATION WINDOWS



BEDROOM 5 W/ FULL BA 3



OWNER'S SUITE  
FIREPLACE

	A-1	A-2.0	A-2.1	A3.0	A3.1	A3.2	A3.3	A3.4	M.0	S-1.0	S-2.0	S-2.1	S-3.0	S-3.1	SD-1 THRU SD-1.7	SD-2.0	SD-2.1	E-1.0	E-1.1	M-1.0	M-1.1	P-1	P-2	P-3	C-1.1
SANTA BARBARA ELEVATIONS		•		•	•			•																	
ANDALUSIAN ELEVATIONS			•			•	•	•												•					
3-CAR GARAGE	•	•		•	•	•																			•
BEDROOM 4			•																						
BEDROOM 5		•										•													
BATH 3		•	•																						
BALCONY			•			•	•						•												
OWNER'S SUITE SLIDING GLASS DOOR			•			•	•																		
FIREPLACE			•																						

HANNAH

2,347 Sq. Ft.

3-5 BED, 2.5-3 BATH

2-3 CAR GARAGE

PAGE 3 of 3

Date: 09.27.13

Drawn by: EA

SCALE = 1/8" = 1'-0"

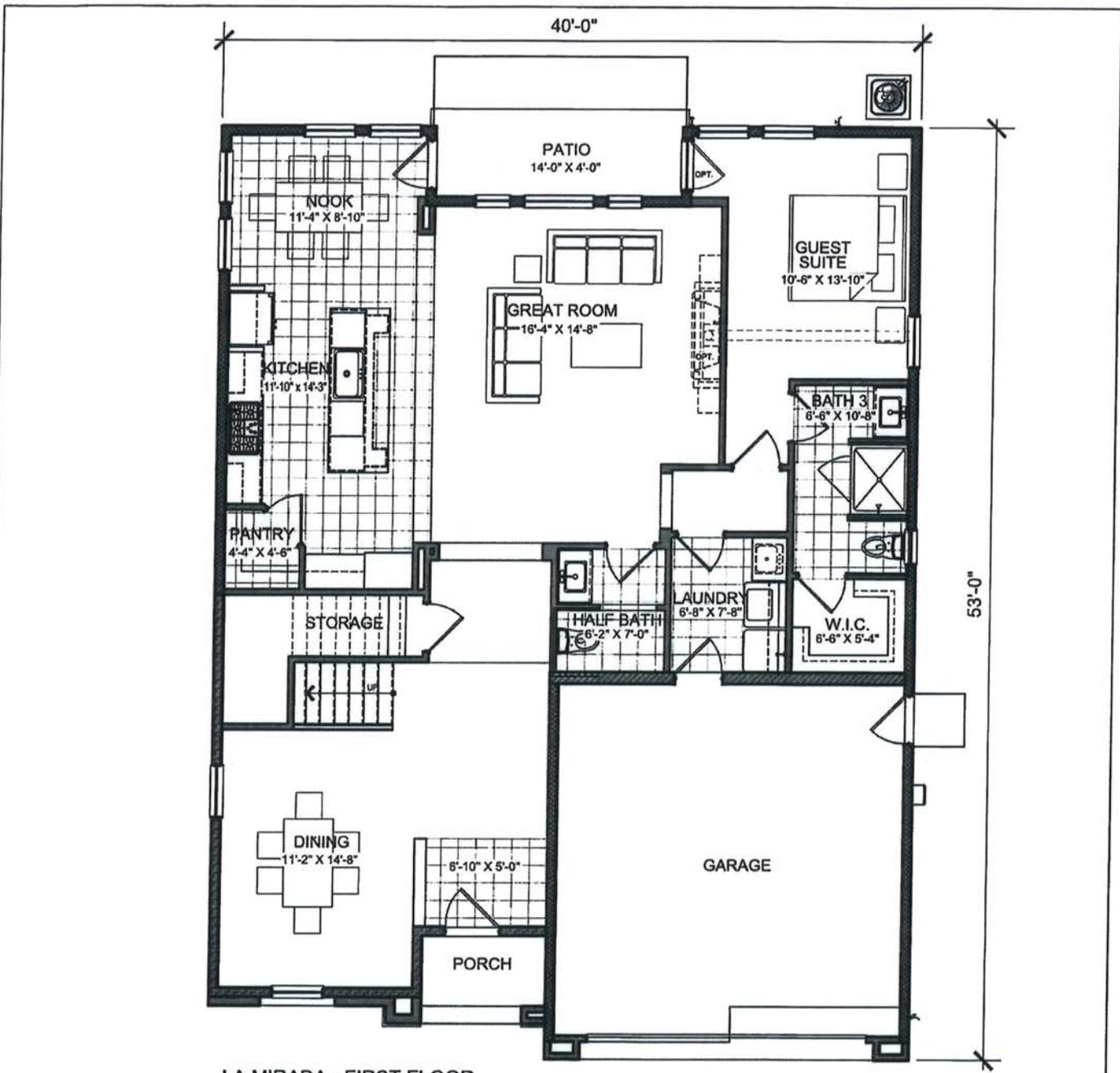
**GRANVILLE**  
HOMES

1308 W. Hemdon, suite 101, Fresno, CA, 93711  
business phone (559)436-0800 LIC # 586845









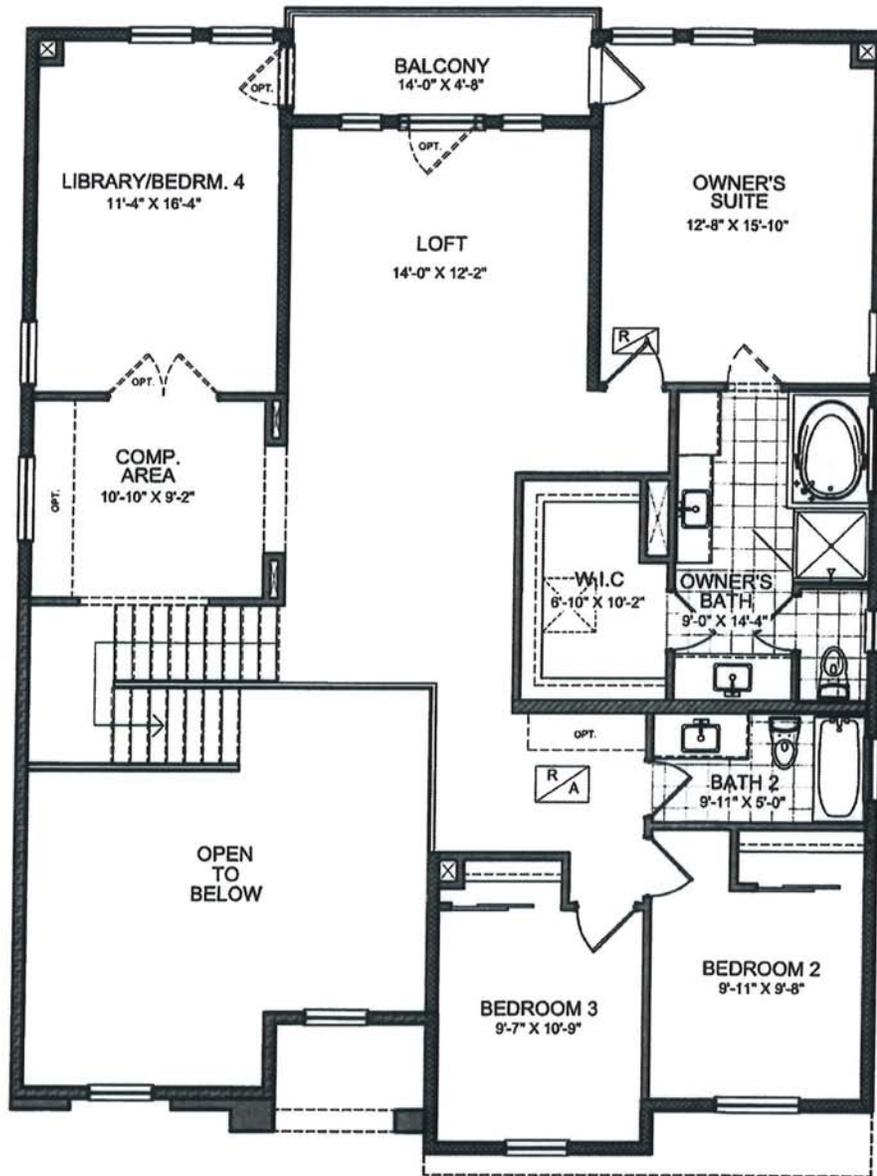
LA MIRADA - FIRST FLOOR

SCALE: 1/8" = 1'-0"

	A-1	A-2	A-2.1	A-3	A-4	A-5	S-1	S-2	S-3	S-4	S-5	SD1	SD2	SD3	SD4	SD5	E-1	E-2	M-1	M-2	M2.1	M2.2	P-1	
SANTA BARBARA ELEVATION		●	●																					
TRADITIONAL STONE ELEVATION		●	●																					
3-CAR GARAGE	●	●	●	●		●	●	●		●								●		●				
BEDROOM 4						●		●				●							●		●	●	●	
BEDROOM 4 W/BEDROOM 5						●		●				●							●		●	●	●	
BEDROOM 5						●		●				●							●		●	●	●	

LA MIRADA - FIRST FLOOR	Date: 3.24.14
2,870 - 3,076 SQ. FT.	Drwn By: EA
4-6 BEDROOMS	Page: 1 of 3
3.5 BATHS	
2-3 CAR GARAGE	

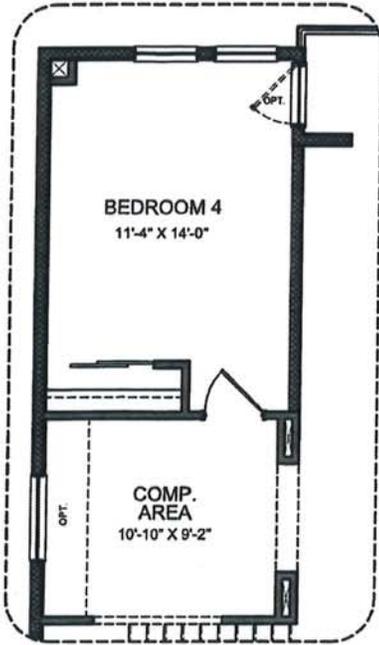




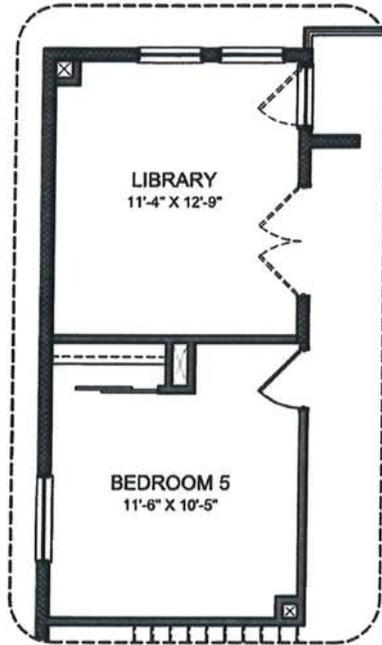
**LA MIRADA - SECOND FLOOR**

SCALE: 1/8" = 1'-0"

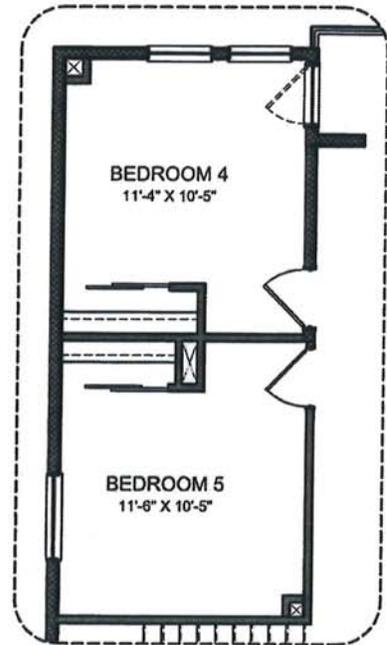
LA MIRADA - FIRST FLOOR	Date: 3.24.14	 <p>1398 W. Herndon, suite 101, Fresno, CA, 93711          business phone (559)436-0900 LIC # 586845</p>
2,870 - 3,076 SQ. FT.	Drwn By: EA	
4-6 BEDROOMS	Page: 2 of 3	
3.5 BATHS		
2-3 CAR GARAGE		



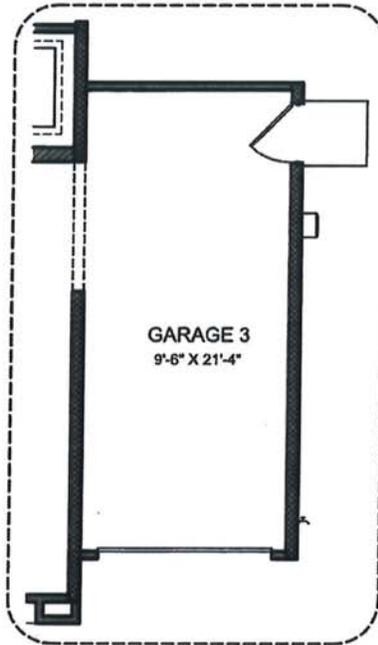
**BEDROOM 4**  
SCALE: 1/8" = 1'-0"



**BEDROOM 5**  
SCALE: 1/8" = 1'-0"



**BEDROOMS 4 AND 5**  
SCALE: 1/8" = 1'-0"



**3 CAR GARAGE**  
SCALE: 1/8" = 1'-0"



**CENTERED FIREPLACE**  
SCALE: 1/8" = 1'-0"

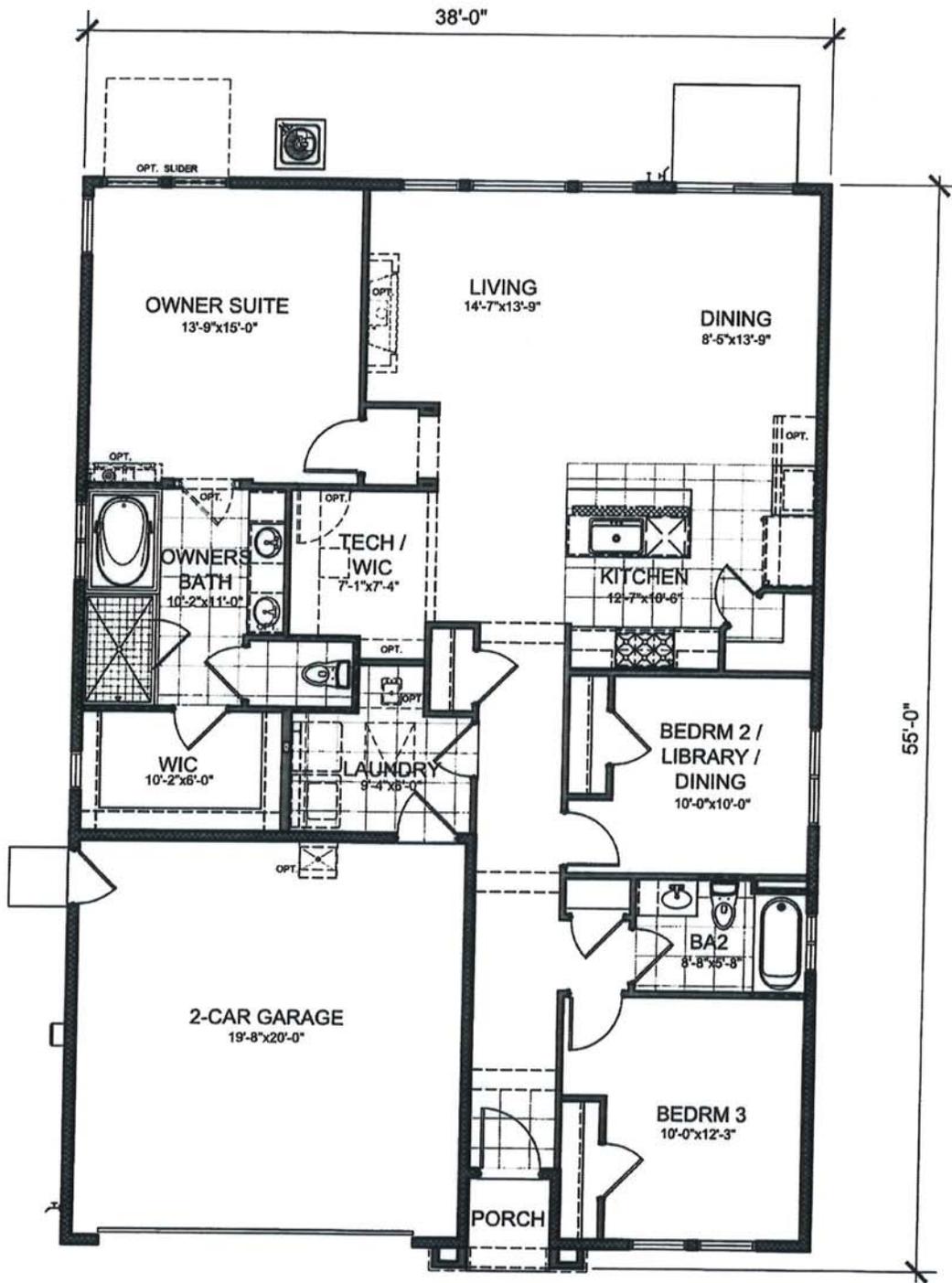
LA MIRADA - FIRST FLOOR	Date: 3.24.14
2,870 - 3,076 SQ. FT.	Drwn By: EA
4-6 BEDROOMS	Page: 3 of 3
3.5 BATHS	
2-3 CAR GARAGE	

**GRANVILLE HOMES**  
 1396 W. Herndon, suite 101, Fresno, CA, 93711  
 business phone (559)436-0900 LIC # 588845





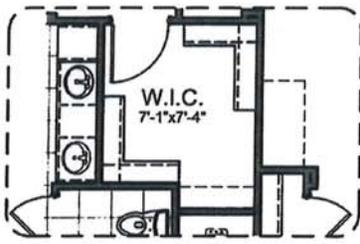




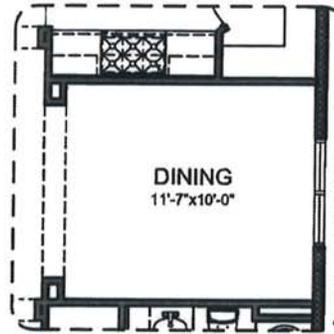
LEYA FLOOR PLAN

SCALE = 1/8" = 1'-0"

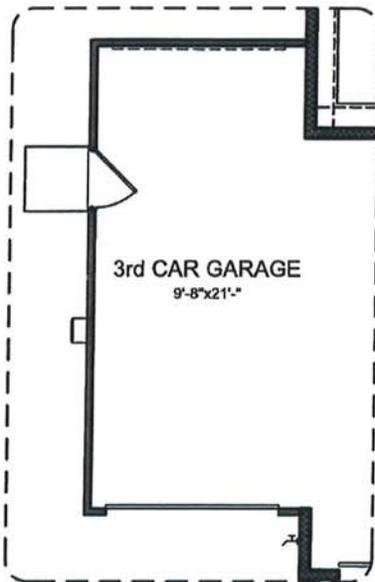
<p><b>LEYA</b></p>	<p>PAGE 1 of 2</p>	<p>1396 W. Herndon, suite 101, Fresno, CA, 93711          business phone (559)436-0900 LIC # 588845</p>
<p>1623 sq. ft.</p>	<p>Date: 07.23.13</p>	
<p>2-3 BED, 2 BATH</p>	<p>Drawn by: EA</p>	
<p>2-3 CAR GARAGE</p>		



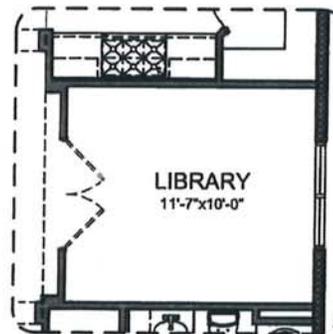
**WALK IN CLOSET**  
SCALE = 1/8" = 1'-0"



**FORMAL DINING**  
SCALE = 1/8" = 1'-0"



**3rd CAR GARAGE**  
SCALE = 1/8" = 1'-0"



**LIBRARY**  
SCALE = 1/8" = 1'-0"

	A1	A2.0	A2.1	A3.0	A3.1	A3.2	A3.3	A4.0	S1.0	S2.0	S3.0	SD1	SD2	SD3	E1.0	M1.0	M1.1	P1	P2	P3	C1
SANTA BARBARA ELEVATIONS				●	●		●														
ANDALUSIAN ELEVATIONS						●	●														
WALK IN CLOSET			●												●	●					
LIBRARY			●												●	●					
FORMAL DINING			●												●	●					
3RD CAR GARAGE	●		●	●	●	●	●		●	●	●				●						

**LEYA**

1623 sq. ft.

2-3 BED, 2 BATH

2-3 CAR GARAGE

PAGE 2 of 2

Date: 07.23.13

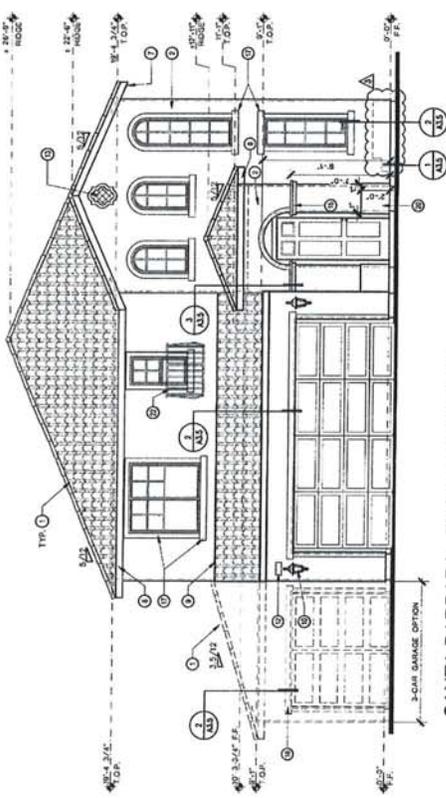
Drawn by: EA

**GRANVILLE**  
HOMES

1396 W. Herndon, suite 101, Fresno, CA, 93711  
business phone (559)436-0900 LIC # 586845

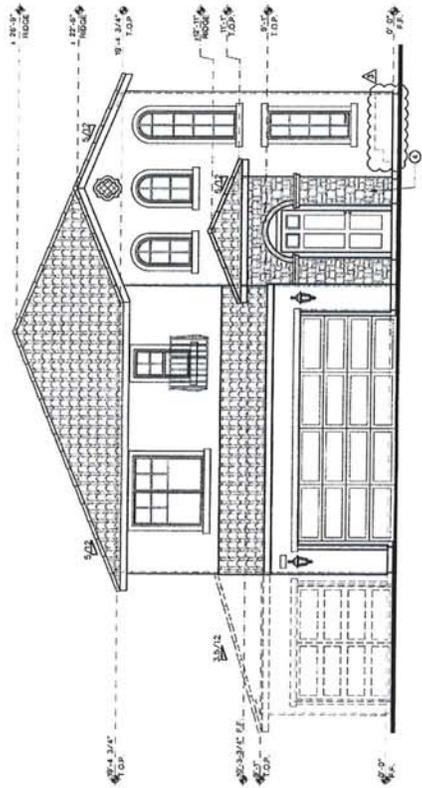


- ELEVATION KEYNOTE**
1. SINGLE ROOFING PRODUCTS: COOK, ROOF COVER, TILE CORNER, BRICK, STUCCO, STUCCO OVER 1/2" INSULATED BRICK, BRICK PRODUCT BY MASONRY CONTRACTOR. STUCCO OVER 1/2" INSULATED BRICK PRODUCT BY MASONRY CONTRACTOR. STUCCO OVER 1/2" INSULATED BRICK PRODUCT BY MASONRY CONTRACTOR.
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  7. STUCCO OVER 1/2" INSULATED BRICK, BRICK PRODUCT BY MASONRY CONTRACTOR. STUCCO OVER 1/2" INSULATED BRICK, BRICK PRODUCT BY MASONRY CONTRACTOR. STUCCO OVER 1/2" INSULATED BRICK, BRICK PRODUCT BY MASONRY CONTRACTOR.
  8. STUCCO OVER 1/2" INSULATED BRICK, BRICK PRODUCT BY MASONRY CONTRACTOR. STUCCO OVER 1/2" INSULATED BRICK, BRICK PRODUCT BY MASONRY CONTRACTOR. STUCCO OVER 1/2" INSULATED BRICK, BRICK PRODUCT BY MASONRY CONTRACTOR.
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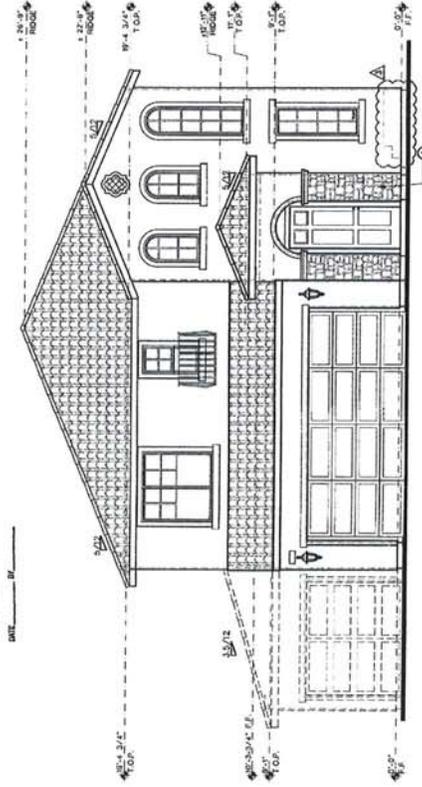


SANTA BARBARA - FRONT ELEVATION  
 SCALE = 1/4"=1'-0"

REVISIONS TO THE ORIGINAL DRAWING:  
 CITY OF IRVINE (REVISION #1) DATE: 4/13/15  
 CITY OF IRVINE (REVISION #2) DATE: 4/13/15



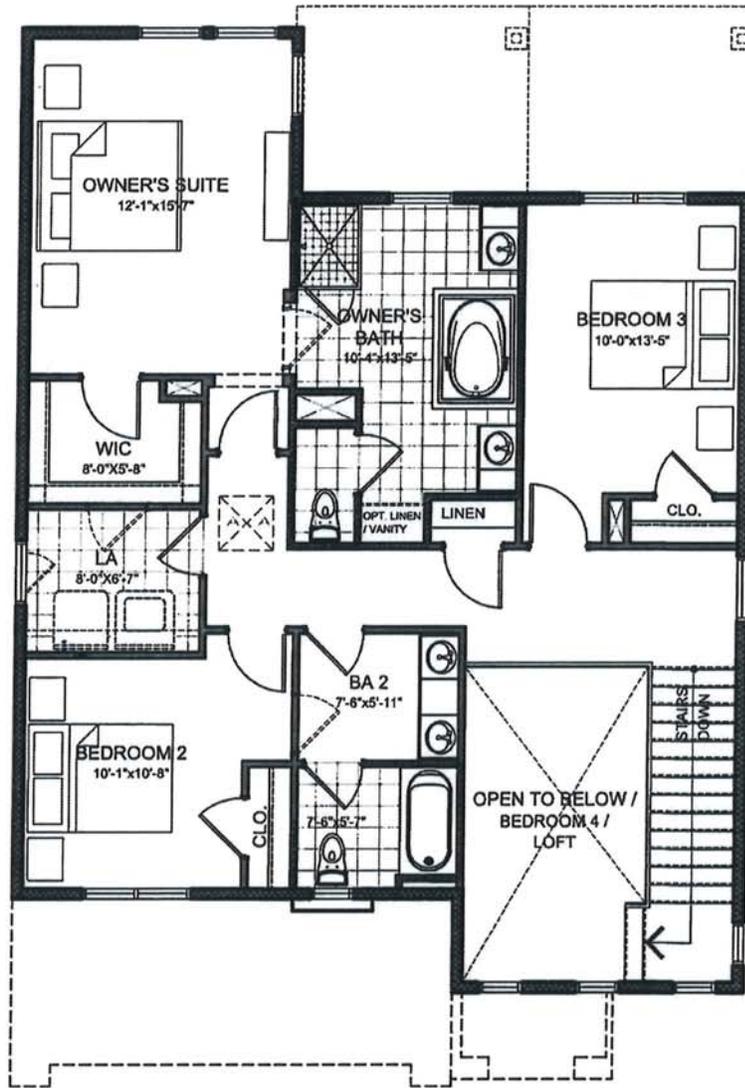
SANTA BARBARA - STONE 2 OPTION  
 (SEE SANTA BARBARA FRONT ELEVATION FOR TYPICAL NOTES AND DIMENSIONS)  
 SCALE = 1/4"=1'-0"



SANTA BARBARA - STONE 1 OPTION  
 (SEE SANTA BARBARA FRONT ELEVATION FOR TYPICAL NOTES AND DIMENSIONS)  
 SCALE = 1/4"=1'-0"





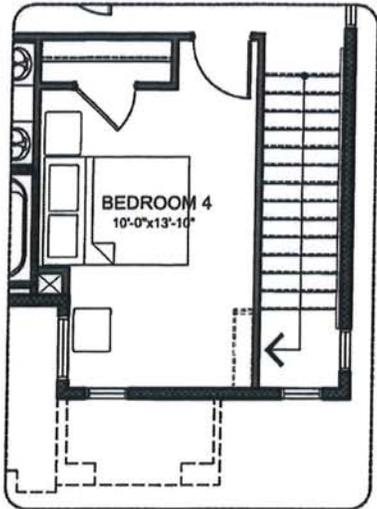


**MIA - SECOND FLOOR PLAN**

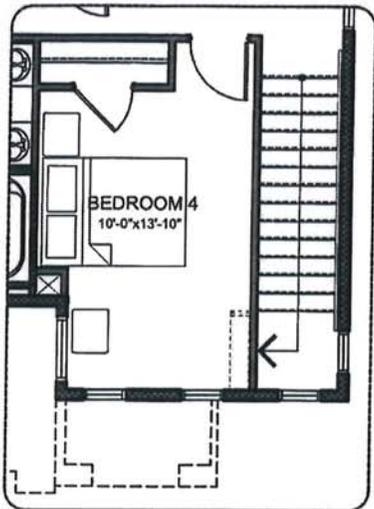
w/ SANTA BARBARA ELEVATION (BASE)

SCALE = 1/8" = 1'-0"

<p><b>MIA</b></p>	<p>PAGE 2 of 3</p>	 <p>1396 W. Herndon, suite 101, Fresno, CA, 93711 business phone (559)436-0900 LIC # 586845</p>
<p>2,061 - 2,216 sq. ft.</p>	<p>Date: 10.15.13</p>	
<p>3-4 BED, 2.5 BATH</p>	<p>Drawn by: EA</p>	
<p>2-3 CAR GARAGE</p>		



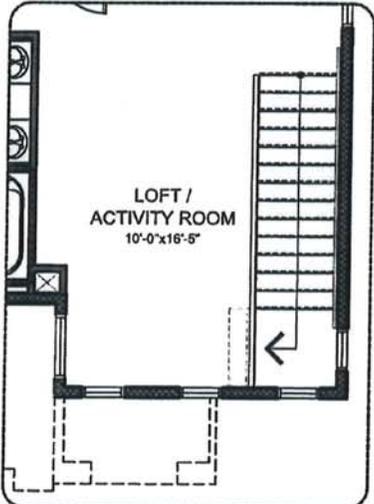
**ANDALUSIAN BEDROOM 4**  
SECOND FLOOR



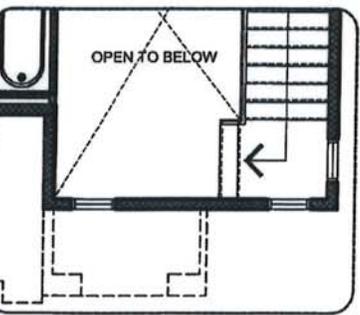
**SANTA BARBARA BEDROOM 4**  
SECOND FLOOR



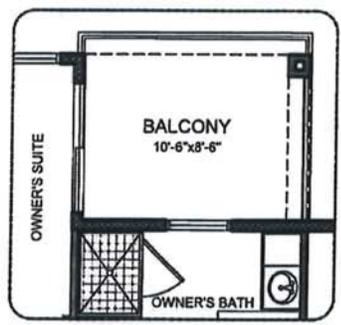
**ANDALUSIAN LOFT**  
SECOND FLOOR



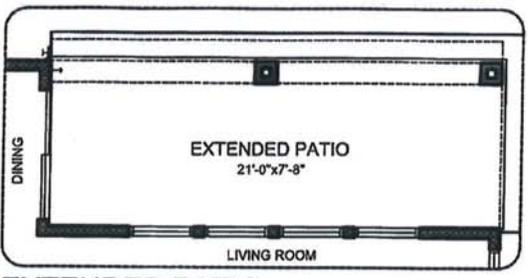
**SANTA BARBARA LOFT**  
SECOND FLOOR



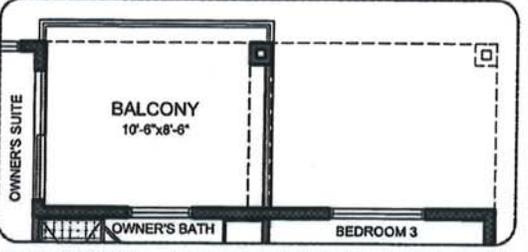
**ANDALUSIAN ELEVATION**  
SECOND FLOOR ALTERNATE WINDOWS



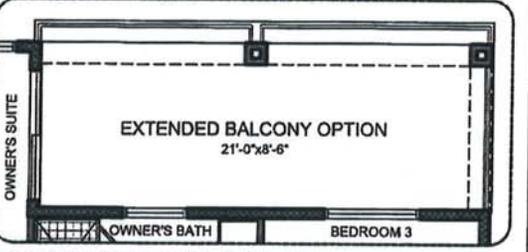
**BALCONY**



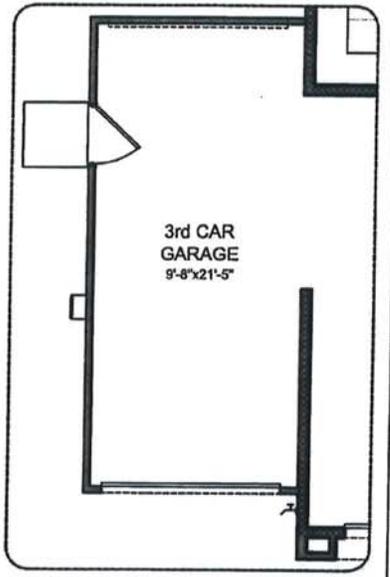
**EXTENDED PATIO**



**BALCONY w/ EXTENDED PATIO BELOW**



**EXTENDED BALCONY**



**3rd CAR GARAGE**

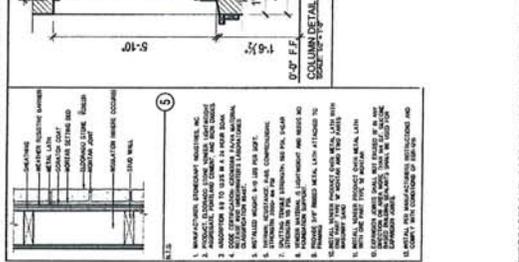
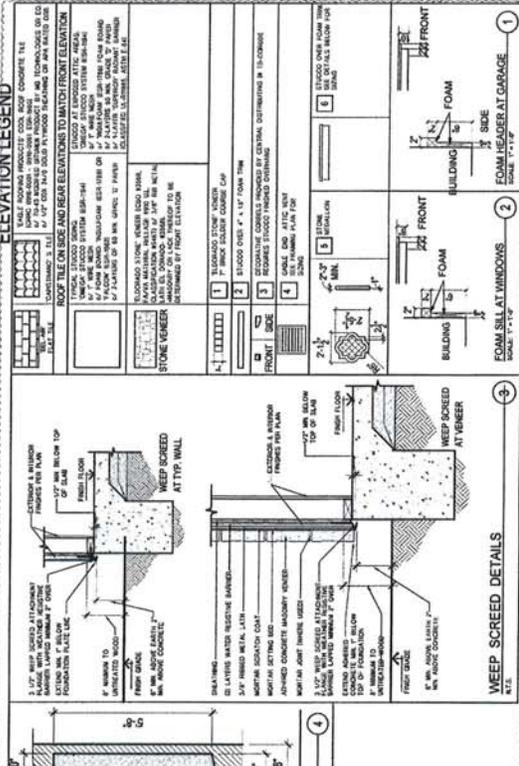
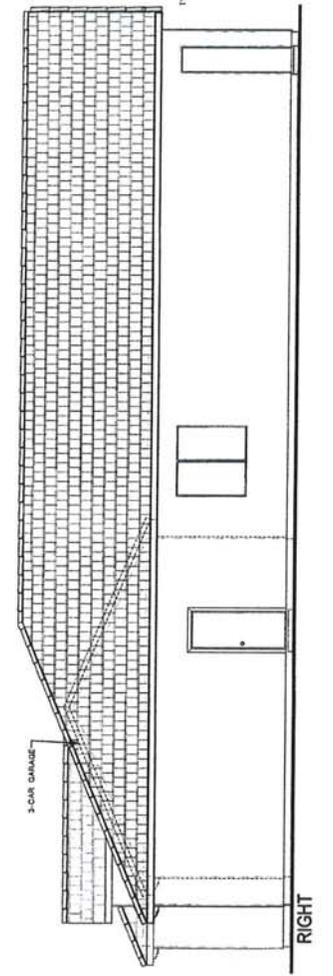
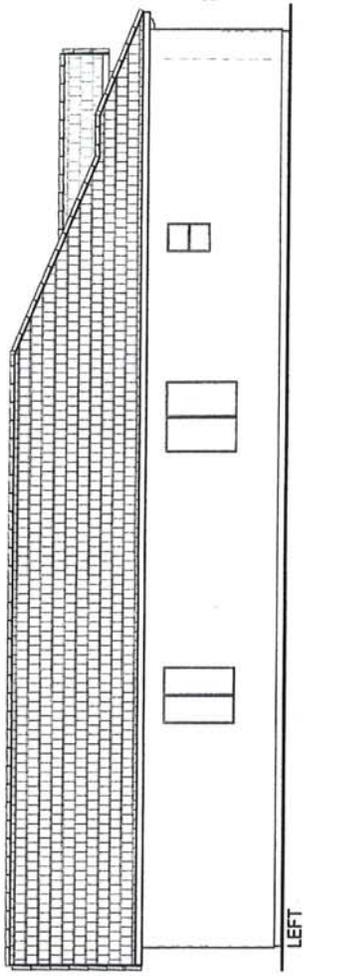
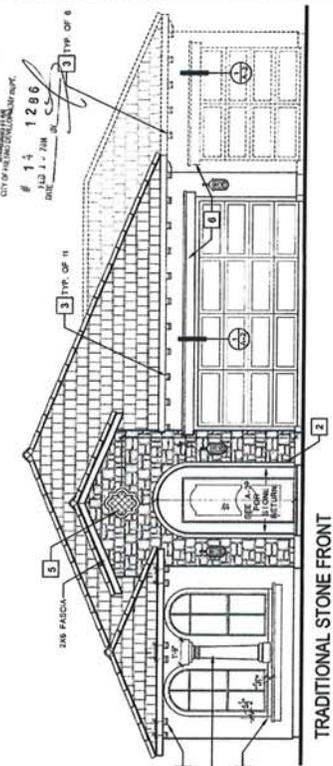
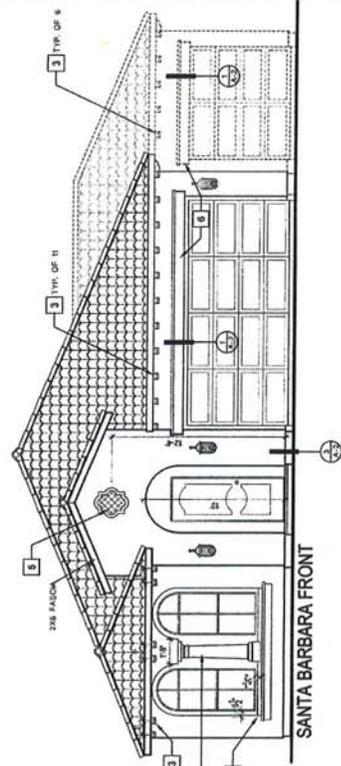
TYP. SCALE = 1/8" = 1'-0"

<b>MIA</b>	PAGE 3 of 3
2,061 - 2,216 sq. ft.	Date: 10.15.13
3-4 BED, 2.5 BATH	Drawn by: EA
2-3 CAR GARAGE	SCALE = 1/8" = 1'-0"

**GRANVILLE HOMES**

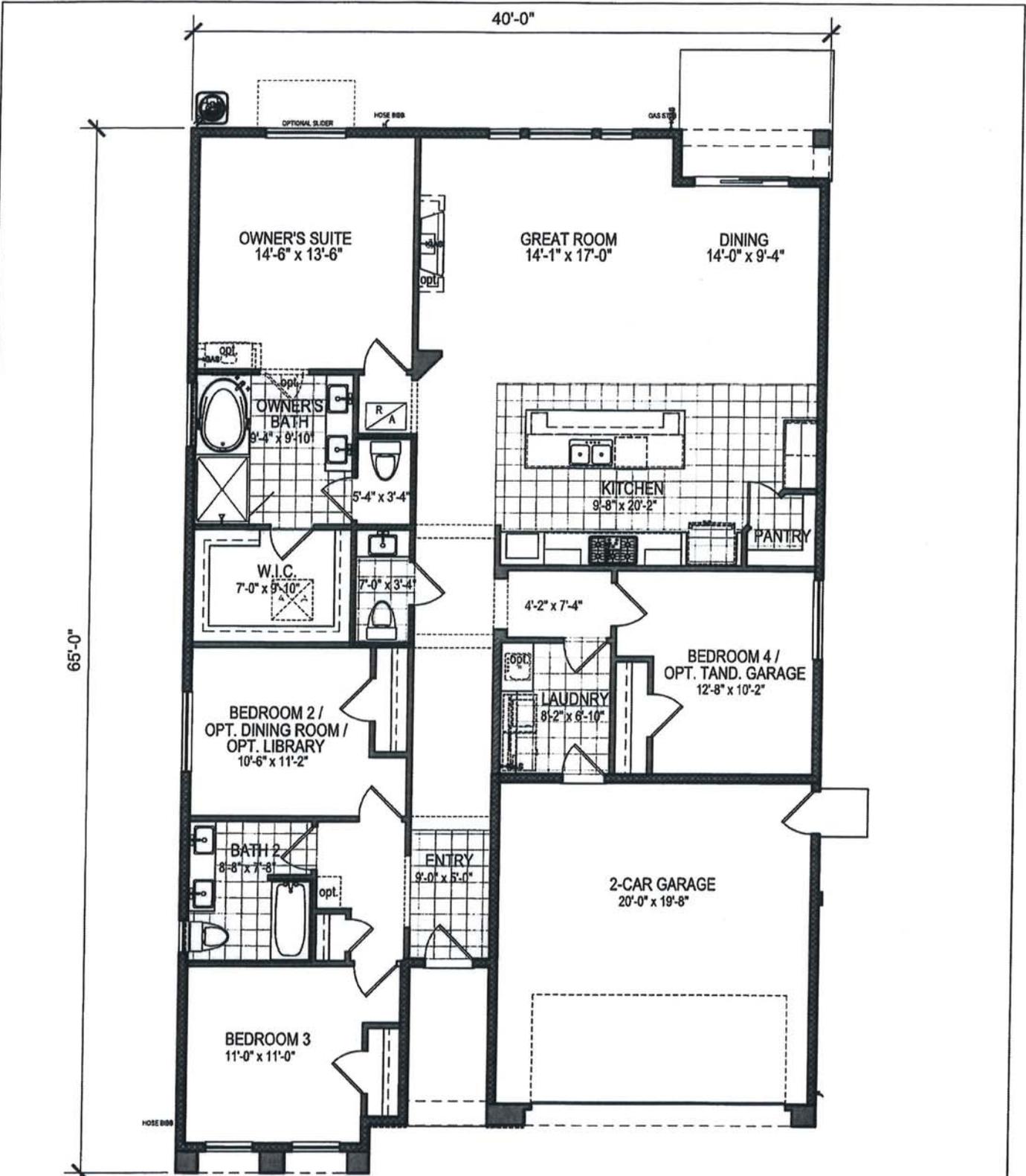
1398 W. Herndon, suite 101, Fresno, CA, 93711  
business phone (559)436-0900 LIC # 586845





**ELEVATIONS**  
 SCALE: 1/4" = 1'-0"

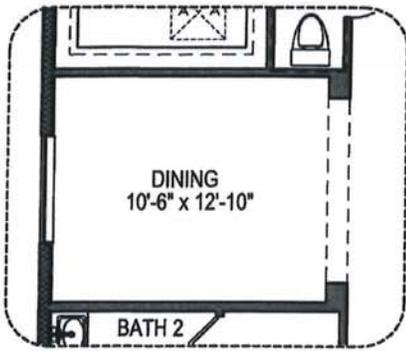




PASATIEMPO FLOOR PLAN

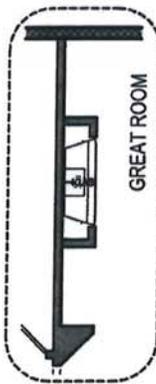
SCALE = 1/8" = 1'-0"

<h1>PASATIEMPO</h1> <p>2029 sq.ft. 3-4 BEDROOMS 2-3 CAR GARAGE</p>	<p>PAGE 1 OF 2</p>	
	<p>Date: 2.5.14</p>	
	<p>Drawn by: EA</p>	



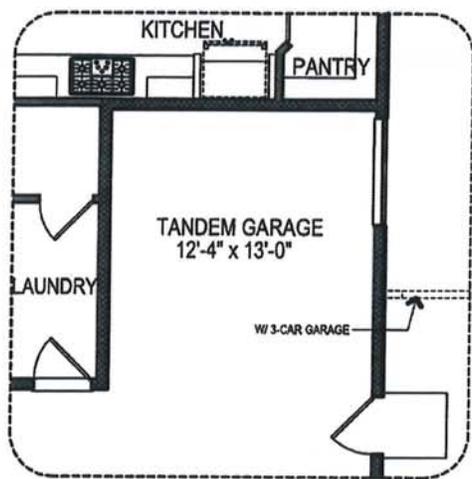
**DINING ROOM**

SCALE = 1/8" = 1'-0"



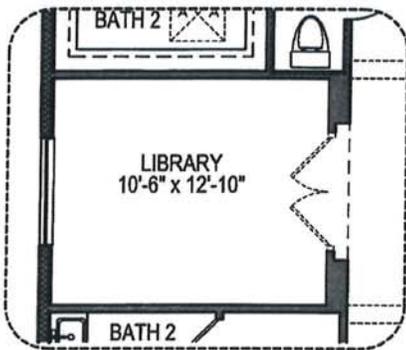
**FIREPLACE**

SCALE = 1/8" = 1'-0"



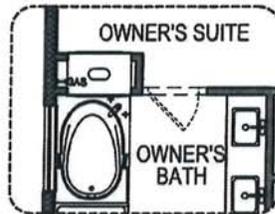
**TANDEM GARAGE**

SCALE = 1/8" = 1'-0"



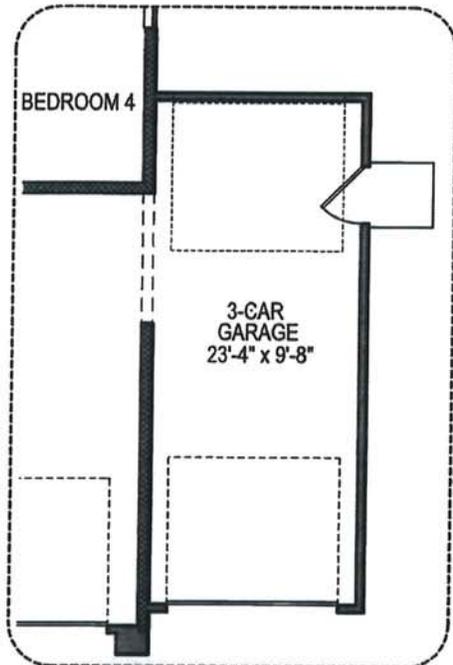
**LIBRARY**

SCALE = 1/8" = 1'-0"



**OWNER'S FIREPLACE**

SCALE = 1/8" = 1'-0"



**THIRD CAR GARAGE**

SCALE = 1/8" = 1'-0"

	A1	A2	A3	A3.1	A4	S1	S2	S3	SD1	SD2	SD3	SD4	SD5	SD6	E1	E1.1	M1	M2	M2.1	P1
SANTA BARBARA ELEVATION		•	•																	
TRADITIONAL STONE ELEVATION		•	•																	
TRADITIONAL BRICK ELEVATION		•	•																	
LIBRARY				•				•							•					
DINING ROOM				•				•							•					
3-CAR GARAGE	•	•		•	•	•	•	•							•					
TANDEM GARAGE				•		•									•					•

**PASATIEMPO**

2029 sq.ft.  
3-4 BEDROOMS  
2-3 CAR GARAGE

PAGE 2 OF 2  
Date: 2.5.14  
Drawn by: EA

**GRANVILLE HOMES**  
1396 W. Herndon, suite 101, Fresno, CA, 93711  
business phone (559)458-0900 LIC # 566945

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 CITY OF WILMINGTON

WILMINGTON 2

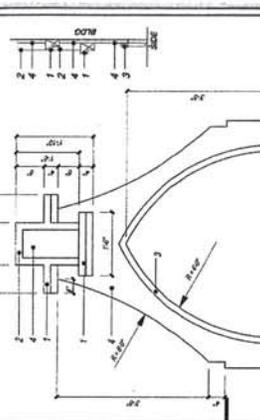
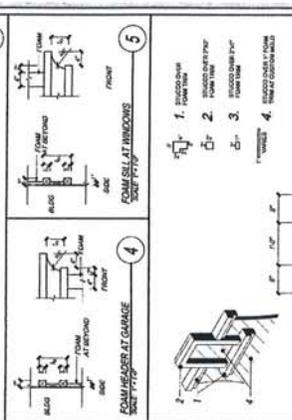
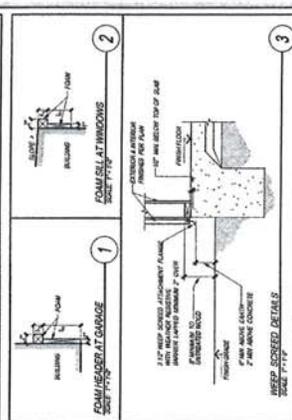
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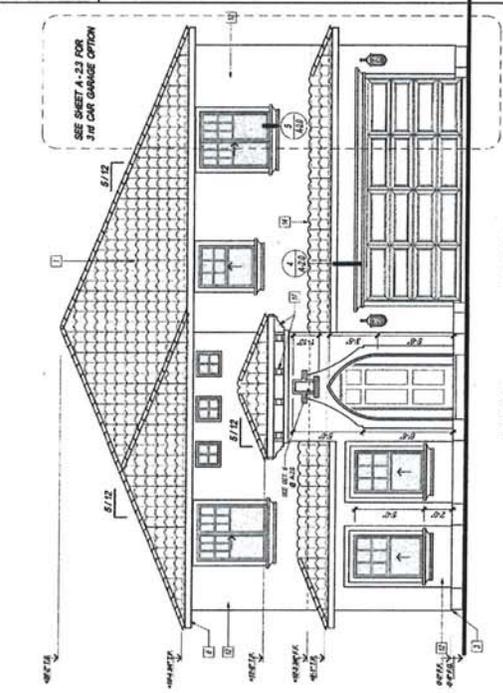
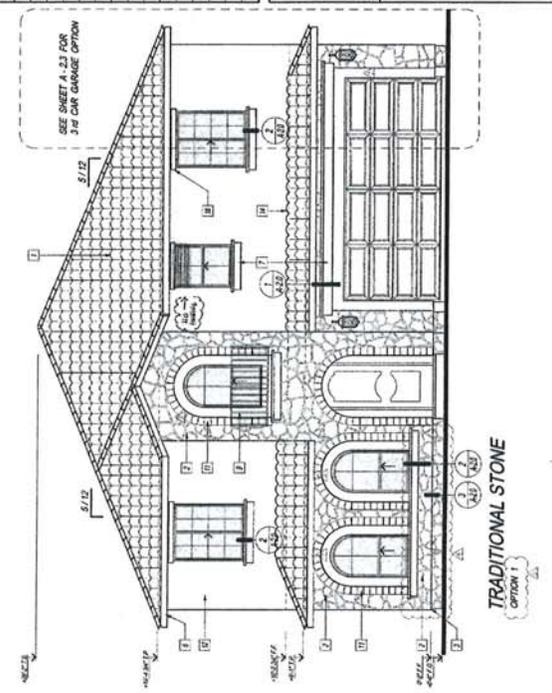
A-20 of

**KEY NOTES**

1. ROOF FINISH: SEE GENERAL NOTES FOR FINISHES. ROOF FINISHES TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL ROOF FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. EXTERIOR WALLS: SEE GENERAL NOTES FOR FINISHES. EXTERIOR WALLS TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL EXTERIOR WALLS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. FLOOR FINISH: SEE GENERAL NOTES FOR FINISHES. FLOOR FINISHES TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL FLOOR FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. PAINT FINISH: SEE GENERAL NOTES FOR FINISHES. PAINT FINISHES TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL PAINT FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
5. WINDOW FINISH: SEE GENERAL NOTES FOR FINISHES. WINDOW FINISHES TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL WINDOW FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
6. DOOR FINISH: SEE GENERAL NOTES FOR FINISHES. DOOR FINISHES TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL DOOR FINISHES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
7. EXTERIOR LIGHTING: SEE GENERAL NOTES FOR FINISHES. EXTERIOR LIGHTING TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL EXTERIOR LIGHTING TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
8. EXTERIOR SCREENING: SEE GENERAL NOTES FOR FINISHES. EXTERIOR SCREENING TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL EXTERIOR SCREENING TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
9. EXTERIOR FURNITURE: SEE GENERAL NOTES FOR FINISHES. EXTERIOR FURNITURE TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL EXTERIOR FURNITURE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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13. EXTERIOR DETAILS: SEE GENERAL NOTES FOR FINISHES. EXTERIOR DETAILS TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL EXTERIOR DETAILS TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
14. EXTERIOR ACCESSORIES: SEE GENERAL NOTES FOR FINISHES. EXTERIOR ACCESSORIES TO BE AS SHOWN ON THIS SHEET UNLESS OTHERWISE NOTED. ALL EXTERIOR ACCESSORIES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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**FRONT ELEVATIONS**  
 SCALE: 1/4" = 1'-0"



**ANDALUSIAN**  
 CITY OF WILMINGTON DEPT. OF HEALTH & ENVIRONMENT  
 12 - 8733  
 12 - 8734  
 12 - 8735  
 12 - 8738  
 12 - 8739

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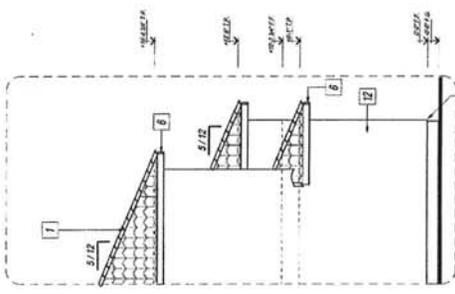
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 CITY OF FOLSOM  
 HARBOR 13.001.11.11.11

**WILMINGTON 2**

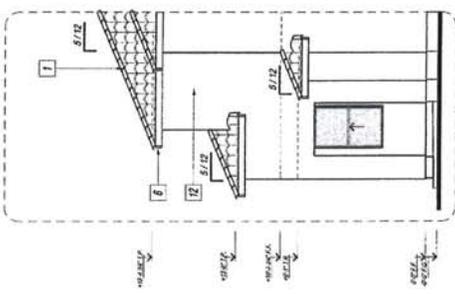
4/20/13

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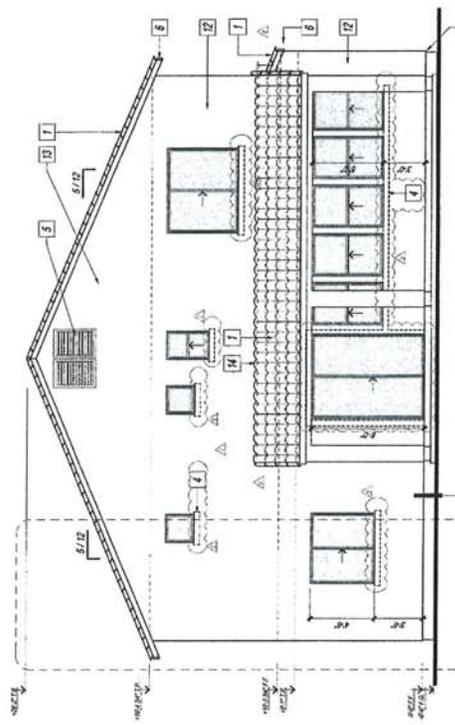
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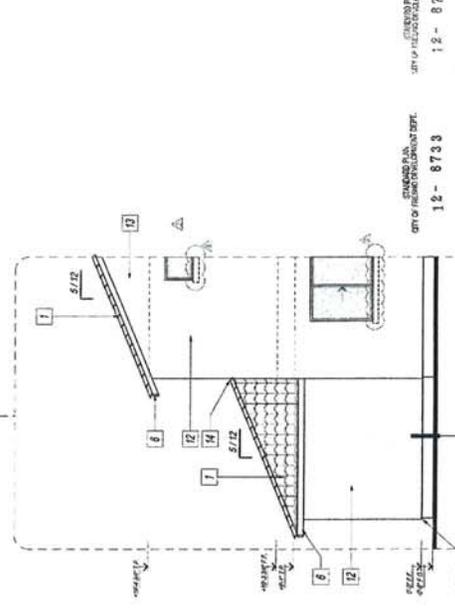
**LEFT ELEVATION**  
 AND ALUSION ELEVATION OPTION  
 (SEE SHEET A-2.2 FOR PORTIONS NOT SHOWN HERE)



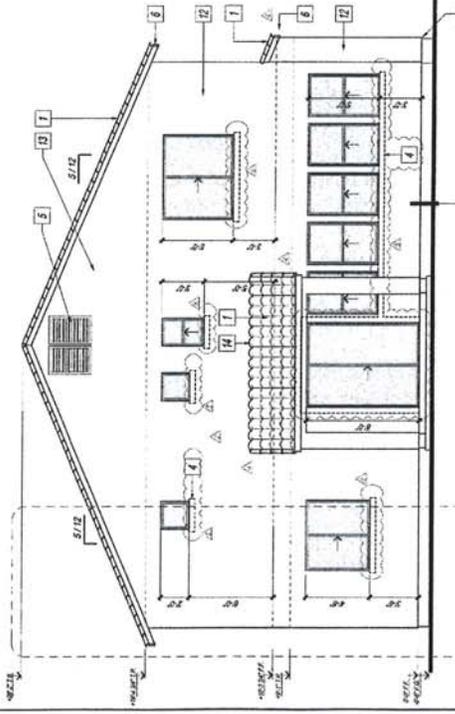
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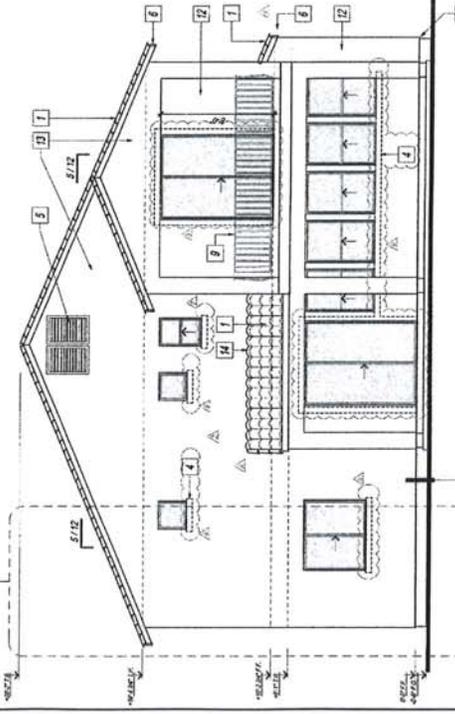
**EXTENDED PATIO OPTION**



**GARAGE 4 OPTION**



**STANDARD**



**BALCONY OPTION**

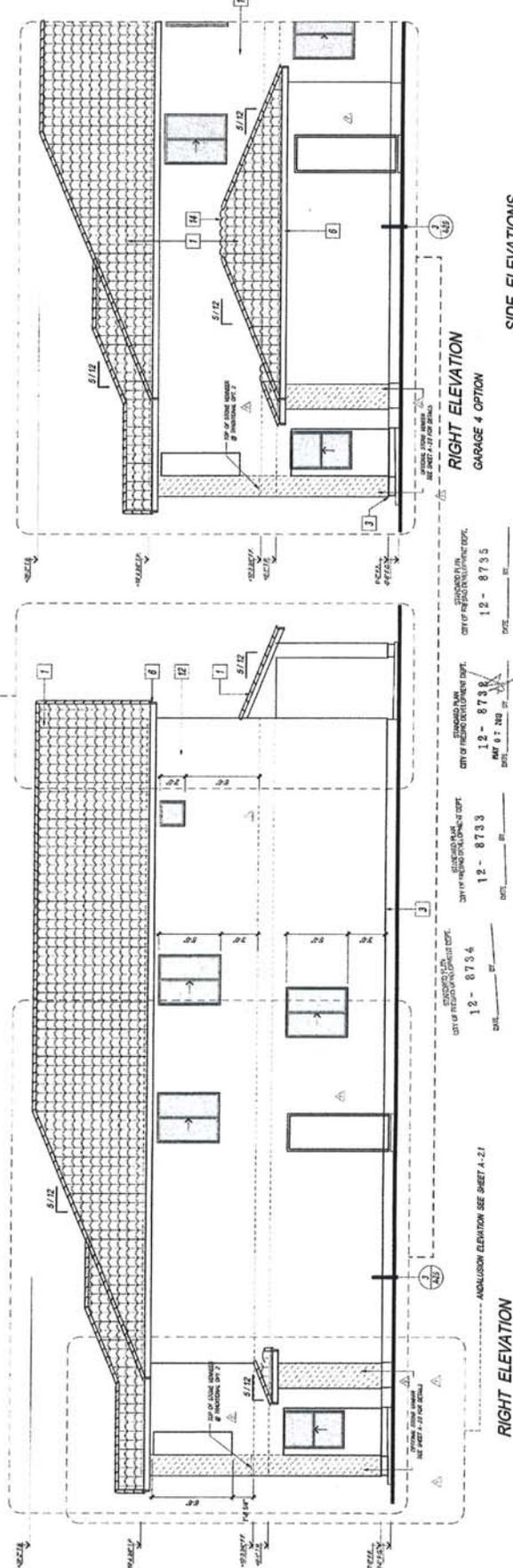
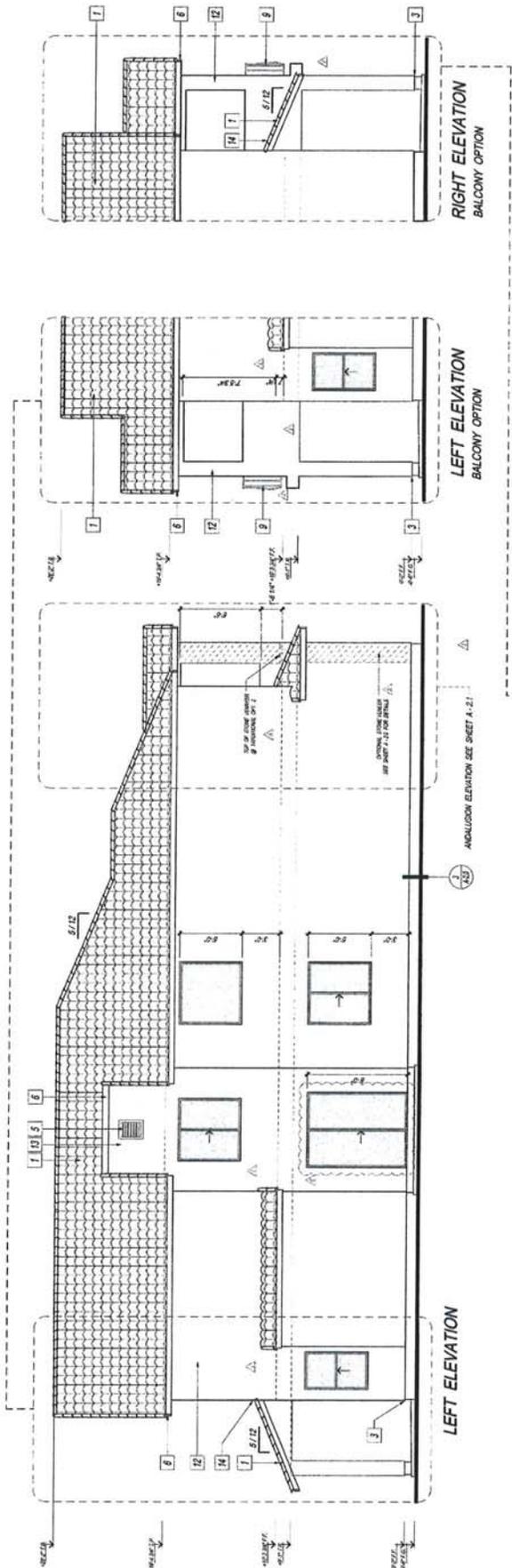
STANDARD PLAN  
 CITY OF FOLSOM DEVELOPMENT DEPT.  
 12 - 8733  
 DATE: \_\_\_\_\_ BY: \_\_\_\_\_

STANDARD PLAN  
 CITY OF FOLSOM DEVELOPMENT DEPT.  
 12 - 8734  
 DATE: \_\_\_\_\_ BY: \_\_\_\_\_

STANDARD PLAN  
 CITY OF FOLSOM DEVELOPMENT DEPT.  
 12 - 8735  
 DATE: \_\_\_\_\_ BY: \_\_\_\_\_

REAR AND SIDE ELEVATIONS  
 SCALE: 1/4" = 1'-0"

OWNER	DATE
ARCHITECT	DATE
ENGINEER	DATE
INSURANCE	DATE
PERMITS	DATE
REVISIONS	
1	ISSUE FOR PERMITS
2	ISSUE FOR PERMITS
3	ISSUE FOR PERMITS
4	ISSUE FOR PERMITS
5	ISSUE FOR PERMITS
6	ISSUE FOR PERMITS
7	ISSUE FOR PERMITS
8	ISSUE FOR PERMITS
9	ISSUE FOR PERMITS
10	ISSUE FOR PERMITS
11	ISSUE FOR PERMITS
12	ISSUE FOR PERMITS



STANDARD PLAN  
 CITY OF WILMINGTON DEPT. OF PERMITS  
 12 - 8733  
 MAY 8 7 2013

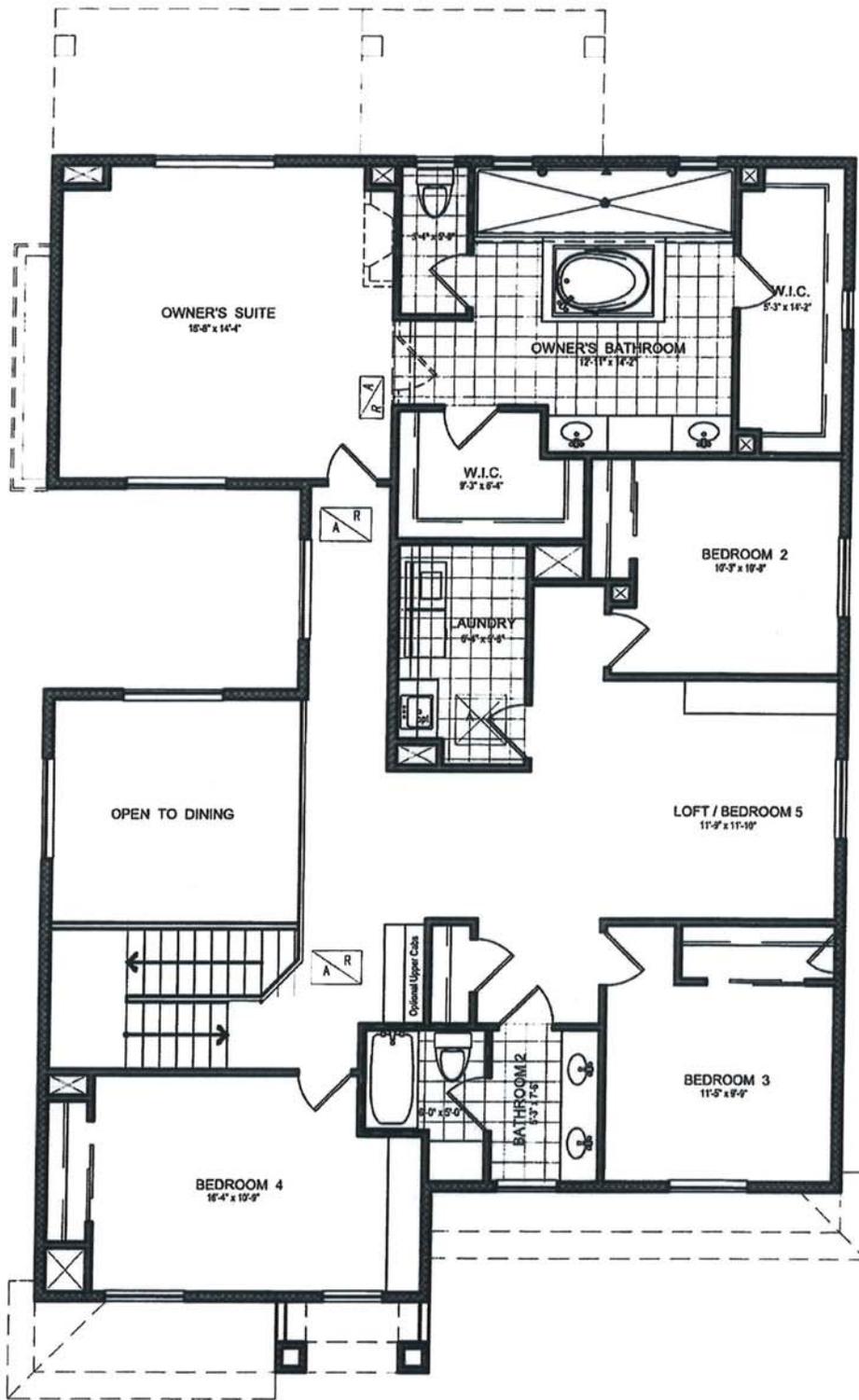
STANDARD PLAN  
 CITY OF WILMINGTON DEPT. OF PERMITS  
 12 - 8733  
 MAY 8 7 2013

STANDARD PLAN  
 CITY OF WILMINGTON DEPT. OF PERMITS  
 12 - 8733  
 MAY 8 7 2013

**SIDE ELEVATIONS**  
 SCALE 1/8"=1'-0"







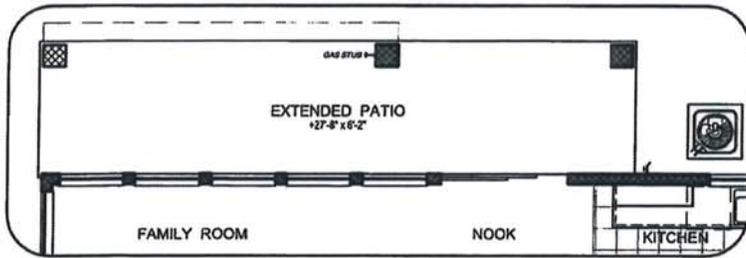
**SECOND FLOOR PLAN**

SCALE = 1/8" = 1'-0"

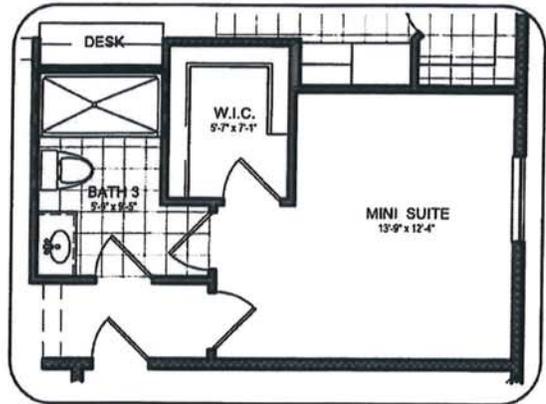
<b>WILMINGTON 2</b>	2 of 4	Date: 5.24.13
3,351 sq. ft. (up to 3,483 sq. ft.)		Drawn by: EA
4-7 BEDROOMS 2.5-4 BATHROOMS		
2-4 CAR GARAGE		

**GRANVILLE**  
  
**HOMES**

1396 W. Herndon, suite 101, Fresno, CA, 93711  
 business phone (559)436-0300 LIC # 598845



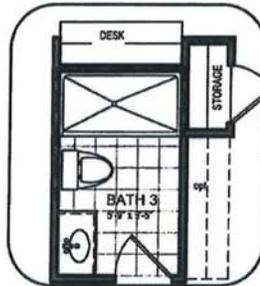
EXTENDED PATIO



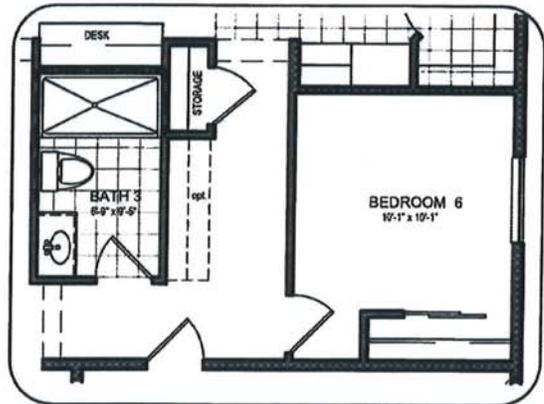
MINI SUITE



FAMILY ROOM  
FIREPLACE



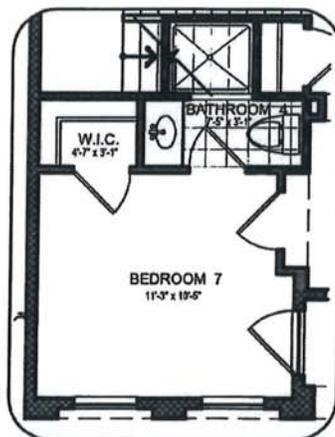
BATHROOM 3 - FULL



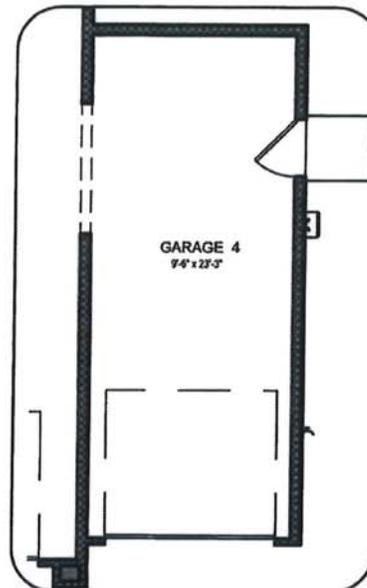
BEDROOM 6



BEDROOM 7



BEDROOM 7 W/ BATH 4



GARAGE 4

WILMINGTON 2

3 of 4

Date: 5.24.13

3,351 sq. ft. (up to 3,483 sq. ft.)

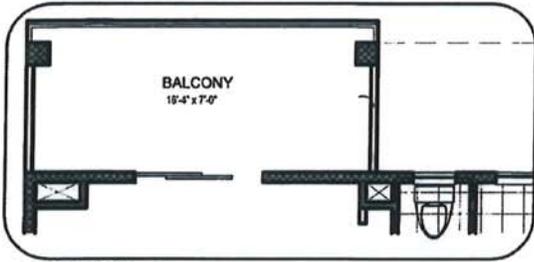
Drawn by: EA

4-7 BEDROOMS 2.5-4 BATHROOMS

2-4 CAR GARAGE

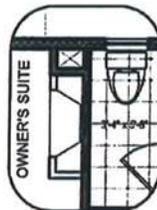
SCALE = 1/8" = 1'-0"





**BALCONY**

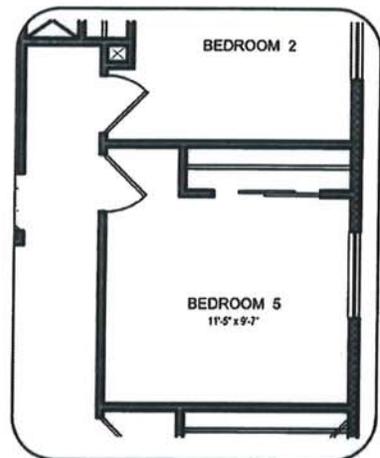
EXTENDED PATIO AUTOMATICALLY SELECTED WITH THIS OPTION



**OWNER'S  
FIREPLACE**



**ANDALUSIAN ELEVATION**



**BEDROOM 5**

**WILMINGTON 2**

4 of 4

Date: 5.24.13

3,351 sq. ft. (up to 3,483 sq. ft.)

Drawn by: EA

4-7 BEDROOMS 2.5-4 BATHROOMS

2-4 CAR GARAGE

SCALE = 1/8" = 1'-0"

**GRANVILLE**  
HOMES

1395 W. Herndon, Suite 101, Fresno, CA, 93711  
business phone (559)438-0900 LIC # 586845

**CITY OF FRESNO  
DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT**

**NOTICE OF PUBLIC HEARING**

**Vesting Tentative Tract Map No. 6063/UGM,  
Conditional Use Permit No. C-14-018, and  
Environmental Assessment No. T-6063/C-14-018**

NOTICE IS HEREBY GIVEN that in accordance with Sections 65090 and 65091 (Planning and Zoning Law) and Section 66451.3 (Subdivision Map Act) of the Government Code; and, pursuant to the procedures of Article 4 Chapter 12 of the Fresno Municipal Code, the Fresno City Planning Commission will conduct a public hearing to consider Vesting Tentative Tract Map No. 6063/UGM filed by Gary Giannetta of Gary Giannetta Civil Engineering & Land Surveying, on behalf of subdivider and property owner Copper Park LLC. This application pertains to approximately 1.78 net acres of property located at 1025 East Carnoustie Avenue, on the southeast corner of North Friant Road and East Copper. The Planning Commission will consider the following:

1. **Vesting Tentative Tract Map No. 6063/UGM** proposes to subdivide the subject property for the purposes of developing a 10-lot single family residential development with all lots fronting a public street at an overall density of approximately 3.48 dwelling units per acre. Proposed lot sizes range from approximately 6,200 square feet to 12,100 square feet in size.
2. **Conditional Use Permit Application No. C-14-018** proposes that the above subdivision be a Planned Unit Development, with modification of , which
3. **Environmental Assessment T-6063/C-14-018:** Recommending that a finding of Mitigated Negative Declaration be made for the proposed tentative tract map, conditional use permit, and abandonment of street right-of-way formerly dedicated for the intersection of North Millbrook Avenue, East Copper Avenue and North Friant Road, as determined feasible pursuant to the street vacation study (City of Fresno Public Works Department File 11763).

**FRESNO CITY PLANNING COMMISSION**

Date: Wednesday, July 2, 2014

Time: 6:00 p.m., or thereafter

Place: Fresno City Hall Council Chamber, 2nd Floor  
2600 Fresno Street, Fresno, CA 93721

For additional information regarding the above projects, or for a copy of the environmental finding in electronic format (on CD-ROM), please contact Sandra Brock, Development Services Division, Development and Resource Management Department. She may be reached by phone at (559) 621-8041; via e-mail at [sandra.brock@fresno.gov](mailto:sandra.brock@fresno.gov); or by correspondence directed to her at 2600 Fresno Street Room 3076, Fresno, California 93721-3604 or faxed to (559) 498-1026.

Any interested person may appear at the public hearing to present written testimony or speak in favor or against the project proposal. If you challenge the above applications in court, you may be limited to raising only those issues that you, or someone else, raised at the public hearing described in this notice, or in written correspondence delivered to the Development Services Division of the Development and Resource Management Department and/or Planning Commission at the above address at, or prior to, the public hearing.

NOTE: Pursuant to the requirements of Government Code Section 65091 (Planning and Zoning Law) and Fresno Municipal Code Section 12-403-C (which require a 300-foot noticing radius around a proposed tract and property subject to a conditional use permit, respectively), this notice is being mailed to owners of properties located within 350 feet of the subject property to make an allowance for abutting major street right-of-way.

JENNIFER K. CLARK, Secretary

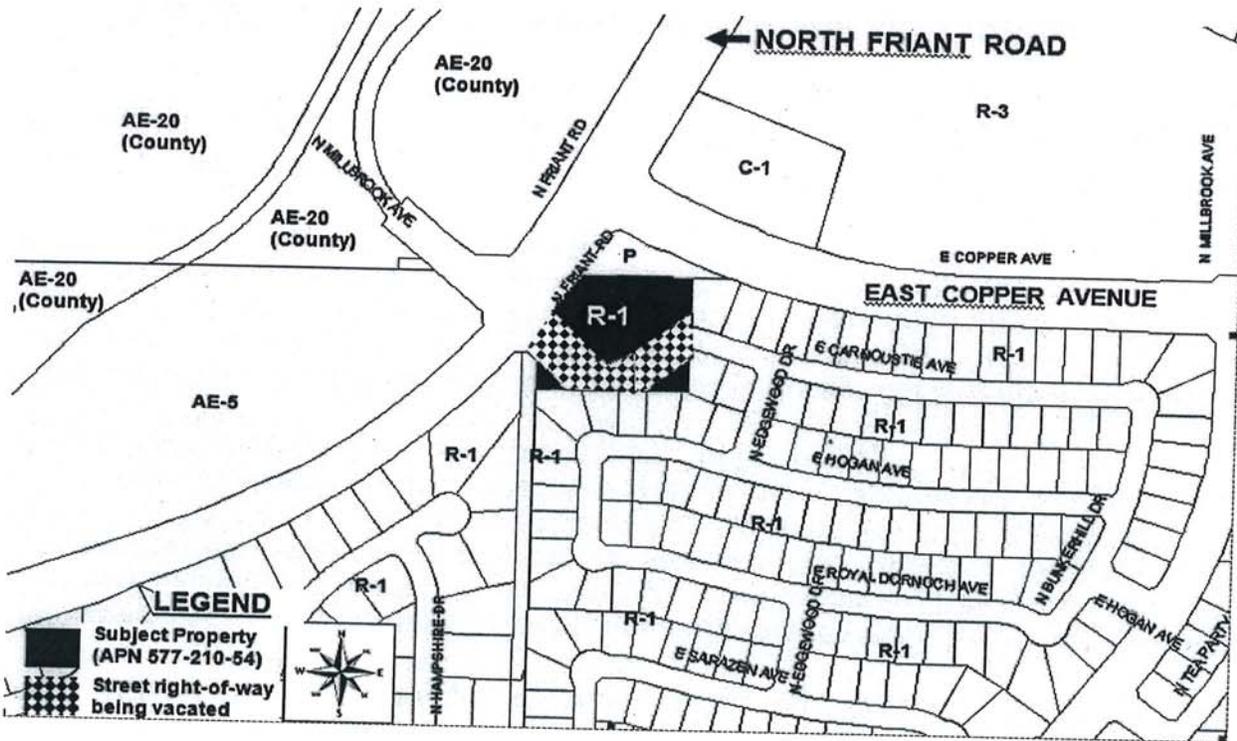
City of Fresno Planning Commission

DATED: June 20, 2014

APN: 577-210-54

**PLEASE REFER TO THE VICINITY MAP ON THE REVERSE SIDE**

# VICINITY MAP



City of **FRESNO** Lauren Filice, Planner III

DEVELOPMENT AND RESOURCE MGMT. DEPARTMENT  
 2600 FRESNO ST  
 FRESNO CA 93721-3604

**THIS IS A LEGAL NOTICE**  
 CONDITIONAL USE PERMIT NO. C-13-159  
 4770 E. Belmont Avenue

JUN 23 2014

DEPARTMENT & RESOURCE  
 DEPARTMENT  
 DEPARTMENT SERVICES  
 PLANNING DIVISION

T6063 APN:  
 SANDRA BROCK  
 DARM DEVELOPMENT SVCS DIV  
 2600 FRESNO ST FL 3  
 FRESNO CA 93721-3604

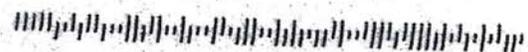
FIRST CLASS



neopost

049J82055490  
**\$00.480**  
 06/20/2014  
 Mailed From 93721  
**US POSTAGE**

93721360499



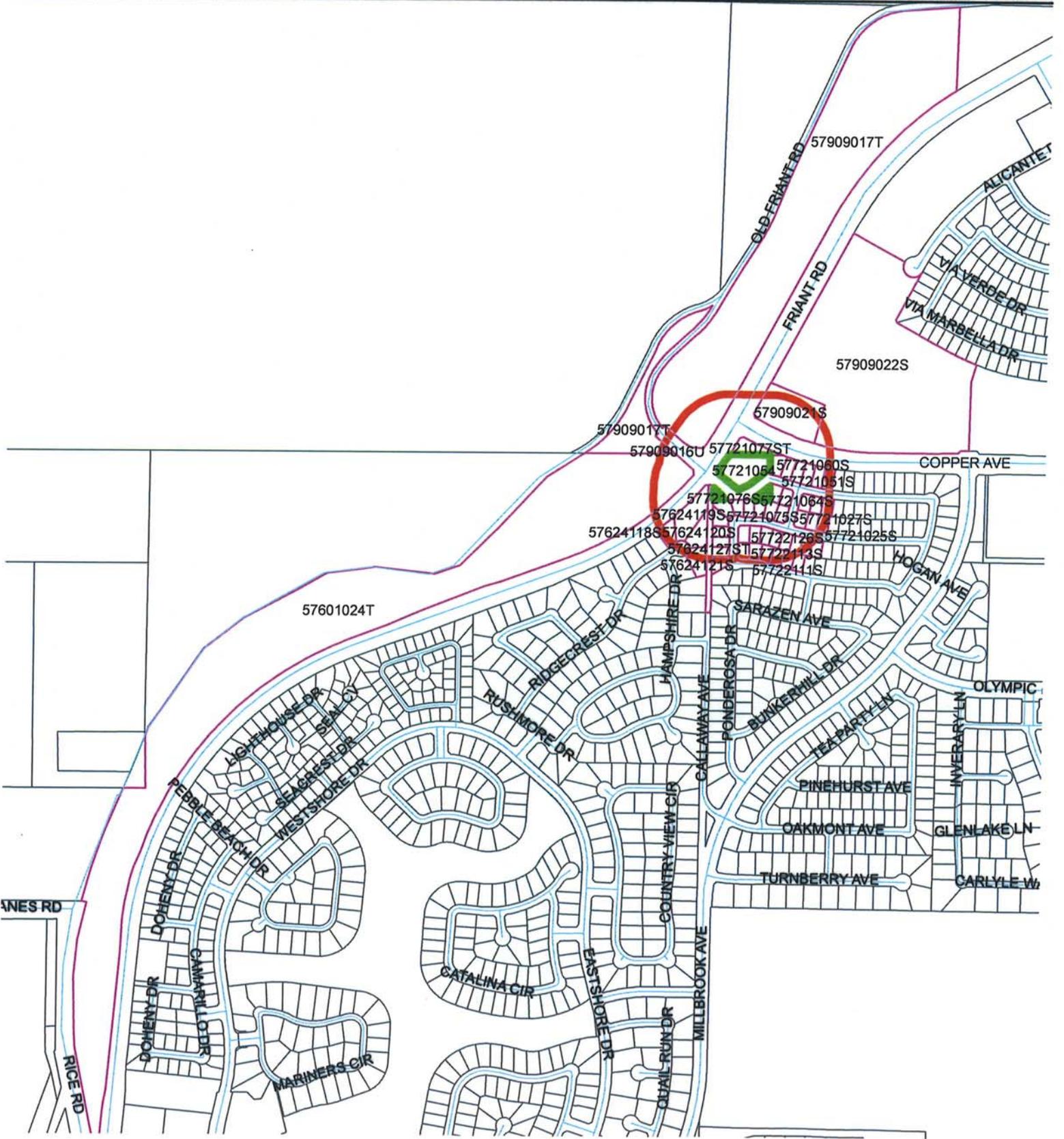
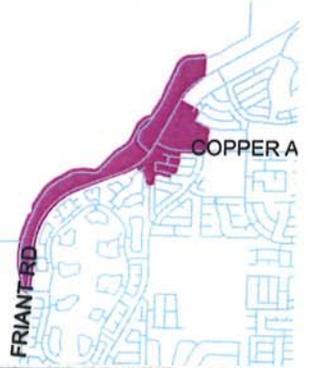


T6063	577210655	WALTERS JAMES R & KATHRYN L TRUSTEES	1024 E HOGAN	FRESNO CA 93730
T6063	57721062S	ZAMORA CHRISTINE MARIE	1039 E CARNOUSTIE	FRESNO CA 93730
T6063		SANDRA BROCK	2600 FRESNO ST FL 3	FRESNO CA 93721-3604
T6063		GARY G GIANNETTA	1119 S ST	FRESNO CA 93721
T6063		CHRISTINE LINGENFELTER	1396 W HERNDON STE 101	FRESNO CA 93711
T6063		SERENA FLICK	1396 W HERNDON STE 101	FRESNO CA 93711
T6063		SAN JOAQUIN RIVER PARKWAY AND	11605 OLD FRIANT RD	FRESNO CA 93730
T6063		CA SAN JOAQUIN RIVER CONSERVANCY	5469 E OLIVE AVE BLDG 1	FRESNO CA 93727
T6063		FRESNO METROPOLITAN FLOOD	5469 E OLIVE AVE	FRESNO CA 93727
T6063		LANCE KASHIAN & CO	8365 N FRESNO STE 150	FRESNO CA 93720
T6063		JAIMIE OHANESIAN	1234 O ST	FRESNO CA 93721
T6063		MICHELE SKYES	10250 N WESTSHORE DR	FRESNO CA 93720
T6063		JOAN HEISDORF	341 EAST NILES AVE	FRESNO CA 93720
T6063		CASEY J SONDGEROTH	601 GATEWAY BLVD STE 1000	SO SAN FRANCISCO CA 94080
			DARM DEVELOPMENT SVCS DIV	
			CIVIL ENGINEERING & LAND SURVEYING	
			COPPER PARK LLC	
			GRANVILLE HOMES	
			CONSERVATION TRUST	
			CONTROL DISTRICT	
			PRECISION CIVIL ENGINEERING	
			WOODWARD LAKE MASTER ASSN	
			WOODWARD PARK HOMEOWNERS	
			ADAMS BROADWELL JOSEPH & CARDOZA	

199745 T6063 CUP

Offered at: 350 Feet, Legal Notices, Owners  
7721054

Address List Map, Gary Unruh, c:\gisdm5\automap\adrlist.mxd, Wed Jun 18 14:36:10 2014





**CITY OF FRESNO  
DEVELOPMENT AND RESOURCE MANAGEMENT DEPARTMENT**

**VESTING TENTATIVE TRACT MAP NO. 6063/UGM**

**A PLANNED UNIT DEVELOPMENT**

**CONDITIONS OF APPROVAL**

**JULY 2, 2014**

**1025 EAST CARNOUSTIE AVENUE, ON THE SOUTHEAST CORNER OF THE INTERSECTION OF**

All tentative maps are subject to the applicable provisions of the State Subdivision Map Act, Fresno Municipal Code (FMC), City policies, and City of Fresno Standard Specifications. The following specific conditions are applicable to this vesting tentative map:

**NOTICE TO PROJECT APPLICANT**

**In accordance with the provisions of Government Code §66020(d)(1), the imposition of fees, dedications, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of the imposition of the fees, dedications, reservations or exactions imposed on the development project.**

Each local agency shall provide to the project applicant a notice in writing at the time of the approval of the project or at the time of the imposition of the fees, dedications, reservations, or other exactions, a statement of the amount of the fees or a description of the dedications, reservations, or other exactions, and notification that the 90-day approval period in which the applicant may protest has begun (please see section related to Development Fees and Charges included herein below for further information).

Improvements and payments shall not be required on or in front of any undeveloped portion of a net acreage of ten acres or more which exists after the division of land. All improvements and payments shall be completed with development.

**URBAN GROWTH MANAGEMENT REQUIREMENTS (GENERAL)**

The subdivider of property located within the UGM boundaries shall comply with all sewer, water and street requirements and pay all applicable UGM fees imposed under the Urban Growth Management process (with appropriate credit given for the installation of required UGM improvements) in accordance with the requirements of State Law as related to tentative tract maps.

GENERAL CONDITIONS

1. Upon conditional approval of Vesting Tentative Tract Map No. 6063/UGM, the subdivider may prepare a Final Map in accordance with the approved tentative map; and, the following:
  - a. Approval of the design of Vesting Tentative Tract Map No. 6063/UGM, as that map may be required to be further corrected through the review and hearing process (attached is the April 28, 2014 version of this diagram).
  - b. Approval of Vesting Tentative Tract Map No. 6063/UGM is contingent upon approval of Conditional Use Permit Application No. C-14-018. Any Final Map prepared for the subdivision of the subject property shall comply with all conditions of approval for Conditional Use Permit Application No. C-14-018.
  - c. Vacation of street-right-of-way previously dedicated for the intersection of North Millbrook Avenue, East Copper Avenue, and North Friant Road, in compliance with conditions imposed by the City of Fresno Public Works Department pursuant to the vacation feasibility study (Public Works Department File No. 11763).
2. The developer shall comply with Regulation VIII and Rule 8060 of the San Joaquin Valley Air Quality Pollution Control District for the control of particulate matter and fugitive dust during construction of this project.
3. The developer/owner shall pay the appropriate park facilities fee and/or dedicate lands for parks and recreation purposes pursuant to Ordinance Nos. 2005-112 and 2005-113 adopted by the Fresno City Council on September 27, 2005.
4. The developer shall submit grading plans and a soils report to the City of Fresno Planning and Development Department for verification prior to Final Map approval (Reference: Sections 12-1022 and 12-1023 of the Fresno Municipal Code). The soils report shall indicate whether expansive clay soils are present, and if so shall indicate effective measures to prevent structural, paving and utility line damage from cavitation or subsidence related to expansive clay soils. Grading plans shall indicate the location of any required walls and indicate the proposed width of required landscape easements or strips. Approval of the grading plan is required prior to Final Map approval.
5. At the time of Final Map submittal, the developer shall submit engineered construction plans to the City of Fresno Public Works, Public Utilities, and Planning and Development Departments for grading, public sanitary sewer system, public water system, street lighting system, public streets, and storm

drainage, including other technical reports and engineered plans as necessary to construct the required public improvements and work and applicable processing fees.

6. Engineered construction plans shall be approved by the City prior to the approval of the Final Map. If, at the time of Final Map approval, such plans have not been approved, the subdivider shall provide performance security in an amount established by the City to guarantee the completion of plans.
7. Public utilities easements, as necessary, shall be shown on the Final Map and dedicated to the City of Fresno. Public utility easements beyond the limits of the Final Map, but required as a condition of development, shall be acquired at the subdivider's cost and shall be dedicated by separate instrument at the time of Final Map approval. The relocation of existing utilities necessitated by the required public improvements shall be paid for by the subdivider. The subdivider is responsible to contact the appropriate utility company for information.
8. The subdivider shall comply with the conditions, policies and standards set forth in the City of Fresno, Municipal Code, Article 10, Chapter 12, "Subdivision of Real Property;" Resolution No. 68-187, "City Policy with Respect to Subdivisions;" and City of Fresno Standard Specifications, 2002 Edition, and any amendments thereto.
9. The subdivider shall pay applicable fees for, but not limited to, plan checks for street improvements and other grading and construction; street trees, street signs, water and sewer service, and inspections in accordance with the City of Fresno Master Fee Schedule (City Resolution No. 79-606 and No. 80-420) and any amendments, modifications, or additions thereto; and in accordance with the requirements of State law as related to tentative maps.
10. The subdivider shall furnish to the City acceptable security to guarantee the construction of the off-site street improvements in accordance with all applicable provisions of the Fresno Municipal Code (FMC) and the State Subdivision Map Act. The subdivider shall complete all the public improvements prior to the approval of the Final Map by the City. If, at the time of Final Map approval, any public improvements have not been completed and accepted in accordance with the standards of the City, the subdivider may elect to enter into an agreement with the City to thereafter guarantee the completion of the improvements.

11. As a condition of Final Map approval, the subdivider shall furnish to the City a subdivision guarantee listing all parties having any right, title or interest and the nature of their interest per State law.
12. Prior to final map approval, the owner of the subject property shall execute a "Right to Farm" covenant with the City of Fresno. Said covenant is to run with the land and shall acknowledge and agree that the subject property is in or near agricultural districts located in the City and County of Fresno and that the residents of said property should be prepared to accept the inconveniences and discomfort associated with normal farm activities. The "Right to Farm" covenant shall be recorded prior to or concurrent with the recording of a Final Map for Tract No. 6063/UGM.

#### GENERAL INFORMATION

13. Prior to the issuance of building permits for the subdivision, school construction fees shall be paid to the Clovis Unified School District in accordance with the school districts adopted schedule of fees. A March 26, 2014 letter from Clovis Unified School District relating to this project is attached for informational purposes; school construction fees and attendance areas are subject to change.
14. The developer shall submit a copy of the final tract map to the Development and Resource Management Department, along with the appropriate fee, for addressing of the parcels created via this subdivision.
15. Contact the United States Postal Service for the location and type of mailboxes to be installed in this subdivision. It is recommended that at least 6 months prior to the first occupancy, the Developer shall contact the local United States Postal Service representative to complete a Mode of Delivery Agreement for New Construction. The Mode of Delivery Agreement must have a District approval signature to be valid. In addition to completing the Agreement, the Developer shall provide a final map (with address details) to the local USPS representative. The developer shall, at his/her own expense, procure, construct and install all mail receptacle facilities for each location as specified and approved by the USPS.
16. Pursuant to Section 66456.1 of the Subdivision Map Act, which states "The right of the subdivider to file multiple Final Maps shall not limit the authority of the local agency to impose reasonable conditions relating to the filing of multiple Final Maps," any multiple final maps filed by the subdivider on this tract shall fully and independently conform to all provisions of FMC Chapter 12, Article 10, Subdivision of Real Property.

17. The developer/owner shall obtain any and all permits required for the removal or demolition of any existing building or structure located within the subdivision boundaries. The developer/owner shall also obtain any and all permits required for the proper abandonment/closure of any existing water well, septic tank/leach field or cesspool, and irrigation pipeline on the subject property. All such permits shall be obtained prior to commencement of tract grading work, in accordance with Chapter 13 of the FMC.
18. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately.
19. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted (business hours: (559) 268-0109; after hours the contact phone number is (559) 488-3111 for the Fresno County Sheriff's Department). If remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (phone number (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (phone number (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists.
20. If animal fossils are uncovered, the Museum of Paleontology at the University of California, Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist; if the paleontologist determines the material to be significant, a recommendation shall be made to the City as to any further site investigation or preservation measures.
21. Apportionment of Special Assessment: If, as part of this subdivision, a division will be made of any lot or parcel of land upon which there is an unpaid special assessment levied under any State or local law, including a division into condominium interest as defined in Section 783 of the Civil Code, the developer/owner shall file a written application with the City of Fresno Director of Public Works, requesting apportionment of the unpaid portion of the assessment or pay off such assessment in full. If the subdivider elects to apportion the assessment, the application shall contain the following information:
  - a. A full description of each assessed lot, parcel or interest to be divided and of how such lot, parcel or interest will be divided;
  - b. A request that the Engineer apportion the amount remaining unpaid on the assessment in accordance with applicable law; and
  - c. Written consent of the owner(s) of each such lot, parcel, or interest to the requested apportionment.

- d. The application shall be filed prior to the approval of the Final Map(s) by the City and shall be accompanied by a fee in an amount specified in the Master Fee Resolution for each separate lot, parcel, or interest into which the original assessed lot, parcel or interest is to be divided. The fee shall be in an amount sufficient to pay all costs of the City and the Engineer of Work responsible for determining the initial assessment in making the requested apportionment.

#### MITIGATION MONITORING REQUIREMENTS

22. Development of the subject property shall be subject to implementation of all applicable mitigation measures, fees, and timelines included within the Initial Study and Mitigated Negative Declaration (MND) prepared for Environmental Assessment No. T-6063/C-14-018, dated May 30, 2014, including the project-specific mitigation measures adopted as part of the MND for this project.

This MND was tiered from the 2025 Fresno General Plan Master Environmental Impact Report (MEIR) No. 10130 (State Clearinghouse No. 2001 )and Air Quality MND No. A-09-02 (SCH No. 2009 ). Development of the subject property shall be subject to implementation of all applicable mitigation measures included within the MEIR and Air Quality MND for subsequent projects; incorporated herein by reference.

#### ZONING & PROPERTY DEVELOPMENT STANDARDS

23. As a proposed "Planned Development" subdivision, approval of Vesting Tentative Tract Map No. 6063/UGM is contingent upon approval of Conditional Use Permit Application No. C-14-018; authorizing the planned development of the subject property.
  - a. Development on the subject property or individual lots resulting from a subdivision thereof shall comply with all property development standards of the applicable/respective zone district designated for the respective parcel(s) as well as the design standards of the subdivision ordinance; except as modified by the conditions of approval for Conditional Use Permit Application No. C-14-018. The subdivision and development of the subject property shall comply with all conditions of approval for Conditional Use Permit Application No. C-14-018.

#### Lot Area and Dimensions

24. Pursuant to Section 12-306-N-21 of the FMC the Director of the Development and Resource Management Department or the Planning Commission may

modify the property development standards of the underlying zone district if determined that the proposed development conforms to the provisions of the abovementioned section. However, in no case shall proposed parcels be less than the following minimum standards:

Proposed lots shall be configured and dimensioned in accordance with Vesting Tentative Tract Map No. 6063/UGM and conditions of approval for Conditional Use Permit No. C-14-018.

#### Building Setbacks

25. Building setbacks shall be provided as have been modified from the standard R-1 (*Single Family Residential Zone District*) and EA (*Expressway Area Overlay Zone District*) in accordance with the Conditions of Approval and the final corrected site plan (Exhibit "A") approved for Conditional Use Permit Application No. C-14-018. It is noted that the developer does not propose any driveways on this project which are less than 18 feet long, and that the project has a 75-foot setback from the midpoint of the Friant Road travel lane, pursuant to an acoustical study.

#### Lot Coverage

26. Maximum lot coverage by buildings and structures (including patio covers and accessory structures) shall not exceed the provisions included within the conditions of approval for Conditional Use Permit Application No. C-14-018, which provides for a maximum fifty percent (50%) lot coverage on any parcel.

#### Landscaping, Open Space and Walls

27. Pursuant to Exhibit 9 (Multi-Purpose Trails Plan Map) of the 2025 Fresno General Plan, the subdivider shall not encroach on the easement for bike, pedestrian and landscape purposes along the westerly property lines of all lots with frontage on North Friant Road (i.e., Lots 1 and 10 of Vesting Tentative Tract Map No. 6063/UGM).
28. The developer shall construct, or extend, or repair as necessary, a 6-foot high solid masonry wall (as measured from the finished grade on the side of the tract) behind the required trail easement along the westerly property lines of Lots 1 and 10 (extending continuously between those lots, past the terminus of East Carnoustie Avenue), and along the boundary between the tract and the Park & Ride Lot at the corner of Friant Road and Copper Avenue, pursuant to the solid wall requirements of Section 12-306-H of the FMC. The height of this required

wall may be increased to a maximum 7 feet at the request of the developer and subject to approval of respective improvement plans by the Development and Resource Management Department. If this masonry wall is constructed atop a footing or retaining wall constructed by the City of Fresno, plans for the wall shall be approved by the City Department having maintenance responsibility for the retaining wall or footing.

29. Landscaping compliant with the City of Fresno "Anti-Graffiti Landscaped Buffer Development and Planting Standards" shall be required adjacent to all required walls or fences that are accessible to the public and shall be maintained in accordance with the Maintenance Obligations stipulated herein below; or, in a manner which provides appropriate security and is deemed acceptable to both the City of Fresno Development and Resource Management and Public Works Departments.
30. The subdivider is not required to provide street trees on the frontage of East Carnoustie Avenue; however, the Fresno Municipal Code requires at least two trees to be planted in each front yard, one of which is required to be located close enough to the front property line to provide shade for the sidewalk and street. The subdivider is required to install irrigation for all trees, and shall comply with FMC Section 12-306-N-23, "Water Efficient Landscape Standards" and AB 1881, the "Model Water Efficient Landscape Ordinance."
31. All proposed/required landscaped easements/buffers, open space areas, pedestrian connections, entryways, pathways and/or private on-site landscaping for street tree purposes shall be improved in accordance with the landscape improvement plans, which are to be submitted to the Development and Resource Management Department for review and approval prior to Final Map approval.

NOTE: Lighting and fence/wall details shall be provided with the submittal of the landscape improvement plans.

#### STREETS AND RIGHTS-OF-WAY

32. The subdivider shall furnish to the City acceptable security to guarantee the construction of the off-site street improvements in accordance with all applicable provisions of the FMC and the State Subdivision Map Act.
38. The subdivider shall make provisions for disabled persons in accordance with the Department of Public Works standards and as required by State law. Handicap access ramps are required to be constructed in sidewalks at all corners within the limits of the tract. Where street furniture is located within the sidewalk area (fire

hydrants, streetlights, etc.), a minimum of 48 inches of unobstructed path shall be maintained to satisfy the American Disabilities Act requirements. If necessary, dedicate a pedestrian easement to accommodate for the 4-foot minimum unobstructed path requirement.

39. Comply with all of the requirements included within the attached April 21, 2014 memorandum from the City Traffic Engineer, Public Works Department/ Traffic & Engineering Services Division memorandum, and address the redline corrections on the project exhibit appended to that attached letter.
40. With regard to the vacation of the previously dedicated intersection of North Millbrook Avenue, East Copper Avenue, and North Friant Road, comply with the requirements set forth in the January 7, 2014 letter from Alan James of the Public Works Department, relating to the vacation feasibility study (Public Works File No. 11763).

#### SANITARY SEWER SERVICE

41. Comply with all of the requirements included within the attached Department of Public Utilities, Planning and Engineering Division (Sanitary Sewer) memorandum dated April 8, 2014.

#### WATER SERVICE

41. The nearest water mains to serve the proposed project is an 8-inch main located in the existing westerly terminus of East Carnoustie Avenue. The developer shall comply with all of the requirements included within the attached Department of Public Utilities, Water Division memorandum dated March 27, 2014.

#### SOLID WASTE SERVICE

42. This tract will be serviced as Single Family Residential properties with Basic Container Service (3 container - solid waste, green waste & recyclable material), subject to the following conditions:
  - a. Comply with all of the requirements included within the attached Department of Public Utilities memorandum from Chris Wiebert, dated April 22, 2014. This memorandum requires including execution of a covenant to ensure that vehicles are not parked in the Carnoustie Avenue cul-de-sac on solid waste collection dates.
  - b. The developer shall provide a means for solid waste containers to be removed from front yard setbacks and shielded from public view.

FIRE SERVICE

42. Fire service is available to the proposed tract subject to compliance with all of the requirements included within the attached Fresno Fire Department memorandum dated April 10, 2014.

FLOOD CONTROL AND DRAINAGE

43. The subdivider shall be required to comply with the specific requirements imposed by the Fresno Metropolitan Flood Control District (FMFCD) for the subdivision or any amendments or modifications to those requirements which may be granted by the FMFCD Board of Directors, pursuant to Section 13-1307 of the Fresno Municipal Code. These requirements are identified in the District's Notice of Requirements for Tract 6063, dated April 4, 2014.

FRESNO IRRIGATION DISTRICT

The subject property is located outside of Fresno Irrigation District and the City of Fresno is a party to regional groundwater management planning. Therefore, there are no specific FID development requirements relating to VTTM 6063.

COUNTY OF FRESNO DEPARTMENT OF PUBLIC HEALTH

The Fresno County Department of Public Health did not provide specific comments relating to this project. The developer is advised, however, to comply with regulations administered by this agency.

SAN JOAQUIN VALLEY AIR POLLUTION CONTROL DISTRICT

The San Joaquin Valley Air Pollution Control District did not provide specific comments relating to this project. The developer is advised, however, to comply with Rules administered by this agency.

RIGHT-OF-WAY

44. The developer will be responsible for the dedication of any necessary right-of-way and easements to construct any of the required improvements. Also refer to the attached January 7, 2014 letter from Alan James of the Public Works Department with regard to the vacation of previously dedicated street-right-of-way related to this project.
45. Rights-of-way shall include any rights-of-way necessary for proper drainage, signing, pole relocation, and shoulder grading. In general, this will require right-of-way to be provided approximately 10 feet outside any travel lane. The exact

requirement must be determined at the project design stage based on the existing conditions and detailed design information.

46. In the event an acquisition or vacation of any easement or right-of-way is necessitated by the subject development, said acquisition will be accomplished prior to Final Map approval. The developer/owner should contact the Real Estate Section of the Public Works Department to receive procedural guidance on acquisitions, and for vacations shall obtain, and comply with, a vacation feasibility study.
47. The subdivider shall submit adequate security in the form of a cash deposit to guarantee payment of all costs associated with any required right-of-way acquisition, including staff time, attorney's fees, appraisal fees, court costs, and all related expenditures and costs necessary to effect the acquisition of such easements or rights-of-way.

#### MAINTENANCE OBLIGATIONS

51. There are public improvements in this subdivision which require provision for ongoing maintenance (see the attached revised letter from Ann Lillie of the Public Works Department, Traffic and Engineering Services Division, dated April 22, 2014). Provision for ongoing maintenance may be accomplished by the subdivider and successors in interest via provisions incorporated into the recorded Declaration of Covenants, Conditions, and Restrictions for this planned unit development; or, **prior to City Council approval of the final tract map**, the property shall be annexed to Community Facilities District (CFD) No. 11, pursuant to City procedural requirements outlined in the April 22 letter. In addition to the East Carnoustie improvements that are identified in this letter, the masonry soundwall may soundwall may be added to the CFD, and may be added to the CFD upon approval of the request by the City Engineer.
52. The Declaration of Covenants, Conditions, and Restrictions for this planned unit development and proposed instruments for the homeowners association shall be submitted to the Development and Resource Management Department and the Public Works Department for review prior to final tract map approval. Said documents shall be recorded with the final map; or, alternatively the developer may submit recorded documents, or documents for recording, prior to final acceptance of subdivision improvements. Said documents shall include assignment of responsibility to the homeowners association for landscaping and other provisions as stated in the Development and Resource Management Department Guidelines for preparation of CC&Rs dated September 1, 1994.

#### DEVELOPMENT FEES AND CHARGES

53. Citation for reference: *Government Code Section 66020(d)(1): A protest filed pursuant to subdivision (a) of this Section shall be filed at the time of approval, or conditional approval of the development or within 90 days after the date of the imposition of the fees, dedications, reservations, or other exactions to be imposed on a development project. Each local agency shall provide to the project applicant a notice in writing at the time of the approval of the project or at the time of the imposition of the fees, dedications, reservations, or other exactions, a statement of the amount of the fees or a description of the dedications, reservations, or other exactions, and notification that the 90-day approval period in which the applicant may protest has begun.*

The 90-day approval period will commence on the business day following the City's approval of the final vesting tract map. This paragraph constitutes the required written notice to the applicant.

54. This project is subject to the following fees and charges:

- a. Applicable drainage and flood control fees as determined by the Fresno Metropolitan Flood Control District (FMFCD), based on the tentative map. (Prior to approval of the final map, the developer shall pay FMFCD drainage fees, pursuant to the City of Fresno's Drainage Fee Ordinance, at the rates in effect at the time of final map approval. Please see the attached FMFCD Notice of Requirements for Tract 6063, dated April 4, 2014, for further information regarding considerations which may affect the fee obligation(s) or the timing or form of drainage fee payment.
- b. On July 22, 2008, the Fresno County Board of Supervisors approved Fresno County Ordinance No. 2008-023 requiring the payment of County Public Impact Facilities Impact Fees. The effective date of this ordinance was September 20, 2008. The requirement to pay this fee was subsequently suspended by Fresno County; however, if the fee has been reinstated at the time of issuance of building permits on the subject property, payment of this fee may be required. Contact the Fresno County Public Works and Planning Department to determine payment of this fee obligation. Confirmation by the County of Fresno regarding this fee shall be required before the City of Fresno can issue building permits.
- c. The Board of Directors of the Fresno County Regional Transportation Mitigation Fee Agency approved Resolution No. 2009 – 01 requiring the payment of Regional Transportation Mitigation Fee. The effective date of this resolution is January 1, 2010. Contact the Council of Fresno County

Governments (FCOG) to determine this fee obligation. Confirmation by the FCOG is required before the City of Fresno can issue building permits

	<u>FEE RATE</u>
<u>Sewer Connection Charges</u>	
d. Lateral Sewer Charge [1]	\$0.10/sq. ft. (to 100' depth)
e. Oversize Charge [1]	\$0.05/sq. ft. (to 100' depth)
f. Trunk Sewer Charge [2] Service Area: Herndon	\$496/living unit
g. Wastewater Facilities Charge [3]	\$2,119/living unit
h. Copper Avenue Sewer Lift Station Charge [1]	\$650/living unit
i. House Branch Sewer Charge [2]	N/A
<u>Water Connection Charges</u>	
j. Service Connection Charge	Fee based on service(s) and meter(s) sizes specified by owner; fee for service(s) and meter(s) established by the Master Fee Schedule.
k. Frontage Charge [1]	\$6.50/lineal foot
l. Transmission Grid Main Charge [1]	\$804/gross acre (parcels under 5 gross acres)
m. Transmission Grid Main Bond Debt Service Charge [1]	\$304/net acre (parcels under 5 gross acres)
n. UGM Water Supply Fee [2] Service Area: 101-S	\$456/living unit
o. Well Head Treatment Fee [2]	\$0/living unit Service Area: 501

	<u>FEE RATE</u>
<u>Water Connection Charges (continued)</u>	
p. Recharge Fee [2]	\$0/living unit Service Area: 501
q. 1994 Bond Debt Service [1] Service Area: 101	\$895/living unit
<u>Citywide Development Impact Fees</u>	
r. Fire Facilities Impact Fee – Citywide [4]	\$539/living unit
s. Park Facility Impact Fee – Citywide [4]	\$3,398/living unit
t. Quimby Parkland Dedication Fee [2]	\$1120/living unit
u. Citywide Regional Street Fee [3]	\$8,361/adj. acre
v. New Growth Area Major Street Fee [3]	\$18,790/adj. acre
w. Police Facilities Impact Fee – Citywide [4]	\$624/living unit
x. Traffic Signal Charge [1]	\$450.94/living unit
y. Street Acquisition/Construction Charge [2]	N/A

**Notes:**

- [1] Deferrable through Fee Deferral Covenant.
- [2] Due at Final Map.
- [3] Due at Building Permit.
- [4] Due at Certificate of Occupancy.

**Attachments:**

**NOTE: The following letters, memoranda, emails, and fee calculations are hereby incorporated by reference into these Tract Map Conditions of Approval.**

April 28, 2014 diagram of Vesting Tentative Tract Map No. 6063/UGM

March 26, 2014 letter from Clovis Unified School District.

April 21, 2014 memorandum from M. Scott Tyler, City of Fresno Traffic Engineer, Public Works Department/Traffic & Engineering Services Division, with attached redline exhibit of the project diagram

January 7, 2014 letter from Alan James, City of Fresno Public Works, relating to the vacation feasibility study for the previously dedicated intersection of North Millbrook Avenue, East Copper Avenue, and North Friant Road (Public Works File No. 11763).

April 8, 2014 memorandum from the City of Fresno Department of Public Utilities relating to sewer requirements for VTTM 6063

March 27, 2014 memorandum from the City of Fresno Department of Public Utilities/Water Division relating to water utility requirements for VTTM 6063

April 22, 2014 memorandum from Chris Weibert of the City of Fresno Department of Public Utilities relating to solid waste service requirements for VTTM 6063

April 10, 2014 memorandum from Fresno Fire Department relating requirements for fire protection for VTTM 6063

April 4, 2014, Fresno Metropolitan Flood Control District Notice of Requirements for Tract 6063

April 22, 2014 revised (2<sup>nd</sup> revision) letter from Ann Lillie, City of Fresno Public Works Department/Traffic and Engineering Services Division relating to maintenance requirements



# TENTATIVE MAP

# TRACT No. 6063/

A VESTING MAP  
 A PLANNED UNIT DEVELOPMENT UGM

APN 577-210-54  
 NET AREA = 1.78 ACRES  
 GROSS AREA = 2.00 ACRES

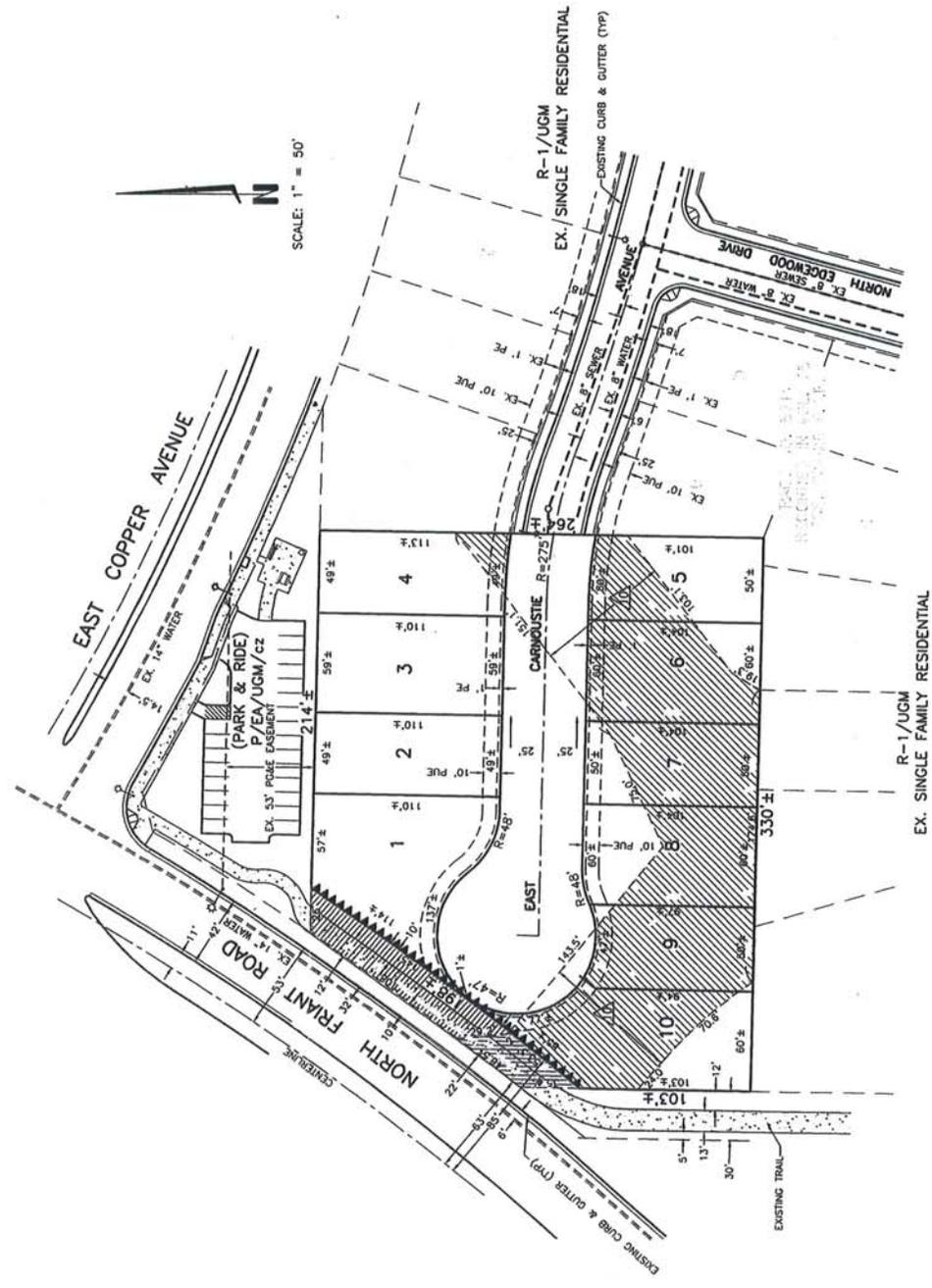
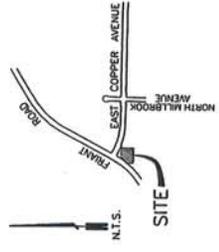
**IMPROVEMENTS TO BE INSTALLED:**

1. STREETS - PUBLIC - CITY OF FRESNO STANDARDS
2. SEWER - CITY OF FRESNO STANDARDS
3. WATER - CITY OF FRESNO STANDARDS
4. CURB & GUTTER - CITY OF FRESNO STANDARDS
5. SIDEWALK - CITY OF FRESNO STANDARDS
6. STREET LIGHTS - CITY OF FRESNO STANDARDS
7. DRAINAGE - FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
8. GAS & ELECTRICITY - PACIFIC GAS & ELECTRIC
9. TELEPHONE - A.T.&T.
10. CABLE TELEVISION - COMCAST

**NOTES:**

1. EXISTING ZONING - R-1/UGM
2. PROPOSED ZONING - R-1/UGM
3. EXISTING USE - VACANT/UNUSED STREET EASEMENT (TO BE VACATED)
4. THERE ARE NO WELLS, CESSPOOLS, SEWER, CURBS, DRIVEWAYS OR OTHER UNDERGROUND STRUCTURES WITHIN THIS SUBDIVISION.
5. THERE ARE NOT EXISTING AREAS WITHIN THIS SUBDIVISION THAT ARE SUBJECT TO INUNDATION OR STORM WATER OVERFLOW.
6. THE SUBDIVISION DESIGN PROVIDES, TO THE EXTENT FEASIBLE, FOR PASSIVE NATURAL HEATING OR COOLING OPPORTUNITIES BY MAXIMIZING NORTH-SOUTH FACING BUILDINGS. (ALL LOTS THERE ARE NO TREES WITHIN THE PROPERTY.)
7. INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHTS. PROPOSED PUBLIC STREET PURPOSES AS PER GRANT DECEASED DECEMBER 19, 1994, IN BOOK 5645, PAGE 866, OFFICIAL RECORDS OF FRESNO COUNTY.
8. PUBLIC STREET TO BE VACATED BY RECORDATION OF THE FINAL MAP
9. EASEMENT AREA TO BE RESERVED BY THE CITY OF FRESNO FOR MULTI-PURPOSE TRAIL
10. PREVIOUSLY DEDICATED TO THE CITY OF FRESNO FOR MULTI-PURPOSE TRAIL

**VICINITY MAP:**



SCALE: 1" = 50'

**RECORD OWNERS:**  
 COPPER PARK, LLC  
 1500 S. GARDENWAY AVE. STE 101  
 FRESNO, CA 93711  
 (559) 436-0900

**SUBMITTER:**  
 COPPER PARK, LLC  
 1500 S. GARDENWAY AVE. STE 101  
 FRESNO, CA 93711  
 (559) 436-0900

**GARY G. GIANNETTA**  
 CIVIL ENGINEERING & LAND SURVEYING  
 1500 S. GARDENWAY AVE. STE 101  
 FRESNO, CA 93711  
 (559) 284-3890 FAX (559) 284-0996

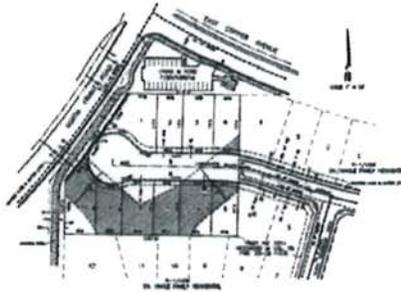




March 26, 2014

Joann Zuniga  
Development Resource Center  
DARM, 2600 Fresno ST, Third Floor.  
Fresno CA 93721

SUBJECT: Tract 6063



**Governing Board**  
Sandra A. Bengel  
Christopher Casado  
Brian D. Heryford  
Ginny L. Hovsepian  
Richard Lake, C.P.A.  
Elizabeth J. Sandoval  
Jim Van Volkinburg, D.D.S.

**Administration**  
Janet L. Young, Ed.D.  
*Superintendent*  
Carlo Prandini, Ph.D.  
*Associate Superintendent*  
Cheryl Rogers, Ed.D.  
*Associate Superintendent*  
Steve Ward  
*Associate Superintendent*

Dear Ms. Zuniga:

The purpose of this letter is to provide school district information relative to the above-referenced subdivision and to comply with Business and Professions Code section 11010, subdivision (b)(11)(A) regarding the provision of school-related information to the subdivider/owner and the State Department of Real Estate.

1. Elementary School Information:

- (a) The subject land is presently within the attendance area of the elementary school (grades K-6) listed below:

School Name: *Fugman Elementary*  
Address: *10825 N Cedar Ave Fresno CA 93730-3586*  
Telephone: *(559) 327-8700*  
Capacity: *725*  
Enrollment: *799(CBEDS enrollment 2013-14 school year)*

- (b) Because of projected growth in the District and the District's plans for construction of new school facilities, it is possible that (1) adjustment of school attendance areas could occur in the future such that students residing in the project area may be required to attend an elementary school other than the school listed above, and (2) students residing in the project area may attend more than one elementary school within the District during their elementary school years.

2. Intermediate School Information:

School Name: *Granite Ridge Intermediate*  
Address: *2770 E International Ave Fresno CA 93730-5400*  
Telephone: *(559) 327-5000*  
Capacity: *1502*  
Enrollment: *1231(CBEDS enrollment 2013-14 school year)*

3. High School Information:

School Name: *Clovis North High School*  
Address: *2770 E International Ave Fresno CA 93730-5400*  
Telephone: *(559) 327-5000*  
Capacity: *2900*  
Enrollment: *2231(CBEDS enrollment 2013-14 school year)*

3. Bus transportation is currently provided for grades K-6 students residing further than one mile from school and for grades 7-12 students residing further than two and one-half miles from school. Transportation will be available for students attending the above-identified elementary, intermediate and high schools in accordance with District standards in effect at the time of enrollment.
4. The District currently levies a school facilities fee of \$3.39 per square foot (as of July 1, 2013) for residential development. The fee is adjusted periodically in accordance with law. New development on the subject property will be subject to the fee in place at the time fee certificates are obtained.

The District hereby requests that the information in this letter be provided by the owner/subdivider to all prospective purchasers of property within the project.

Thank you for the opportunity to comment on the project. Please contact me if you have any questions regarding this letter.

Sincerely,



Steve Ward  
Associate Superintendent  
Administrative Services



DATE: April 21, 2014

TO: Sandra Brock  
Development and Resource Management Department

THROUGH: M. Scott Tyler, PE, City Traffic Engineer  
Public Works Department, Traffic & Engineering Services Division

FROM: Louise Gilio, Traffic Planning Supervisor  
Public Works Department, Traffic & Engineering Services Division

SUBJECT: Public Works Conditions of Approval  
**TT 6063**, 1025 East Carnoustie Avenue  
Copper Park, LLC / Gary G. Giannetta

The Public Works Department, Traffic and Engineering Services Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval by the Public Works Department.

**General Conditions:**

1. **Pedestrian Easements:** **Identify** all pedestrian easements on the map.
  - a. 50' Local Streets: A 1' pedestrian easement is required on streets with driveway approaches.
2. **Overhead Utilities:** Underground all existing offsite overhead utilities with the limits of this map in accordance with Fresno Municipal Code Section 12-1011 and Resolution No. 78-522/88-229.
3. **Intelligent Transportation Systems (ITS):** Street work on major streets shall be designed to include ITS in accordance with the Public Works ITS Specifications, where not existing.
4. Design local streets with a minimum of 250' radius.
5. **Plan Submittal:** Submit the following plans, as applicable, in a single package, to the **Public Works Department** for review and approval: Street: construction, signing, striping, traffic signal and streetlight.
6. Street widening and transitions shall also include utility relocations and necessary dedications.
7. **Garages:** Garages or carports shall be located **not less than twenty feet** from any street frontage where the garage door or carport opening faces and takes direct access to the street.  
**FMC Section 12-207.5 E-1-e**

**Frontage Improvement Requirements:**

**Public Streets:**

**Friant Road: Scenic Expressway**

1. Where not existing, dedicate and or reserve a 73' street easement from the proposed vacated portion, from **center line**, for public street purposes, within the limits of this subdivision, to meet the modified City of Fresno Expressway Standards.

2. Construct concrete curb and gutter to Public Works Standard **P-5**. The parkway shall be constructed to a 10' pattern.
4. Where not existing, dedicate or reserve a 22' (minimum) easement for bike, pedestrian and landscape purposes **only**. (Additional right of way may be required for grading and drainage purposes.) Construct a 12' wide concrete Bike and Pedestrian trail/path, complete with lighting, signing, striping and landscaping, per the 2025 Fresno General Plan, Multi-Purpose Trails Plan Map and Public Works Standards **P-58, P-59 and P-60**. Construct an expressway barrier fence within the limits of this subdivision, per Public Works Standard **P-74 and P-75**.
5. If permanent paving is not existing, construct 20' of permanent paving within the limits of this tract and transition paving as necessary.
6. If not installed to current standards, construct an underground street lighting system to Public Works Standard **E-1** within the limits of this subdivision. Spacing and design shall conform to Public Works Standard **E-10** for Expressways.
7. Relinquish direct vehicular access rights to Friant Road from all lots within this subdivision.

**Carnoustie Avenue: 50' Local**

1. Dedicate **50'** of property, from center line, for public street purposes within the limits of this application to meet the current City of Fresno Local Standards, **P-56**.
2. Dedicate **1'** of property for pedestrian purposes behind all driveway approaches to provide for a minimum of a **4'** clear path per **P-3**.
3. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **7' residential pattern (0- 5 ½ - 1 ½)**. Planting of street trees shall conform to the minimum spacing guidelines as stated in the Standard Specification, **Section 26-2.11(C)**.
2. Upon development, construct driveway approaches to Public Works Standards **P-4 and P-6** and construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A"**.
3. Construct 36' of permanent paving (measured from face of curb) within the limits of this application.
4. Construct an underground street lighting system to Public Works Standard **E-2** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-9** for Local Streets.

**Specific Mitigation Requirements:** This tract will generate 8 a.m. / 10 p.m. peak hour trips; therefore, a Traffic Impact Study (TIS) **is not required**.

1. A feasibility study for all **proposed** vacations of existing public rights of way is required to be completed **prior** to the approval of the final map. See Alan James' comments

**Traffic Signal Mitigation Impact (TSMI) Fee:** This project shall pay the current Traffic Signal Mitigation Impact Fee (TSMI Fee) at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual for single family units (fee rate as shown in the Master Fee Schedule).

This TSMI fee is credited against signal installation and Intelligent Transportation System (ITS) improvements (constructed at their ultimate location) anticipated to build out the 2025 General Plan circulation element and included in the Nexus Study for the TSMI fee. Project specific impacts that are not consistent with the 2025 General Plan, Public Works P69 standards, and/or already incorporated into the TSMI fees infrastructure costs are not reimbursable unless the City Engineer and City Traffic Engineer include the new traffic signal and/or ITS infrastructure in the next update and the applicant

agrees to pay the new calculated TSMI fee that includes the new infrastructure. Failure to pay this fee or construct improvements that are credited/reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence. If the applicant is conditioned with improvements that are credited/reimbursable with this fee they should work with the Department of Public Works and identify with a Professional Engineers estimate the costs associated with the improvements prior to paying the TSMI fee at time of building permit.

**Fresno Major Street Impact (FMSI) Fee :** This Map is in the **New Growth Area**; therefore pay all applicable growth area fees and City-wide regional street impact fees.

**Fresno Major Street Impact (FMSI) Requirements:**

Friant Road: Scenic Expressway

1. If permanent paving is not existing, dedicate and construct: (1) 17' and (1)12' northbound and (1) 17' southbound, center section travel lanes. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **55 MPH** design speed.

**Regional Transportation Mitigation Fee (RTMF):** Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption **prior** to issuance of building permits.



ENGINEERING SERVICES DIVISION  
2600 Fresno Street RM 4064  
Fresno, California 93721-3615  
(559) 621-8800 • [www.ci.fresno.ca.us](http://www.ci.fresno.ca.us)

January 7, 2014

Christine Lingenfelter  
1396 West Herndon Avenue, Suite 101  
Fresno, CA 93711

**SUBJECT: PROPOSED VACATION OF THE FORMER INTERSECTION OF COPPER AVENUE, MILLBROOK AVENUE AND FRIANT ROAD**

The vacation feasibility study you requested has been completed. Findings indicate the vacation proposal is feasible subject to the following conditions:

- 1) Portions of the area to be vacated will be needed for the proposed westerly extension of East Carnoustie Avenue and cul-de-sac, and those areas are not yet defined. To vacate the entire area by a Council Action per the Public Streets, Highways, and Service Easements Vacation Law of the California Streets and Highways Code, the Council has to make the finding that the area "is unnecessary for present and prospective public street purposes". The fact that a portion of the area *is* needed for future street contradicts this finding the Council has to make. Therefore vacating the subject area is best accomplished by vacating with the final map of Tract No. 6063.
- 2) Because the City also owns the underlying fee title to the area of street to be vacated, exhibits for a Grant Deed from the City of Fresno to the Developer will need to be prepared by the Developer's consultant engineer. The deed will grant the entire area being vacated while reserving a portion to the City of Fresno for multi-purpose trail purposes. Please provide the proposed owner's name and address to me so I can prepare the deed cover page. If there any questions regarding the exhibits for the Grant Deed, please contact me.

THIS HAS  
NOT HAPPENED  
AS OF  
4/15/14 →

The vacation is to occur with the final Map of Tract No. 6063 in accordance with the Subdivision Map Act and local ordinances, please coordinate the vacation process with the city staff that is processing the final map and the planning analyst who processed the tentative map approval and will be processing the Environmental Assessment for the vacation.

The study done for this proposed vacation will expire in one year. Therefore, please notify this office by January 8, 2015 of your intention regarding the pursuit of this vacation.

Please contact me at 621-8693 or by email at [Alan.James@fresno.gov](mailto:Alan.James@fresno.gov) if you have any questions.

Sincerely,



Alan James, Supervising Engineering Technician

P.W. File No. 11763





**DEPARTMENT OF PUBLIC UTILITIES  
ADMINISTRATION DIVISION  
MEMORANDUM**



*Providing Life's Essential Services*

**Date:** April 8, 2014

**To:** SANDRA BROCK  
Development Service and Planning

**From:** DOUG HECKER, Supervising Engineering Technician   
Department of Public Utilities, Planning and Engineering Division

**Subject:** SEWER REQUIREMENTS FOR VESTING TENTATIVE TRACT T-6063/UGM;  
CONDITIONAL USE PERMIT C-14-018

**General**

T-6063-UGM & C-14-018 were filed by Gary Giannetta, on behalf of Copper Park, LLC, and pertain to 1.78 net acres, 2.0 gross acres, of property located on the southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue, 1025 East Carnoustie Avenue, APN 577-210-54. T-6063-UGM proposes a 10-lot single family residential planned unit development with public street. C-14-018 proposes modified property development standards.

**Sewer Requirements**

The nearest sanitary sewer main to serve the proposed project is an 8-inch sanitary sewer main located in East Carnoustie Avenue. Sanitary sewer facilities will be available to provide service to the site subject to the following requirements:

1. Construct an 8-inch sanitary sewer main (including sewer house branches to adjacent properties) in East Carnoustie Avenue from the existing 8-inch sewer main in East Carnoustie Avenue.
2. Sanitary sewer mains shall be extended within the proposed tract to provide sewer service to each lot created.
3. The Project shall comply with City of Fresno Ordinances, Standards, Specifications, and Conditions related to providing sanitary sewer service including payment of all City of Fresno adopted impact fees and sewer connections charges established in the City of Fresno Master Fee Schedule.
4. Separate sewer house branches shall be provided for each lot created.
5. Abandon any existing on-site private septic systems.
6. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed additions to the City Sewer System.



*A Nationally Accredited Public Utility Agency*

7. All underground utilities shall be installed prior to permanent street paving.
8. Street easements and/or deeds shall be recorded prior to approval of improvement plans
9. All public sanitary sewer facilities shall be constructed in accordance with City Standards, specifications, and policies.

**Sanitary Sewer Fees**

---

The following Sewer Connection Charges are due and shall be paid for the Project:

1. Trunk Sewer Charge: Herndon
2. Sewer Lateral Charge
3. Sewer Oversize Service Area: # 43
4. Wastewater Facilities Charge (Residential Only)



**DEPARTMENT OF PUBLIC UTILITIES – WATER DIVISION  
MEMORANDUM**



DATE: March 27, 2014

TO: SANDRA BROCK, Planner III  
Development and Resource Management Department – Current Planning

THROUGH: MICHAEL CARBAJAL, Chief Engineering Technician  
Department of Public Utilities – Water Division

FROM: ROBERT DIAZ, Senior Engineering Technician  
Department of Public Utilities – Water Division

**SUBJECT: WATER REQUIREMENTS FOR VESTING TENTATIVE TRACT T-6063**

**General**

T-6063-UGM & C-14-018 were filed by Gary Giannetta, on behalf of Copper Park, LLC, and pertain to 1.78 net acres, 2.0 gross acres, of property located on the southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue, 1025 East Carnoustie Avenue, APN 577-210-54. T-6063-UGM proposes a 10-lot single family residential planned unit development with public street. C-14-018 proposes modified property development standards.

**Water Service**

The nearest water main to serve the proposed project is an 8-inch main located in East Carnoustie Avenue. Water facilities are available to provide service to the site subject to the following requirements:

1. Water mains (including installation of City fire hydrants) shall be extended within the proposed tract to provide service to each lot.
2. Separate water services with meter boxes shall be provided to each lot created.
3. All public water facilities shall be constructed in accordance with City Standards, specifications, and policies.
4. Seal and abandon any existing on-site well in compliance with the State of California Well Standards, Bulletin 74-90 or current revisions issued by California Department of Water Resources and City of Fresno standards.



5. Two independent sources of water, meeting Federal and State Drinking Water Act Standards, are required to serve the tract including any subsequent phases thereof. The two-source requirement may be accomplished through any combination of water main extensions, construction of supply wells, or other acceptable sources of water supply approved by the Assistant Public Utilities Director.
6. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed addition and/or modification to the City Water System. Depict neighboring parcels and proposed plans for their continued service.
7. All Public water facilities shall be constructed in accordance with The Department of Public Works standards, specifications, and policies.

**Water Fees**

1. Wet-tie(s), water service(s) and/or meter(s) installation(s)

City of



DEPARTMENT OF PUBLIC UTILITIES

April 22, 2014

TO: Sandra Brock, Planner III  
Development and Resource Management Department, Planning Division

FROM:  Chris Weibert, Management Analyst II  
Department of Public Utilities, Administration

SUBJECT: TT 6063/UGM & C-14-018, Solid Waste Conditions of Approval  
Location: Southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue (APN 577-210-54)

The Department of Public Utilities, Solid Waste Division has completed a review of Tentative Tract Map TT 6063/UGM and C-14-018 that were submitted by Gary G. Giannetta Consulting Civil Engineer, on behalf of Copper Park, LLC. The following requirements and conditions are to be placed on this tentative tract map as a condition of approval by the Department of Public Utilities.

**General Requirements:**

- Tract 6063 will be serviced as Single Family Residential properties with Basic Container Service. Property owners will receive 3 containers to be used as follows: 1 Gray container for solid waste, 1 Green container for green waste and 1 Blue container for recyclable material.
- The owners, lessees or other tenants of the residential dwellings on service day, before 5:30 a.m., shall place their solid waste containers at the edge of the curb approximately 4 feet apart and shall not block any vehicle accesses, nor be placed within any traffic circle, in accordance with the City of Fresno's Solid Waste Management Division Standards.
- Per Municipal Code, Section 6-205 Solid Waste, Recycling and Green Waste Disposal Regulations, Section (c)(11). No solid waste container nor residential rubbish shall be allowed to remain at the curblines after 8:00 p.m. on the collection day.
- Per Municipal Code, Section 6-205 Solid Waste, Recycling and Green Waste Disposal Regulations, Section (c)(10). No material container shall be stored in the front yard or side yard on a street as said yards are described in Chapter 12, Articles 2 and 3 of this Code, unless the container is screened from view from the street in accordance with that article of the Code.

**Covenant Requirements:**

There shall be no parking allowed in the cul-de-sacs on the solid waste service day. All lots that are part of a cul-de-sac shall be clear of all vehicles by 5:30 a.m.:

- Lots 1, 9 & 10 on East Carnoustie Avenue





**FIRE DEPARTMENT**

**Date:** April 10, 2014

**To:** SANDRA BROCK, Planner III  
Development and Resource Management Department , Advance Planning

**From:** TERRI MEISS, Fire Prevention Inspector II  
Fire Department, Fire Prevention & Investigative Services

**Subject:** T-6063-UGM & C-14-018 were filed by Gary Giannetta, on behalf of Copper Park, LLC, and pertain to 1.78 net acres, 2.0 gross acres, of property located on the southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue, 1025 East Carnoustie Avenue, APN 577-210-54. T-6063-UGM proposes a 10-lot single family residential planned unit development with public street. C-14-018 proposes modified property development standards.

**Hydrants**

Developer must install on-site hydrants(s). See Plan for location(s). Provide fire hydrant flow of 1500 GPM with a minimum 8" water main.

Public streets hydrant(s) must be installed. Coordinate street hydrant locations with Public Works.

Fire hydrants shall be installed, tested, approved, and all surface access roads shall be installed and made serviceable prior to and during the time of construction. The hydrant 4 1/2" outlet shall face the access lane.

All required fire access lanes shall be provided and maintained with an approved "all weather" surface capable of supporting 80,000 lb. vehicles (minimum 4" of base rock over compacted or undisturbed native soil or per approved engineered plans) year-around and with 24 feet minimum width or other approved method that would prevent shoulder degradation.

### **General**

All construction work on this project is subject to interruption if the road system becomes impassable for fire apparatus due to rain or other obstacles. All required fire access lanes shall be provided and maintained with an approved 'all weather' surface capable of supporting 80,000 lb. vehicles (minimum 4" of base rock over compacted or undisturbed native soil or per approved engineered plans) year-round and with 24 feet minimum width or other approved method that would prevent shoulder degradation.

### **Other**

This project was reviewed by the fire department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of DARM when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

File No. 210.45

Page 1 of 4

**PUBLIC AGENCY**

SANDRA BROCK  
DEVELOPMENT SERVICES/PLANNING  
CITY OF FRESNO  
2600 FRESNO STREET, THIRD FLOOR  
FRESNO, CA 93721-3604

**DEVELOPER**

GARY GIANNETTA  
1119 "S" STREET  
FRESNO, CA 93721

**FR  
TRACT  
No. 6063**

PROJECT NO: 6063

ADDRESS: SEC COPPER AND FRIANT

APN: 577-210-54

SENT: 4/4/14

Drainage Area(s)	Preliminary Fee(s)
BZ	\$16,829.00
<b>TOTAL FEE: \$16,829.00</b>	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to approval of the final map at the rates in effect at the time of such approval. The fee indicated above is based on the tentative map. Contact the FMFCD project engineer prior to approval of the final map for the fee.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 2 of 4

FR  
TRACT No. 6063

Approval of this development shall be conditioned upon compliance with these District Requirements.

1.  a. Drainage from the site shall BE DIRECTED TO CARNOUSITE AVENUE.  
 b. Grading and drainage patterns shall be as identified on Exhibit No.  
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
  
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
 Developer shall construct facilities as shown on Exhibit No. 1 as "MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER".  
 None required.
  
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
 Grading Plan  
 Street Plan  
 Storm Drain Plan  
 Water & Sewer Plan  
 Final Map  
 Drainage Report (to be submitted with tentative map)  
 Other  
 None Required
  
4. Availability of drainage facilities:  
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
 d. See Exhibit No. 2.
  
5. The proposed development:  
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
 Does not appear to be located within a flood prone area.
  
6.  The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 3 of 4

FR  
TRACT No. 6063

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 1997 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10. — See Exhibit No. 2 for additional comments, recommendations and requirements.

  
Alan Hofmann  
Assistant District Engineer/Design

  
Neda Shakeri  
Project Engineer

**FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS**

Page 4 of 4

CC:

CHRISTINE LINGENFELTER, COPPER PARK, LLC

1396 W. HERNDON AVE., SUITE 101

FRESNO, CA 93711

**FR TRACT No. 6063**



**DATE:** ~~April 8, 2014~~ **2<sup>nd</sup> Revision April 22, 2014**

**TO:** Sandra Brock  
Development and Resource Management Department

**FROM:** Ann Lillie, Senior Engineering Technician  
Public Works Department, Traffic and Engineering Services Division

**SUBJECT:** PUBLIC WORKS CONDITIONS OF APPROVAL FOR VESTING TENTATIVE  
TRACT MAP NO. 6063 REGARDING MAINTENANCE REQUIREMENTS

**LOCATION:** 1025 East Carnoustie Avenue  
**APN:** 577-201-54

The Public Works Department, Traffic and Engineering Services Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval. These requirements are based on City of Fresno code, policy, standards and the public improvements depicted on the Exhibits submitted for this development.

Requirements not addressed due to omission or misrepresentation of information, on which this review process is dependent, will be imposed whenever such conditions are disclosed and shall require a revision of this letter.

**If the property owner requests annexation to the Community Facilities District No. 11 ("CFD No. 11") and an incomplete Annexation Request Package is submitted; this may cause delays to the annexation process and final map approval. The annexation process takes from three to four months and SHALL be completed prior to final map approvals.**

**All construction plans applicable for this development are to be submitted to the Traffic and Engineering Services Division for review and approval prior to the CFD process. The Landscape and Irrigation Plans are required to be approved prior to the finalization of the CFD process and the approval of the final map.**

**1. The Property Owner's Maintenance Requirements**

The long term maintenance and operating costs, including repair and replacement, of certain required public improvements ("Services") associated with all new Single-Family developments are the ultimate responsibility of the Property Owner. The property owner shall provide Services either by a mechanism approved by the Public Works Department or by annexing to the City of Fresno's Community Facilities District No. 11 ("CFD No. 11").

The following public improvements are eligible for Services by CFD No. 11 as associated with this development:

- All landscaped areas, trees and irrigation systems, as approved by the Public Works Department, within the street rights-of-way and landscape easements. ~~This includes one-half (1/2) of the median and the North Point Trail along North Friant Road.~~

- ~~• All hardscaping, wrought iron fence and amenities within the North Point Trail easement.~~
- ~~• Concrete curb and gutter, median island concrete maintenance band and street lights in in North Friant Road.~~
- Concrete curb and gutters, valley gutters, sidewalks, curb ramps, traffic calming structures and street entry median island curbing and hardscape, street paving, street name signage and street lights in **East Carnoustie Avenue**.

**2. The Property Owner may choose to do one or both of the following:**

- a. The Property Owner may petition the City of Fresno to request annexation to CFD No. 11 by completing and submitting an Annexation Request Package to the Public Works Department, Traffic and Engineering Services Division for review and approval. The Annexation Request Form is available, along with current costs, on-line at the City's website at <http://www.fresno.gov>, under the Public Works Department, Developer Doorway.
  - **Proceedings to annex the final map to CFD No. 11 SHALL NOT commence unless the final map is within the City limits and all construction plans (this includes Street, Street Light, Signal, Landscape and Irrigation plans, and any other plans needed to complete the process) and the final map are considered technically correct.**
  - The annexation process will be put on **HOLD** and the developer notified if all of the requirements for processing are not in compliance. **Technically Correct shall mean that the facilities and quantities to be maintained by CFD No. 11 are not subject to change and after acceptance for processing.**
  - Public improvements not listed above will require written approval by the Public Works Department Director or his designee.
  - All areas not within the dedicated street rights-of-way approved for Services by CFD No. 11, including but not limited to outlots, trails and landscaped areas, shall be dedicated in fee to the City of Fresno, dedicated as a public easement for maintenance purposes or as approved by the Public Works Department City Engineer.
- b. The Property Owner may provide for Services privately for the above maintenance requirements. All City maintenance requirements not included for annexation to CFD No. 11 for Services **SHALL** be included in the DCC&Rs or some other City approved mechanism for the required Services associated with this development. Contact the Planner in the Development and Resource Management Department for more details.

For questions regarding these conditions please contact me at (559) 621-8690 or [ann.lillie@fresno.gov](mailto:ann.lillie@fresno.gov)



**Development and Resource Management Department**

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2600 Fresno Street, Third Floor  
Fresno, California 93721-3604  
(559) 621-8003, FAX (559) 498-1012

**Jennifer K. Clark**  
**Director**

*Please Reply To:*

Sandra L. Brock  
(559) 621-8041\  
[sandra.brock@fresno.gov](mailto:sandra.brock@fresno.gov)

June 27, 2014

Mr. Gary Giannetta  
Gary G. Giannetta Civil Engineering and Land Surveying  
119 S Street  
Fresno, California 93721

**SUBJECT: PROPOSED Conditions of Approval for Conditional Use Permit No. C-14-018, filed in conjunction with Vesting Tentative Tract Map No. 6063/UGM, proposing to develop of a 10-lot Planned Unit Development on 1.78 acres of property located at 1025 East Carnoustie Avenue**

Dear Mr. Giannetta:

The Development and Resource Management Department, Development Services Division is proposing the following conditions of approval (COAs) for the above-referenced project, to be heard by the Fresno City Planning Commission on July 2, 2014.

The Commission will also be considering the related Vesting Tentative Tract Map No. 6063/UGM and Environmental Assessment (EA) No. T-6603/C-14-018, which recommends a finding of Mitigated Negative Declaration.

The approval of Conditional Use Permit No. C-14-018 is subject to compliance with the mitigation measures adopted as part of EA No. T-6603/C-14-018.

The approval and exercise of Conditional Use Permit No. C-14-018 is also subject to approval of Vesting Tentative Tract Map (VTTM) No. 6063/UGM and compliance with the conditions of approval adopted by the Commission for that subdivision (please see the proposed COAs for VTTM also attached to the Planning Commission staff report.

The following proposed Conditions of Approval are specific to Conditional Use Permit No. C-14-018:

## PART A – ITEMS TO BE COMPLETED

The following items are required prior to issuance of building permits:

Planner to check  
when completed

1. Development shall take place in accordance with the approved Conditions of Approval for Vesting Tentative Tract Map (VTTM) No. 6063/UGM (incorporated herein by reference) and with the corrected Exhibit A (site plan) for Conditional Use Permit (CUP) No. C-14-018, dated April 28, 2014 (as it may be further revised to comply with correction notes and project conditions, including corrections from the Public Works Traffic Engineering staff and mitigation measures derived from EA No. T-6603/C-14-018). **Submit final corrected CUP exhibits and the proposed Final Tract Map exhibit to the Current Planning staff at least 15 days prior to submitting a Final Tract Map application, and schedule a backcheck meeting with Planning and Traffic Engineering to verify corrections have been made, prior to submitting the Final Tract Map application for VTTM 6063/UGM.**

2. The applicant shall comply with mitigation requirements related to acoustical protection for the project, and shall
  - (1) Depict the required soundwalls on the Final Tract Map and corrected Exhibit A for CUP No. C-14-018; and
  - (2) . Include information in the planned development's Declaration of Covenants, Codes, and Restrictions advising all purchasers of these lots that second story patios, balcony patios, and rooftop patios shall not be permitted to be oriented so as to be exposed to traffic noise from Friant Road.

3. Although yard setbacks are being modified from the Development Standards of the R-1 zone district, as set forth below, no lot in the tract shall have structures which would create lot coverage of over fifty percent (50%). Therefore, the applicant shall prepare, and submit for approval prior to applying for a Final Tract Map, a matrix ("fit table") showing which of the requested home models may be sited on each of the tract lots, and shall include information in the planned development Declaration of Covenants, Codes, and Restrictions advising all purchasers of these lots that the maximum lot coverage for these parcels is 50% and that patio covers and accessory buildings will be included in the calculation of lot coverage. plot plans submitted to construct the homes in this tract must provide detail on lot coverage.

4. Prior to applying for building permits, provide final corrected exhibits for each of the requested home models showing the elevations and floor plan for each model, with lot coverage for each model detailed, to allow Current Planning staff to verify compliance with lot coverage requirements.
5. Prior to seeking permits to construct homes, provide a subdivision site plan to apply for addressing of the proposed subdivision.
6. At least 15 days prior to submitting the Final Tract Map application, submit to the Development Services Division for review and approval three copies of detailed typical landscaping and irrigation plans for lots in this project, prepared by a landscape professional. The landscape plans shall be dimensioned to show the number and types of trees and their proximity to the public right of way. The plans shall also detail water conservation and irrigation features consistent with the Fresno Municipal Code and Model Water Efficient Landscape Ordinance.
7. **Front yard landscaping must be in place before issuance of the certificate of occupancy for tract homes.** A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division. Attached please find a copy of the affidavit which the landscaping professional must execute and sign prior to release of the Hold on Occupancy, certifying that the landscaping and irrigation system were installed in accordance with the landscaping and irrigation plans approved by the Development and Resource Management Department.
8. School construction fees are due **prior to issuance of building permits.** Please note that the fee amount quoted by Clovis Unified School District may increase prior to the date of permit issuance.
9. Driveway length in this planned development may be reduced to 18 feet (measured from the front property line) for properties which utilize a roll-up garage door. Properties utilizing a tilt-up garage door are required to have a driveway at least 20 feet long (measured from the front property line). Driveways less than 18 feet are not permitted.

## **PART B – OTHER REQUIREMENTS**

### 1) Planning/Zoning/Environmental Compliance Requirements

- a) Development shall take place in accordance with the attached “General Notes and Requirements for Entitlement Applications” as applicable.
- b) Development shall take place in accordance with the policies of the 2025 Fresno General Plan, its Design Guidelines, and the Woodward Park Community Plan.
- c) Development shall take place in accordance with all applicable plans and policies of the R-1/EA/UGM (*Single Family Residential/Expressway Area Overlay/Urban Growth Management*) zone district and all other applicable sections of the Fresno Municipal Code (FMC), except as expressly modified below. These modified setbacks are subject to the above Part A.3 limitation on lot coverage:
  - (1) Interior side yard setbacks may be reduced to three feet, provided that provision is made for solid waste containers to be stored in a location that is not visible from the street.
  - (2) The northwest side yard setback on Lot 1 is required to be at least 22 feet, with implementation of the required acoustical treatment, in compliance with Expressway Area Overlay standards.
  - (3) The northwest side yard setback on Lot 10 is required to be at least 21 feet, with implementation of the required acoustical treatment, in compliance with Expressway Area Overlay standards.
  - (4) Rear yard setbacks may be reduced to 10 feet; any further reductions in rear yard setbacks which may subsequently be requested will require specific Rear Yard Encroachment Applications with application exhibits depicting lot coverage, including all accessory structures.
  - (5) Front yard setbacks may be reduced to 13.5 feet on Lots 2 through 10, provided that driveway length requirements are met as outlined in Part A.9 above.
  - (6) The Front yard setback on Lot 1 may be reduced to 10 (ten) feet, provided that driveway length requirements are met as outlined in Part A.9 above.
- d) Comply with all applicable mitigation measures detailed in the Master Environmental Impact Report MEIR Mitigation Monitoring Checklist for the 2025 Fresno General Plan and the Project Specific Mitigation Measures adopted for Environmental Assessment No. T-6063/C-14-018 prepared for this project.

2) City and Other Services

- a) Development shall take place in accordance with the memoranda and letters from City of Fresno Departments and partner agencies attached to the COAs adopted for Vesting Tentative Tract No. 6063/UGM and attached to these COAs. The attached letters and memoranda are incorporated into these COAs by reference.

3) Miscellaneous Requirements

- a) Approval of this special permit shall be considered null and void in the event of failure by the applicant and/or the authorized representative, architect, engineer, or designer to disclose and delineate all facts and information relating to the subject property and the proposed development including, but not limited to, the following:
  - i) All existing and proposed improvements including but not limited to buildings and structures, signs and their uses, trees, walls, driveways, outdoor storage, and open land use areas on the subject property and all of the preceding which are located on adjoining property and may encroach on the subject property;
  - ii) All public and private easements, rights-of-way and any actual or potential prescriptive easements or uses of the subject property; and,
  - iii) Existing and proposed grade differentials between the subject property and adjoining property zoned or planned for residential use.

**APPEALS**

**This Conditional Use Permit application, and related Vesting Tentative Tract Map No. 6063/UGM, are scheduled for public hearing at the City of Fresno Planning Commission on July 2, 2014. At that time, the applicant or any interested party may appeal conditions of approval for this CUP, and the Commission will make a determination on the matter.**

Please be advised that this project may be subject to a variety of discretionary conditions of approval. These conditions based on adopted City plans and policies, those determined through conditional use permit review and environmental assessment essential to mitigate adverse effects on the health, safety and welfare of the community, and recommend conditions for development that would on the whole enhance the project and its relationship to the neighborhood and environment.

Discretionary conditions of approval may be appealed. All code requirements, however, are mandatory and may only be modified by variance, provided the findings pursuant to Section 12-405 can be made.

**Approval of this special permit may become null and void in the event that Vesting Tentative Tract No. 6063 is not approved or if it expires, or if a Final Tract Map is not approved by the City Council for this project. The special permit may also become null and void if development is not completed in accordance and all Public Works Standards and Specifications and with the conditions and requirements imposed on Tract Map 6063/UGM and the Conditions of approval of this CUP.**

**The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions of the special permit or related Vesting Tentative Tract Map No. 6063/UGM.**

**The exercise of rights granted by this special permit must be commenced prior to the expiration of Vesting Tentative Tract Map No. 6063. There is no extension.**

All required improvements must be installed prior to occupancy of the proposed homes.

### **BACKCHECK PROCESS**

**Please Note:** To complete the backcheck process for planning and zoning issues, submit

- Three copies of the corrected Exhibit A site plan for CUP No. C-14-018,
- Two copies of the “fit table” matrix and house plans (elevations and floor plans)
- Three copies of detailed typical landscape and irrigation plans for tract lots; and
- Three copies of proposed Declaration of Covenants, Codes & Restrictions,

to Sandra Brock in the Current Planning Section of the Development Services Division for final review and approval **at least 15 days before applying for the Final Tract Map.**

It may be necessary to resubmit corrected exhibits a second time, if not all the conditions have been complied with or are not shown on the exhibits. After all corrections have been made and the final corrected exhibits have been approved by the Development and Resource Management Department (and the Public Works Department Traffic and Engineering Division, as may be applicable), please supply a final corrected copy of the project exhibits to the Development and Resource Management Department for archiving purposes.

Attachments: Exhibits (site plan, home elevation drawings, floor plans, landscape plan)  
General Notes and Requirements for Entitlement Applications  
Proposed Conditions of Approval for Vesting Tentative Tract Map  
6063/UGM  
Comments from Partner Agencies & Departments relating to  
Conditional Use Permit Application No. C-14-018 NOTE:  
comments relating conditions and requirements of partner  
agencies and departments with regard to Vesting Tentative Tract  
No. 6063/UGM shall also be considered to pertain to Conditional  
Use Permit No. C-14-018  
MEIR and Project Specific Mitigation Monitoring Checklists

## **General Notes and Requirements for Entitlement Applications**

### **GENERAL**

*(Notice: Not all conditions will be applicable to all projects)*

1. Approval of this special permit may become null and void in the event that development is not completed in accordance with all the conditions and requirements imposed on this special permit, the Zoning Ordinance, and all Public Works Standards and Specifications. *This special permit is granted, and the conditions imposed, based upon the Operation Statement provided by the applicant. The Operation Statement is material to the issuance of this special permit. Unless the conditions of approval specifically require operation inconsistent with the Operation Statement, a new or revised special permit is required if the operation of this establishment changes or becomes inconsistent with the Operation Statement.* Failure to operate in accordance with the conditions and requirements imposed may result in revocation of the special permit or any other enforcement remedy available under the law. The Development and Resource Management Department shall not assume responsibility for any deletions or omissions resulting from the special permit review process or for additions or alterations to construction plans not specifically submitted and reviewed and approved pursuant to this special permit or subsequent amendments or revisions.
2. No uses of land, buildings, or structures other than those specifically approved pursuant to this site plan shall be permitted.
3. Development shall take place in accordance with the Standards, Specifications, and Standard Drawings of the City of Fresno Public Works Department; <http://www.fresno.gov/Government/DepartmentDirectory/PublicWorks/DeveloperDoorway/Technical+Library/StandardSpecificationsandDrawings.htm>
4. Development shall take place in accordance with all city, county, state and federal laws and regulations.
5. All proposed building(s) or structure(s) constructed on the property must comply with the prevailing California Building Code Standards.
6. Any building modifications and/or additions not included with this application are not approved with this special permit and would be subject to a new special permit.
7. For projects initiated in response to code enforcement action, the exercise of rights granted by this special permit must be commenced by six months. Completion of the project, including improvements, shall occur by 12 months.

### **FENCES/WALLS, LANDSCAPING, PARKING**

8. Temporary fences to secure projects under construction are allowed. Any temporary fence shall be adequately secured and constructed to prevent overturning due to wind, vandalism, and/or casual contact by the general public. The construction shall be performed in such a manner as to minimize any potential safety hazard, which may occur as a result of improper fence installation or damage to the fence.
9. Future fences shall be reviewed and approved by the Development and Resource Management Department prior to installation.
10. No structures of any kind (*including signs and/or fences*) may be installed or maintained within the required-landscaped areas. No exposed utility boxes, transformers, meters, piping (excepting the

backflow prevention device), etc., are allowed to be located in the landscape areas or setbacks or on the street frontages of the buildings. All transformers, etc., shall be shown on the site plan. The backflow device shall be screened by landscaping or such other means as may be approved.

11. Provide shade calculations on the landscape plan for parking lot shading in accordance with the attached *Development Department, Performance Standards for Parking Lot Shading*, including tree species and tree counts.
12. Disperse trees over the parking lot area to provide 50 percent shading of the parking area surface within 15 years. (This requirement may be reduced to 40 percent for existing development if it is demonstrated that the constraints of an existing site would make it impossible to meet the normal standards.) Trees shall also be planted in the required landscaped area along the periphery of the development in order to shade and enhance adjacent property and public rights-of-way. Refer to the attached "Performance Standards for Parking Lot Shading," for the tree list and further details.
13. Trees shall be maintained in good health. However, trees may not be trimmed or pruned to reduce the natural height or overall crown of the tree, except as necessary for the health of the tree and public safety; or as may otherwise be approved by the Development and Resource Management Department.
14. Landscaping must be in place before issuance of the certificate of occupancy. A Hold on Occupancy shall be placed on the proposed development until such time that landscaping has been approved and verified for proper installation by the Development Services Division. **(Include this note on the site and landscape plans.)**
15. Prior to final inspection, a written certification, signed by a landscape professional approved by the Director, shall be submitted stating that the required landscaping and irrigation system was installed in accordance with the landscaping and irrigation plans approved by the Development Services Division, Development Department.
16. Future tenant improvements shall be reviewed and approved by the Development and Resource Management Department to ensure that adequate off-street parking is provided.
17. The parking lot design must accommodate the provision of trees in accordance with the attached Parking Lot Shading Policy.
18. A minimum number of accessible parking stalls are required for the proposed project per State of California Building Code, "Development Requirements for Handicapped Accessibility."
19. All accessible stalls shall be marked with the international symbol of spaces and a warning that vehicles in violation of Section 10-1017 of the Municipal Code shall be towed away. The international symbol and tow-away warning shall be posted conspicuously on seven-foot poles. **(Include this note on the site plan.)**
20. All accessible parking stalls shall be placed adjacent to facility access ramps or in strategic areas where the handicapped shall not have to wheel or walk behind parked vehicles while traveling to or from accessible parking stalls and ramps. **(Include this note on the site plan.)**
21. Lighting where provided to illuminate parking, sales or display areas shall be hooded and so arranged and controlled so as not to cause a nuisance either to highway traffic or to the living environment. The amount of light shall be provided according to the standards of the Department of Public Works. **Depict all proposed lights on the site plan.**

22. Bicycle parking spaces shall be supplied at a rate of 10% of the automobile spaces provided pursuant to Section 12-306-I-2.1c of the Fresno Municipal Code (FMC). Bicycle parking spaces shall each consist of one slot in a bike rack. They shall be grouped in racks which allow four feet of clearance on all sides. There shall be adequate space between rack slots to park, lock, and remove bicycles. Bicycle parking spaces and the required four-foot clearance shall be protected from motor vehicle encroachment by means of fixed barriers not less than six inches or more than three in height. Bicycle parking spaces shall not encroach into pedestrian ways, landscaped areas, or other required open spaces, and shall be located proximal to structures.
23. All general provisions of Section 12-306-I of the FMC shall apply to all parking areas. [http://library.municode.com/HTML/14478/level3/MUCOFR\\_CH12LAUSPLZO\\_ART3GECOAPZO.htm#MUCOFR\\_CH12LAUSPLZO\\_ART3GECOAPZO\\_S12-306PRDEST](http://library.municode.com/HTML/14478/level3/MUCOFR_CH12LAUSPLZO_ART3GECOAPZO.htm#MUCOFR_CH12LAUSPLZO_ART3GECOAPZO_S12-306PRDEST)

### **SIGNAGE**

24. All future signs shall be architecturally compatible with the proposed building(s). Provide a set of drawings, with descriptive information, including, materials, design and colors to allow for a preliminary assessment of the future signage. It is recommended that you provide a copy of the signage early in the project process to allow for staff comment.
25. Signs, other than directional signs, if applicable, are not approved for installation as part of this special permit. **(Include this note on the site plan.)**
26. All proposed signs shall conform to the current sign ordinance. Applications for a sign permit and requirements for submittal are available at the Development and Resource Management Department's Public Front Counter or online at <http://www.fresno.gov/Government/DepartmentDirectory/PlanningandDevelopment/Planning/SignsandBanners.htm>
27. Window signs are limited to four square feet in area, providing information about hours of operation and emergency, sale or rental information only. Exterior signage such as banners, flags and pennants are prohibited. However, special event banner signs are permitted for 30 days if approved by the Development and Resource Management Department, attached to the building, and not exceeding 32 square feet in area.
28. Permanent window signs over six square feet in area can be submitted for approval under a sign review application.

### **MISCELLANEOUS**

29. Noise levels shall not exceed the decibel levels described in Section 10-102.b of the FMC at anytime, measured at the nearest subject property line. [http://library.municode.com/HTML/14478/level3/MUCOFR\\_CH10REREPUNUREPRCOUS\\_ART1NORE.html#MUCOFR\\_CH10REREPUNUREPRCOUS\\_ART1NORE\\_S10-102DE](http://library.municode.com/HTML/14478/level3/MUCOFR_CH10REREPUNUREPRCOUS_ART1NORE.html#MUCOFR_CH10REREPUNUREPRCOUS_ART1NORE_S10-102DE)
30. There shall be adequate vehicular access from a dedicated and improved street or alley to off-street parking and loading facilities on the property requiring off-street parking and loading. Vehicular and/or pedestrian access shall be provided and shall remain clear at all times.
31. The address listed in the conditions of approval is the 'Official Address' given to the building. If you would like separate suite or unit numbers for a building, provide a floor plan and contact the City of Fresno Development and Resource Management Department for 'Official Addresses'. **Only those**

**addresses assigned by the City of Fresno will be recognized as 'Official Addresses'**. The United States Post Office will only recognize addresses assigned by the City of Fresno. If a non-official address is given to a building and or/separate suites, the City of Fresno has the authority to charge a fee and have those addresses corrected. In addition, the United States Post Office will cease mail delivery to those addresses that are not 'Official Addresses'.

32. All projects, including projects that involve less than one acre of property, are required to comply with the City of Fresno's Urban Storm Water Quality Management and Discharge Control Ordinance, FMC Chapter 6, Article 7 (FMC Sections 6-701 *et seq.*)

When a project involves one acre or more of construction activity (including, but not limited to, grading) the developer is required to obtain a stormwater discharge permit for construction, with a Notice of Intent (NOI) filed **prior to** commencement of any grading construction activity. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 regarding the required NOI and stormwater discharge permit. Additional information on California's construction stormwater regulation may be obtained from the Water Board via the internet: [www.waterboards.ca.gov/water\\_issues/programs/stormwater/construction.shtml](http://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.shtml). Helpful information for preparing and implementing stormwater pollution prevention plans may also be obtained from the California Stormwater Quality Association via its website, [www.casqa.org](http://www.casqa.org)

When a project involves specified nonresidential activities (certain commercial and industrial activities), an ongoing industrial stormwater discharge permit is also required. Contact the Fresno office of the California Regional Water Quality Control Board at 559-445-6281 to find out whether your project/business requires an industrial stormwater discharge permit, and to obtain details on securing this permit. Additional information on industrial stormwater discharge regulation may be obtained from this website: [www.waterboards.ca.gov/water\\_issues/programs/stormwater/industrial.shtml](http://www.waterboards.ca.gov/water_issues/programs/stormwater/industrial.shtml), and the California Stormwater Quality Association has additional information on preparing stormwater pollution prevention plans for these activities ([www.casqa.org](http://www.casqa.org)).

33. Screen all roof-mounted equipment from the view of public rights-of-way. **Depict all mechanical equipment on site plan and elevations.**
34. If archaeological and/or animal fossil material is encountered during project surveying, grading, excavating, or construction, work shall stop immediately. **(Include this note on the site plan.)**
35. If there are suspected human remains, the Fresno County Coroner shall be immediately contacted. If the remains or other archaeological material is possibly Native American in origin, the Native American Heritage Commission (Phone: (916) 653-4082) shall be immediately contacted, and the California Archaeological Inventory/Southern San Joaquin Valley Information Center (Phone: (805) 644-2289) shall be contacted to obtain a referral list of recognized archaeologists. An archeological assessment shall be conducted for the project, the site shall be formally recorded, and recommendations made to the City as to any further site investigation or site avoidance/preservation. **(Include this note on the site plan.)**
36. If animal fossils are uncovered, the Museum of Paleontology, U.C. Berkeley shall be contacted to obtain a referral list of recognized paleontologists. An assessment shall be conducted by a paleontologist and, if the paleontologist determines the material to be significant, it shall be preserved. **(Include this note on the site plan.)**
37. Connection to a municipal water system is required.
38. Connection to a municipal City of Fresno sewer system is required.

39. City of Fresno water and sewer connection charge obligations applicable to this project will be computed during the building construction plan check process and shall be payable at time of issuance of building permit unless other arrangements have been approved to defer such payments to a later date. For information relating to water and sewer service requirements and connection charges, contact Frank Saburit at (559) 621-8277.
40. Open street cuts are not permitted; all utility connections must be bored.
41. **CROSS-CONNECTION CONTROL.** A backflow prevention device may be required on the water service. Contact the Department of Public Utilities, Water Division (559) 621-5300 for requirements relating to approved devices, locations, testing and acceptance. This requirement must be satisfied prior to final occupancy.
42. This project was reviewed by the Fire Department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of the Development and Resource Management when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.
43. Outdoor storage of materials, including ISO containers, is prohibited. All materials shall be stored within a completely enclosed building, unless approved by the Development and Resource Management Department. **(Include this note on the site plan)**
44. If video surveillance cameras are required or installed, provide signs under the surveillance cameras which notify the public that the subject property is monitored by video surveillance.
45. Owners and persons having ownership interest in businesses operating in the City of Fresno (including leasing out any commercial or industrial property, or renting out four or more dwelling units) are required by the Fresno Municipal Code to obtain a Business Tax Certificate. Contact the City of Fresno Finance Department's Business Tax Division at (559) 621-6880 for more information.

### **FEES**

(Not all fees will be applicable to all projects)

46. **NOTICE TO PROJECT APPLICANT:** In accordance with the provisions of Government Code Section 66020(d)(1), the imposition of fees, dedication, reservations or exactions for this project are subject to protest by the project applicant at the time of approval or conditional approval of the development or within 90 days after the date of imposition of fees, dedications, reservation, or exactions imposed on the development project. This notice does not apply to those fees, dedications, reservations, or exactions which were previously imposed and duly noticed; or, where no notice was previously required under the provisions of Government Code Section 66020(d)(1) in effect before January 1, 1997.
47. **CITYWIDE DEVELOPMENT IMPACT FEES**
  - a) **Traffic Signal Charge (FMC Section 12-4.1101 to 12-4.1103)** This project shall pay its Traffic Signal Mitigation Impact Fee at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual. Refer to the adopted Master Fee Schedule for fee rate. This fee shall be paid at time of building permit.

- b) Fire Facilities Fee (FMC Section 12-4.901 to 12-4.906) (based on building square footage, or residential units)
- c) Police Facilities Fee (FMC Section 12-4.801 to 12-4.806) (based on building square footage, or residential units)
- d) Parks Facilities Fee (FMC Section 12-4.701 to 12-4.706) (based on the number of residential units)

48. CITYWIDE REGIONAL AND NEW GROWTH MAJOR STREET IMPACT FEES (FMC Section 12-4.1006)

- a) Street Impact Fees shall be due and payable at the time of building permit issuance unless otherwise required by State law.
- b) Street Impact Fees will be a condition on all development entitlements granted.
- c) New construction on vacant parcels shall be calculated on a net acreage (adjusted acre basis) of the entire property subject to the development entitlement based upon planned land use. Notwithstanding, fees shall be based upon actual land use for developments in the C-M zone district and for development projects developed inconsistent with the plan land use.
- d) New construction on property that is partially developed, Street Impact Fees will be applied to the incremental increase proportionate to the respective floor to area ratios (25% for commercial and 40% for industrial). In no case shall anyone pay more than the amount of the total net acreage of the parcel multiplied by the applicable fee rate.
- e) Reuse being more intensive than the original use, the developer shall be required to pay the difference between the current amount of the Street Impact Fee obligation for the old use and the current amount of the Street impact Fee obligation for the new use.

49. FRESNO COUNTY FACILITY IMPACT FEE

- a) Satisfy the Fresno County Facilities Impact Fee obligation. The requirement to pay this fee is currently suspended by Fresno County. However, payment of this fee will be required if the fee has been reinstated at the time of issuance of building permits for this project.

50. REGIONAL TRANSPORTATION MITIGATION FEE (RTMF)

- a) Pay the RTMF fee to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148, ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption prior to issuance of building permits.

51. SCHOOL FEES

- a) School fees must be paid, if required, prior to the issuance of building permits. Contact Central Unified School District. Provide proof of payment (or no fee required) prior to the issuance of building permits.

52. FLOOD CONTROL FEES

a) Flood Control fees are due, if required, prior to issuance of building permits.

53. SEWER CONNECTION CHARGES (FMC Section 6-304(a)). The following sewer connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New sewer connection charges adopted by the Council prior to the issuance of building permits may also be applied.

a) Lateral Sewer Charge (based on property frontage to a depth of 100')

b) Oversize Sewer Charge (based on property frontage to a depth of 100')

*Effective January 9, 1999, Ordinance No. 98-97 also amended certain sewer connection charges. Fresno Municipal Code Article 15, Section 12 provides property owners the incentives and deletes certain sewer connection charges pursuant to the Simple Tiered Equity Program (STEP) and the Employment Development Program (EDP). For additional information on the STEP and EDP, contact the Department of Public Utilities, Administration Division at (559) 621-8600.*

54. WATER CONNECTION CHARGES: (FMC Sections 6-507 to 6-513). The following water connection charges may be required and will be payable at the fee rate listed in the Master Fee Schedule at the time payment is due. New water connection charges adopted by the Council **prior** to issuance of building permits may also be applied.

a) Frontage Charge (based on property frontage)

b) Transmission Grid Main Charge (based on acreage)

c) Transmission Grid Main Bond Debt Services Charge (based on acreage)

d) UGM Water Supply Fee (based on living units, living unit equivalents or acreage)

e) Wellhead Treatment Fee (based on living units or living unit equivalents)

f) Recharge Fee (based on living units or living unit equivalents)

g) 1994 Bond Debt Service Charge (based on living units or living unit equivalents)

h) Service Charges (based on service size required by applicant)

i) Meter Charges (based on service need)

55. Deferment of the payment of Citywide development impact fees for Fire, Police, Parks, Streets, and Traffic Signals is available for projects located within the Downtown Priority Areas in accordance with the provisions of Resolution Nos. 2009-265 and 2010-19.

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

File No. 210.413

Page 1 of 4

**PUBLIC AGENCY**

SANDRA BROCK  
DEVELOPMENT SERVICES/PLANNING  
CITY OF FRESNO  
2600 FRESNO STREET, THIRD FLOOR  
FRESNO, CA 93721-3604

**DEVELOPER**

GARY GIANNETTA  
1119 "S" STREET  
FRESNO, CA 93721

PROJECT NO: 2014-018

ADDRESS: SEC COPPER AND FRIANT

APN: 577-210-54

SENT: 4/4/14

Drainage Area(s)	Preliminary Fee(s)
BZ	\$16,829.00
<b>TOTAL FEE: \$16,829.00</b>	

The proposed development will generate storm runoff which produces potentially significant environmental impacts and which must be properly discharged and mitigated pursuant to the California Environmental Quality Act and the National Environmental Policy Act. The District in cooperation with the City and County has developed and adopted the Storm Drainage and Flood Control Master Plan. Compliance with and implementation of this Master Plan by this development project will satisfy the drainage related CEQA/NEPA impact of the project mitigation requirements.

The proposed development shall pay drainage fees pursuant to the Drainage Fee Ordinance prior to issuance of a building permit at the rates in effect at the time of such issuance. The fee indicated above is valid through 2/28/15 based on the site plan submitted to the District on 3/24/14 Contact FMFCD for a revised fee in cases where changes are made in the proposed site plan which materially alter the proposed impervious area.

Considerations which may affect the fee obligation(s) or the timing or form of fee payment:

- a.) Fees related to undeveloped or phased portions of the project may be deferrable.
- b.) Fees may be calculated based on the actual percentage of runoff if different than that typical for the zone district under which the development is being undertaken and if permanent provisions are made to assure that the site remains in that configuration.
- c.) Master Plan storm drainage facilities may be constructed, or required to be constructed in lieu of paying fees.
- d.) The actual cost incurred in constructing Master Plan drainage system facilities is credited against the drainage fee obligation.
- e.) When the actual costs incurred in constructing Master Plan facilities exceeds the drainage fee obligation, reimbursement will be made for the excess costs from future fees collected by the District from other development.
- f.) Any request for a drainage fee refund requires the entitlement cancellation and a written request addressed to the General Manager of the District within 60 days from payment of the fee. A non refundable \$300 Administration fee or 5% of the refund whichever is less will be retained without fee credit.

**FR  
CUP No. 2014-018**

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 2 of 4

Approval of this development shall be conditioned upon compliance with these District Requirements.

1.  a. Drainage from the site shall BE DIRECTED TO CARNOUSTIE AVENUE.  
 b. Grading and drainage patterns shall be as identified on Exhibit No.  
 c. The grading and drainage patterns shown on the site plan conform to the adopted Storm Drainage and Flood Control Master Plan.
  
2. The proposed development shall construct and/or dedicate Storm Drainage and Flood Control Master Plan facilities located within the development or necessitated by any off-site improvements required by the approving agency:  
 Developer shall construct facilities as shown on Exhibit No. 1 as "MASTER PLAN FACILITIES TO BE CONSTRUCTED BY DEVELOPER".  
 None required.
  
3. The following final improvement plans and information shall be submitted to the District for review prior to final development approval:  
 Grading Plan  
 Street Plan  
 Storm Drain Plan  
 Water & Sewer Plan  
 Final Map  
 Drainage Report (to be submitted with tentative map)  
 Other  
 None Required
  
4. Availability of drainage facilities:  
 a. Permanent drainage service is available provided the developer can verify to the satisfaction of the City that runoff can be safely conveyed to the Master Plan inlet(s).  
 b. The construction of facilities required by Paragraph No. 2 hereof will provide permanent drainage service.  
 c. Permanent drainage service will not be available. The District recommends temporary facilities until permanent service is available.  
 d. See Exhibit No. 2.
  
5. The proposed development:  
 Appears to be located within a 100 year flood prone area as designated on the latest Flood Insurance Rate Maps available to the District, necessitating appropriate floodplain management action. (See attached Floodplain Policy.)  
 Does not appear to be located within a flood prone area.
  
6.  The subject site contains a portion of a canal or pipeline that is used to manage recharge, storm water, and/or flood flows. The existing capacity must be preserved as part of site development. Additionally, site development may not interfere with the ability to operate and maintain the canal or pipeline.

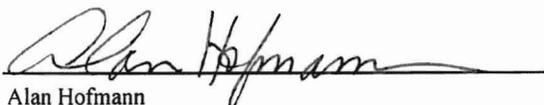
FR  
CUP No. 2014-018

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 3 of 4

FR  
CUP No. 2014-018

7. The Federal Clean Water Act and the State General Permits for Storm Water Discharges Associated with Construction and Industrial Activities (State General Permits) require developers of construction projects disturbing one or more acres, and discharges associated with industrial activity not otherwise exempt from National Pollutant Discharge Elimination System (NPDES) permitting, to implement controls to reduce pollutants, prohibit the discharge of waters other than storm water to the municipal storm drain system, and meet water quality standards. These requirements apply both to pollutants generated during construction, and to those which may be generated by operations at the development after construction.
- a. State General Permit for Storm Water Discharges Associated with Construction Activities, effective July 1, 2010, as amended. A State General Construction Permit is required for all clearing, grading, and disturbances to the ground that result in soil disturbance of at least one acre (or less than one acre) if part of a larger common plan of development or sale). Permittees are required to: submit a Notice of Intent and Permit Registration Documents to be covered and must pay a permit fee to the State Water Resources Control Board (State Board), develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, and complete an annual certification of compliance.
  - b. State General Permit for Storm Water Discharges Associated with Industrial Activities, April, 1997 (available at the District Office). A State General Industrial Permit is required for specific types of industries described in the NPDES regulations or by Standard Industrial Classification (SIC) code. The following categories of industries are generally required to secure an industrial permit: manufacturing; trucking; recycling; and waste and hazardous waste management. Specific exemptions exist for manufacturing activities which occur entirely indoors. Permittees are required to: submit a Notice of Intent to be covered and must pay a permit fee to the State Water Resources Control Board, develop and implement a storm water pollution prevention plan, eliminate non-storm water discharges, conduct routine site inspections, train employees in permit compliance, sample storm water runoff and test it for pollutant indicators, and annually submit a report to the State Board.
  - c. The proposed development is encouraged to select and implement storm water quality controls recommended in the Fresno-Clovis Storm Water Quality Management Construction and Post-Construction Guidelines (available at the District Office) to meet the requirements of the State General Permits, eliminate the potential for non-storm water to enter the municipal storm drain system, and where possible minimize contact with materials which may contaminate storm water runoff.
8. A requirement of the District may be appealed by filing a written notice of appeal with the Secretary of the District within ten days of the date of this Notice of Requirements.
9. The District reserves the right to modify, reduce or add to these requirements, or revise fees, as necessary to accommodate changes made in the proposed development by the developer or requirements made by other agencies.
10.        See Exhibit No. 2 for additional comments, recommendations and requirements.

  
Alan Hofmann  
Assistant District Engineer/Design

  
Neda Shakeri  
Project Engineer

FRESNO METROPOLITAN FLOOD CONTROL DISTRICT  
NOTICE OF REQUIREMENTS

Page 4 of 4

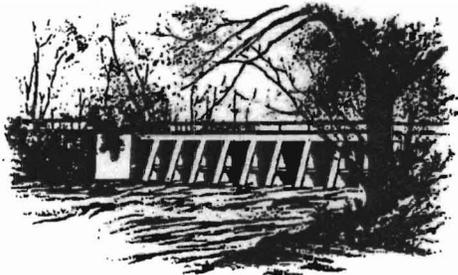
CC:

CHRISTINE LINGENFELTER, COPPER PARK, LLC

1396 W. HERNDON AVE., SUITE 101

FRESNO, CA 93711

**FR CUP No. 2014-018**



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO**  
**IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93725-2208

April 4, 2014

Ms. Joann Zuniga  
City of Fresno  
Development and Resource Management Department  
2600 Fresno Street, Third Floor  
Fresno, CA 93721

RE: Vesting Tentative Tract Map No. 6063/UGM, and Conditional Use Permit  
Application No. C-14-018, S/E Copper Avenue and Friant Road

Dear Ms. Zuniga:

The Fresno Irrigation District (FID) has reviewed the Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit Application No. C-14-018 pertaining to the 1.78 net acres (2.0 gross acres) of property located on the southeast corner of Friant Road and Copper Avenue on Carnoustic Avenue. Vesting Tentative Tract Map No. 6063/UGM proposes a 10-lot single family residential planned unit development with public street. Conditional Use Permit Application No. C-14-018 proposes modified property development standards, APN: 577-210-54. FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. The proposed development appears to be within the City of Fresno's Sphere of Influence but lies outside FID's boundary line. The development is not entitled to water from the Kings River.
3. The proposed land use (or change in land use) should be such that the need for water is minimized and/or reduced so that groundwater impacts to the proposed project area and any surrounding areas are eliminated. The "demand" side of water consumed needs to be evaluated or scrutinized as much as the "supply" side of the water supply. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. The area was historically

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**BOARD OF DIRECTORS** President RYAN JACOBSEN, Vice-President STEVEN BALLS  
JEFFERY NEELY, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

agricultural land and a significant portion of its water supply was imported surface water, supplemented by groundwater pumping. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a conversion from imported surface water to groundwater, this deficit will increase. FID recommends the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.

4. It is unclear if the source of water for this development is solely groundwater or a mixture of treated surface water from FID's Enterprise Canal. If treated surface water will be used, the City must acquire additional water from a water purveyor, such as FID for that purpose, so as to not reduce water supplies to or create water supply deficits in other areas of the City. Water supply issues must be resolved before any further "hardening" of the water supply demand is allowed to take place.
5. It should be noted that without the use of surface water, continued dependence on solely a groundwater supply will do nothing to reverse or correct the existing overdraft of the groundwater supply beneath the City of Fresno and FID service area. As this project will "harden" or make firmer the need for water, the long-term correction of the groundwater overdraft should be considered as a requirement of the project.
6. The City of Fresno and FID have been working to address water supplies issues for development outside of the FID service area. We encourage the City to continue towards finding solutions to minimize the impacts of changes in land uses and to mitigate any existing adverse water supply impacts within the development areas.

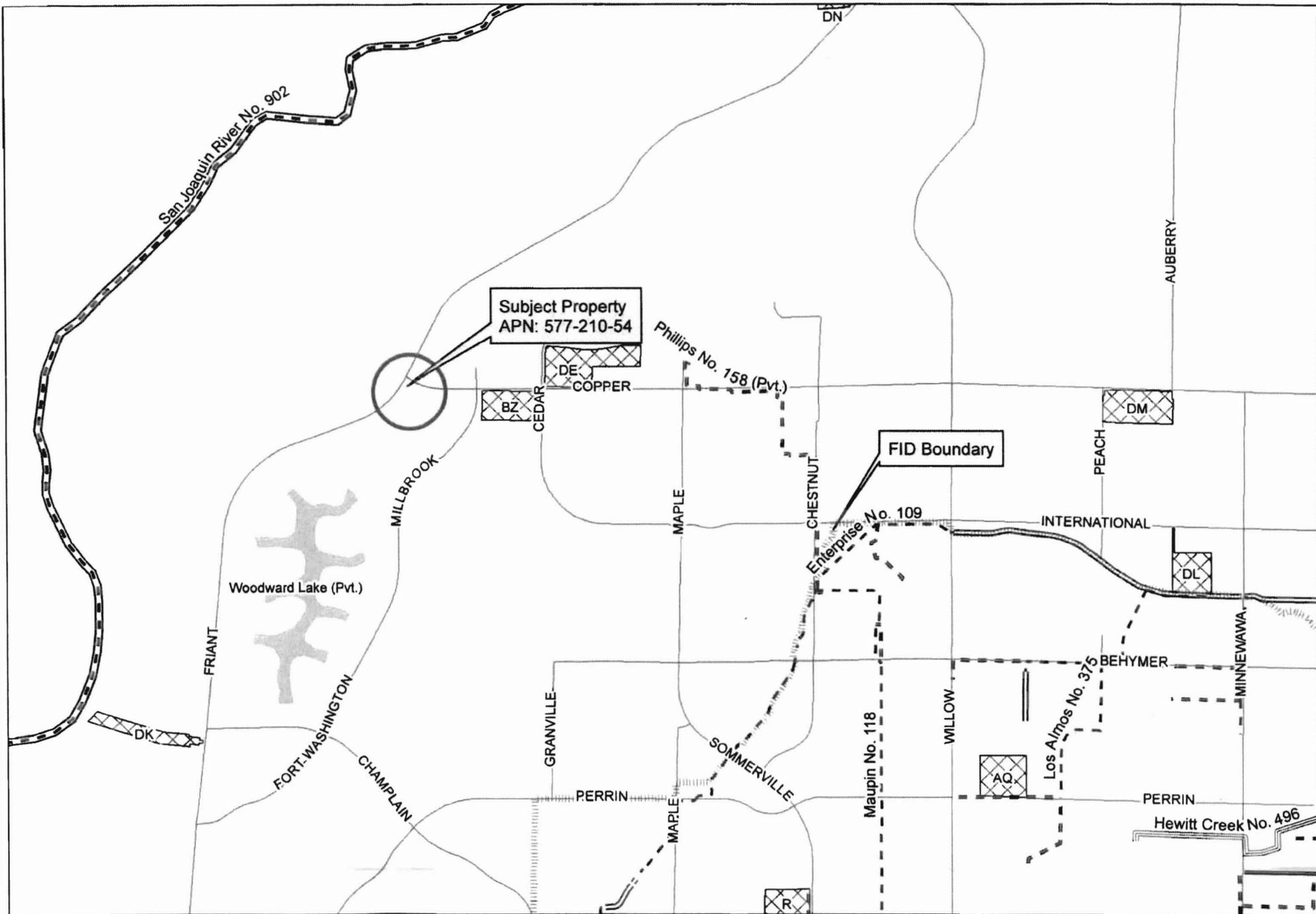
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Sen Saetern at 233-7161 extension 7406 or [ssaetern@fresnoirrigation.com](mailto:ssaetern@fresnoirrigation.com).

Sincerely,



William R. Stretch, P.E.  
Assistant General Manager - Operations

Attachment



This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on locating FID facilities.

12/10/2013  
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Legend	
	FID Canal
	FID Pipeline
	Private Canal
	Abandoned Canal
	Private Pipeline
	Abandoned Pipeline
	Stream Group
	Other-Creek/River
	Other-Pipeline
	FID Boundary
	Railroad
	Streets & Hwys

0 1,125 2,250 Feet

1 inch = 2,337.86 feet

Parcel

- FMFCD Acquired Basins
- FMFCD Proposed Basins



**DEPARTMENT OF PUBLIC UTILITIES  
ADMINISTRATION DIVISION  
MEMORANDUM**



*Providing Life's Essential Services*

**Date:** April 8, 2014

**To:** SANDRA BROCK  
Development Service and Planning

**From:** DOUG HECKER, Supervising Engineering Technician   
Department of Public Utilities, Planning and Engineering Division

**Subject:** SEWER REQUIREMENTS FOR VESTING TENTATIVE TRACT T-6063/UGM;  
CONDITIONAL USE PERMIT C-14-018

**General**

T-6063-UGM & C-14-018 were filed by Gary Giannetta, on behalf of Copper Park, LLC, and pertain to 1.78 net acres, 2.0 gross acres, of property located on the southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue, 1025 East Carnoustie Avenue, APN 577-210-54. T-6063-UGM proposes a 10-lot single family residential planned unit development with public street. C-14-018 proposes modified property development standards.

**Sewer Requirements**

The nearest sanitary sewer main to serve the proposed project is an 8-inch sanitary sewer main located in East Carnoustie Avenue. Sanitary sewer facilities will be available to provide service to the site subject to the following requirements:

1. Construct an 8-inch sanitary sewer main (including sewer house branches to adjacent properties) in East Carnoustie Avenue from the existing 8-inch sewer main in East Carnoustie Avenue.
2. Sanitary sewer mains shall be extended within the proposed tract to provide sewer service to each lot created.
3. The Project shall comply with City of Fresno Ordinances, Standards, Specifications, and Conditions related to providing sanitary sewer service including payment of all City of Fresno adopted impact fees and sewer connections charges established in the City of Fresno Master Fee Schedule.
4. Separate sewer house branches shall be provided for each lot created.
5. Abandon any existing on-site private septic systems.
6. Engineered improvement plans prepared by a Registered Civil Engineer shall be submitted for Department of Public Utilities review and approvals for proposed additions to the City Sewer System.



*A Nationally Accredited Public Utility Agency*

7. All underground utilities shall be installed prior to permanent street paving.
8. Street easements and/or deeds shall be recorded prior to approval of improvement plans
9. All public sanitary sewer facilities shall be constructed in accordance with City Standards, specifications, and policies.

### **Sanitary Sewer Fees**

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The following Sewer Connection Charges are due and shall be paid for the Project:

1. Trunk Sewer Charge: Herndon
2. Sewer Lateral Charge
3. Sewer Oversize Service Area: # 43
4. Wastewater Facilities Charge (Residential Only)

City of



**FIRE DEPARTMENT**

**Date:** April 10, 2014

**To:** SANDRA BROCK, Planner III  
Development and Resource Management Department , Advance Planning

**From:** TERRI MEISS, Fire Prevention Inspector II  
Fire Department, Fire Prevention & Investigative Services

**Subject:** T-6063-UGM & C-14-018 were filed by Gary Giannetta, on behalf of Copper Park, LLC, and pertain to 1.78 net acres, 2.0 gross acres, of property located on the southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue, 1025 East Carnoustie Avenue, APN 577-210-54. T-6063-UGM proposes a 10-lot single family residential planned unit development with public street. C-14-018 proposes modified property development standards.

**Hydrants**

Developer must install on-site hydrants(s). See Plan for location(s). Provide fire hydrant flow of 1500 GPM with a minimum 8" water main.

Public streets hydrant(s) must be installed. Coordinate street hydrant locations with Public Works.

Fire hydrants shall be installed, tested, approved, and all surface access roads shall be installed and made serviceable prior to and during the time of construction. The hydrant 4 1/2" outlet shall face the access lane.

All required fire access lanes shall be provided and maintained with an approved "all weather" surface capable of supporting 80,000 lb. vehicles (minimum 4" of base rock over compacted or undisturbed native soil or per approved engineered plans) year-around and with 24 feet minimum width or other approved method that would prevent shoulder degradation.

**General**

All construction work on this project is subject to interruption if the road system becomes impassable for fire apparatus due to rain or other obstacles. All required fire access lanes shall be provided and maintained with an approved 'all weather' surface capable of supporting 80,000 lb. vehicles (minimum 4" of base rock over compacted or undisturbed native soil or per approved engineered plans) year-round and with 24 feet minimum width or other approved method that would prevent shoulder degradation.

**Other**

This project was reviewed by the fire department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of DARM when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.

City of



DEPARTMENT OF PUBLIC UTILITIES

April 22, 2014

TO: Sandra Brock, Planner III  
Development and Resource Management Department, Planning Division

FROM:  Chris Weibert, Management Analyst II  
Department of Public Utilities, Administration

SUBJECT: TT 6063/UGM & C-14-018, Solid Waste Conditions of Approval  
Location: Southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue (APN 577-210-54)

The Department of Public Utilities, Solid Waste Division has completed a review of Tentative Tract Map TT 6063/UGM and C-14-018 that were submitted by Gary G. Giannetta Consulting Civil Engineer, on behalf of Copper Park, LLC. The following requirements and conditions are to be placed on this tentative tract map as a condition of approval by the Department of Public Utilities.

**General Requirements:**

- Tract 6063 will be serviced as Single Family Residential properties with Basic Container Service. Property owners will receive 3 containers to be used as follows: 1 Gray container for solid waste, 1 Green container for green waste and 1 Blue container for recyclable material.
- The owners, lessees or other tenants of the residential dwellings on service day, before 5:30 a.m., shall place their solid waste containers at the edge of the curb approximately 4 feet apart and shall not block any vehicle accesses, nor be placed within any traffic circle, in accordance with the City of Fresno's Solid Waste Management Division Standards.
- Per Municipal Code, Section 6-205 Solid Waste, Recycling and Green Waste Disposal Regulations, Section (c)(11). No solid waste container nor residential rubbish shall be allowed to remain at the curblines after 8:00 p.m. on the collection day.
- Per Municipal Code, Section 6-205 Solid Waste, Recycling and Green Waste Disposal Regulations, Section (c)(10). No material container shall be stored in the front yard or side yard on a street as said yards are described in Chapter 12, Articles 2 and 3 of this Code, unless the container is screened from view from the street in accordance with that article of the Code.

**Covenant Requirements:**

There shall be no parking allowed in the cul-de-sacs on the solid waste service day. All lots that are part of a cul-de-sac shall be clear of all vehicles by 5:30 a.m.:

- Lots 1, 9 & 10 on East Carnoustie Avenue

**CITY OF FRESNO  
MITIGATED NEGATIVE DECLARATION  
prepared for Environmental Assessment  
No. T-6063/C-14-018**

**Relating to  
Vesting Tentative Tract Map No. T-6063 and  
Conditional Use Permit (CUP) No. C-14-018**

The Notice of Intent for this proposed environmental finding was filed with the

FRESNO COUNTY CLERK  
2221 Kern Street,  
Fresno, CA 93721

on **May 30, 2014** (copy attached)

**APPLICANT:**

Gary Giannetta  
Gary G. Giannetta Civil Engineering & Land  
Surveying  
1119 S Street  
Fresno, California 93721

**SUBDIVIDER AND PROPERTY OWNER:**

Copper Park, LLC  
1398 West Herndon Avenue, Suite 101  
Fresno, California 93711

**PROJECT LOCATION:**

1025 East Carnoustie Avenue, in the City of Fresno (which is located in the County of Fresno), on the southeast corner of North Friant Road and East Copper Avenue (see vicinity map, pg. 3)

Assessors Parcel No. 577-210-54

Township 12 South, Range 20 East, Section 14, Mount Diablo Base & Meridian

Latitude 36°53'43"N, Longitude 119°45'55"W (centroid))

**PROJECT DESCRIPTION:**

The proposed project comprises 1.78 acres of property planned for Medium Density Residential use in the 2025 Fresno General Plan and Woodward Park Community Plan, and zoned R-1/EA/UGM, *Single Family Residential District/Expressway Area Overlay/Urban Growth Management Area*. The applicant seeks to develop a 10-lot Planned Unit Development and to modify property development standards, reducing R-1 District yard setbacks, under CUP No. C-14-018. The project includes vacation of a public roadway. This street vacation has been evaluated in the City of Fresno Vacation Feasibility Study (Public Works File No. 11763).

The City of Fresno has conducted an environmental analysis for the above-described project, contained in the attached initial study. The City of Fresno, as Lead Agency, proposes to adopt a Mitigated Negative Declaration for this project. This Mitigated Negative Declaration is tiered from Master Environmental Impact Report No. 10130 (State Clearinghouse No. 2001071097) certified for adoption of the 2025 Fresno General Plan ("MEIR") and Mitigated Negative Declaration No. A-09-02 (SCH No. 2009051016) adopted for the 2025 Fresno General Plan Air Quality Update. The proposed project has been determined to be a subsequent project that is not fully within the scope of the MEIR and Air Quality MND. Pursuant to Public Resources Code § 21157.1 and California Environmental Quality Act (CEQA) Guidelines § 15177, this project has been evaluated with respect to each item on the attached environmental impact checklist to determine whether this project may cause any additional significant effect on the environment which was not previously examined in the MEIR.

After conducting a review of the adequacy of the MEIR pursuant to Public Resources Code, Section 21157.6(b)(1), the Development and Resource Management Department, as lead agency, finds that no substantial changes have occurred with respect to the circumstances under which the MEIR was certified and that no new information, which was not known and could not have been known at the time that the MEIR was certified as complete, has become available.

The completed environmental impact checklist, its associated narrative, and proposed mitigation measures reflect applicable comments of responsible and trustee agencies, as well as research and analysis conducted to examine the interrelationship between the proposed project and the physical environment. The information contained in the project application and its related environmental assessment application, responses to requests for comment, checklist, initial study narrative, and any attachments thereto, combine to form a record indicating that an initial study has been completed in compliance with the California Environmental Quality Act and CEQA Guidelines.

All new development activity and many non-physical projects contribute directly or indirectly toward cumulative impacts on the physical environment. It has been determined that the incremental effect contributed by this project toward cumulative impacts is not considered substantial or significant in itself, and/or that cumulative impacts accruing from this project may be mitigated to less than significant with application of feasible mitigation measures.

For some categories of potential impacts, the checklist may indicate that a specific adverse environmental effect has been identified which is of sufficient magnitude to be of concern. Such an effect may be inherent in the nature and magnitude of the project. The completed environmental checklist form indicates whether an impact would be less than significant with mitigation, or less than significant. Effects so rated are not sufficient in themselves to require the preparation of an Environmental Impact Report, and have been mitigated to the extent feasible.

The initial study has concluded that the proposed project will not result in any adverse effects which fall within the "Mandatory Findings of Significance" contained in Section 15065 of the State CEQA Guidelines.

With the project specific mitigation imposed, there is no substantial evidence in the record that this

With the project specific mitigation imposed, there is no substantial evidence in the record that this project may have additional significant, direct, indirect, or cumulative effects on the environment. The finding is, therefore, made that the proposed project will not have a significant adverse effect on the environment and that a finding of Mitigated Negative Declaration is, therefore, appropriate under CEQA Guidelines Section 15178.

Additional information on the proposed project, including the Initial Study for this project, is on file at City of Fresno Development & Resource Management Department, 2600 Fresno St., Room 3076 Fresno, California 93721-3604. Electronic copies of these documents (in CD-ROM form) are available by contacting Sandra Brock at (559) 621-5321, or email her at [sandra.brock@fresno.gov](mailto:sandra.brock@fresno.gov).

<p><b>INITIAL STUDY PREPARED BY:</b>                    Sandra Brock, Planner III</p>	<p><b>SUBMITTED BY:</b>                    Will Tackett, Supervising Planner</p>
<p>DATE: May 30, 2014</p>	<p>CITY OF FRESNO DEVELOPMENT &amp;                  RESOURCE MANAGEMENT DEPT'.</p>

Attachments: Notice of Intent to make a finding of Mitigated Negative Declaration for Environmental Assessment (EA) No. R-14-006, filed with the Fresno County Clerk

Initial Study (including checklist from CEQA Guidelines Appendix G)

Master Environmental Impact Review (MEIR) Summary

Project-Specific Mitigation Measure Monitoring Plan

MEIR Mitigation Monitoring Checklist

**CITY OF FRESNO  
NOTICE OF INTENT TO ADOPT A  
FINDING OF MITIGATED NEGATIVE DECLARATION**

**ENVIRONMENTAL ASSESSMENT (EA)  
No. T-6063/C14-018**

Prepared for  
**Vesting Tentative Tract Map No. T-6063 and  
Conditional Use Permit (CUP) No. C-14-018**

**APPLICANT:**

Gary Giannetta  
Gary G. Giannetta Civil Engineering & Land Surveying  
1119 S Street  
Fresno, California 93721

**SUBDIVIDER AND PROPERTY OWNER:**

Copper Park, LLC  
1398 West Herndon Avenue, Suite 101  
Fresno, California 93711

FILED WITH:

**FILED**  
E201410000134  
MAY 30 2014

FRESNO COUNTY CLERK  
By *Asahel*  
DEPUTY

FRESNO COUNTY CLERK  
2221 Kern St., Fresno, CA 93721

**PROJECT LOCATION:**

1025 East Carnoustie Avenue, in the City of Fresno (which is located in the County of Fresno), on the southeast corner of North Friant Road and East Copper Avenue (see vicinity map, pg. 3)

Assessors Parcel No. 577-210-54

Township 12 South, Range 20 East, Section 14, Mount Diablo Base & Meridian

Latitude 36°53'43"N, Longitude 119°45'55"W (centroid)

**PROJECT DESCRIPTION:** The proposed project comprises 1.78 acres of property planned for Medium Density Residential use in the 2025 Fresno General Plan and Woodward Park Community Plan, and zoned R-1/EA/UGM, *Single Family Residential District/Expressway Area Overlay/Urban Growth Management Area*. The applicant seeks to develop a 10-lot Planned Unit Development and to modify property development standards, reducing R-1 District yard setbacks, under CUP No. C-14-018. The project includes vacation of a public roadway. This street vacation has been evaluated in the City of Fresno Vacation Feasibility Study (Public Works File No. 11763).

## **SUMMARY OF INITIAL STUDY FINDINGS**

The City of Fresno has conducted an environmental analysis for the above-described project, contained in the attached initial study. The project has been determined to be a subsequent project that is not fully within the scope of the Master Environmental Impact Report No. 10130 ("MEIR") prepared for the 2025 Fresno General Plan (SCH # 2001071097) and Mitigated Negative Declaration ("MND") prepared for City of Fresno Plan Amendment No. A-09-02/Air Quality Update to the 2025 General Plan (SCH # 2009051016). Therefore, the City of Fresno, as Lead Agency, proposes to adopt a Finding of Mitigated Negative Declaration for this project.

The completed environmental impact checklist, its associated narrative, and proposed mitigation measures reflect applicable comments of responsible and trustee agencies, as well as research and analysis conducted to examine the interrelationship between the proposed project and the physical environment. The information contained in the project application and its related environmental assessment application, responses to requests for comment, checklist, initial study narrative, and any attachments thereto, combine to form a record indicating that an initial study has been completed in compliance with the California Environmental Quality Act and CEQA Guidelines.

All new development activity and many non-physical projects contribute directly or indirectly toward cumulative impacts on the physical environment. It has been determined that the incremental effect contributed by this project toward cumulative impacts is not considered substantial or significant in itself, and/or that cumulative impacts accruing from this project may be mitigated to less than significant with application of feasible mitigation measures.

For some categories of potential impacts, the checklist may indicate that a specific adverse environmental effect has been identified which is of sufficient magnitude to be of concern. Such an effect may be inherent in the nature and magnitude of the project. The completed environmental checklist form indicates whether an impact would be less than significant with mitigation, or less than significant. Effects so rated are not sufficient in themselves to require the preparation of an Environmental Impact Report, and have been mitigated to the extent feasible.

The project is not located on a site which is included on any of the lists enumerated under Section 65962.5 of the Government Code including, but not limited to, lists of hazardous waste facilities, land designated as hazardous waste property, hazardous waste disposal sites and others, and the information in the Hazardous Waste and Substances Statement required under subdivision (f) of that Section.

The initial study has concluded that the proposed project will not result in any adverse effects which fall within the "Mandatory Findings of Significance" contained in Section 15065 of the State CEQA Guidelines.

With the project specific mitigation imposed, there is no substantial evidence in the record that this project may have additional significant, direct, indirect or cumulative effects on the environment that are significant and that were not identified and analyzed in the MEIR or the MND for the Air Quality Update. After conducting a review of the adequacy of the MEIR and the Air Quality MND pursuant to Public Resources Code Section 21157.6(b)(1), the Development and Resource Management Department, as lead agency, finds that no substantial changes have occurred with respect to the circumstances under which the MEIR was certified and the Air Quality MND was adopted, and that no new information has become available which was not known and could not have been known at the time that the MEIR was certified and the Air Quality MND was adopted.

Additional information on the proposed project, including a copy of the proposed environmental findings in electronic format (on CD-ROM), may be obtained from the City of Fresno Development and Resource Management Department, City Hall, 2600 Fresno Street, Room 3076, Fresno, California, 93721. If you would like more information, or for an electronic copy of the environmental finding, please contact Sandra Brock at (559) 621-8041, or by email directed to [sandra.brock@fresno.gov](mailto:sandra.brock@fresno.gov).

**INITIAL STUDY PREPARED BY:**

*Sandra L Brock*

Sandra I. Brock, Planner III

**SUBMITTED BY:**

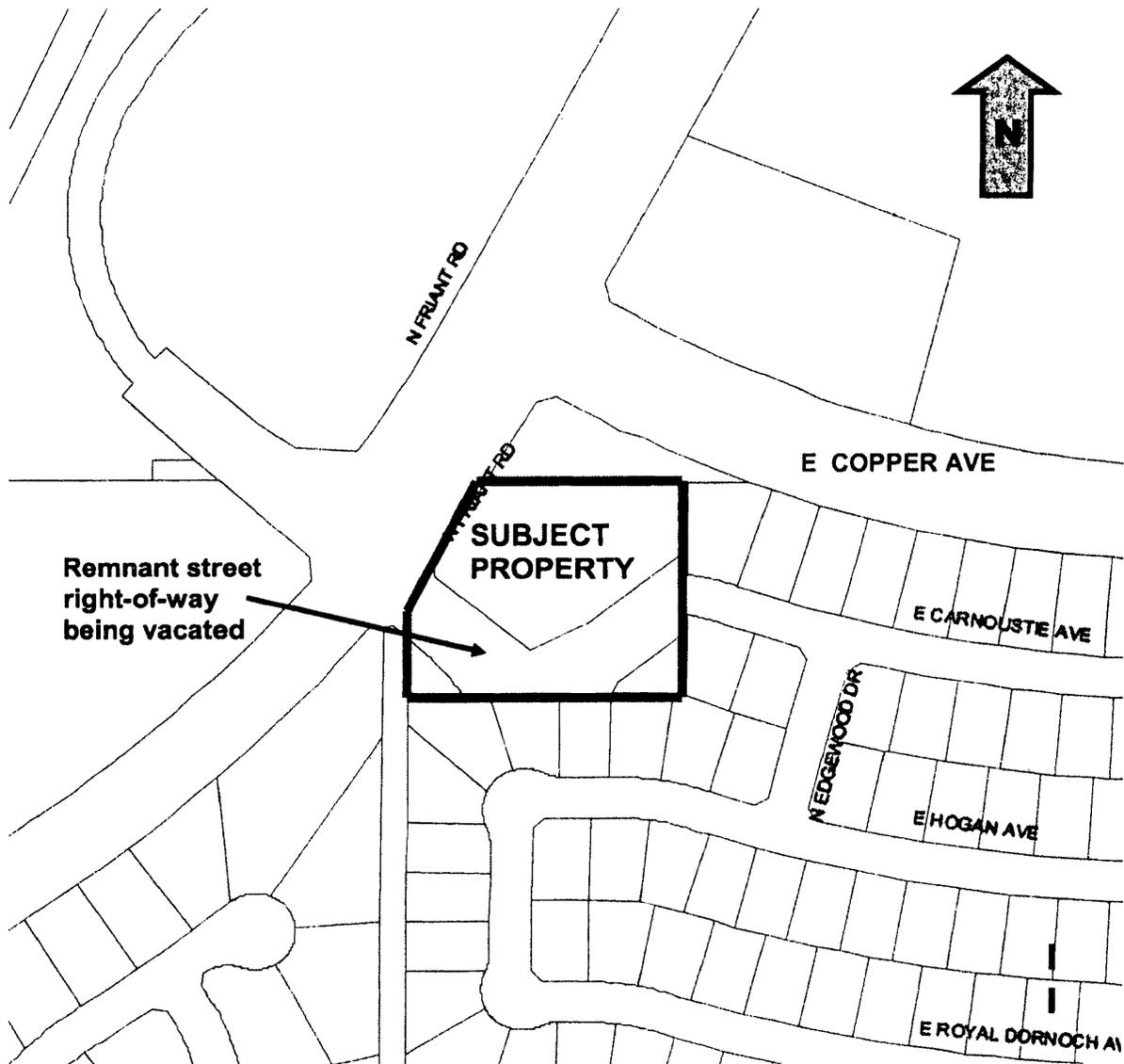


Bonique Emerson, Supervising Planner

DATE: May 30, 2014

CITY OF DEVELOPMENT AND  
RESOURCE MANAGEMENT DEP'T.

**Project Vicinity Map:**



E201410000134

## EXHIBIT A

**INITIAL STUDY, USING A MODIFIED CEQA GUIDELINES APPENDIX G CHECKLIST**  
analyzing a subsequent project under City of Fresno Master Environmental Impact Report (MEIR) No. 10130 (SCH No. 2001071097) prepared for the 2025 Fresno General Plan, and the Mitigated Negative Declaration adopted for Environmental Assessment No. A-09-02 (SCH No. 2009051016), prepared for Air Quality Update to the General Plan

### **ENVIRONMENTAL ASSESSMENT NO. T-6063/C-14-018**

**May 30, 2014**

1. **Project title:**  
Vesting Tentative Tract No. T-6063 and Conditional Use Permit No. C-14-018
  
2. **Lead agency name and address:**  
City of Fresno Development and Resource Management Department (DARM)  
2600 Fresno Street, 3<sup>rd</sup> Floor  
Fresno, CA 93721-3604
  
3. **Contact person and phone number:**  
Sandra Brock, Planner III  
Planning Division, DARM (see address above)  
Phone: (559) 621-8041; Fax: (559)- 498-1026; email:  
*sandra.brock@fresno.gov*
  
4. **Project location:** (see attached aerial photo, vicinity map, and Assessor's Parcel map, and diagram of the proposed project)  
  
1025 East Carnoustie Avenue, in the City of Fresno (which is located in the County of Fresno), on the southeast corner of North Friant Road and East Copper Avenue (see vicinity map, pg. 3)  
  
Assessors Parcel No. 577-210-54  
  
Township 12 South, Range 20 East, Section 14, Mount Diablo Base & Meridian  
Latitude 36°53'43"N, Longitude 119°45'55"W (centroid)
  
5. **Project sponsor's name and address:**  
Gary Giannetta (applicant of record)  
Gary G. Giannetta Civil Engineering & Land Surveying  
1119 S Street  
Fresno, California 93721  
  
on behalf of subdivider and property owner  
Copper Park, LLC  
1398 West Herndon Avenue, Suite 101  
Fresno, California 93711

6. **General/Community Plan Land Use Designation changes proposed:**

None

7. **Zoning Classification and changes proposed:**

None.

8. **Description of project:**

The Vesting Tentative Tract Map (VTTM) No. 6063/UGM and Conditional Use Permit (CUP) Application No. C-14-018 seek authorization to develop a 10-lot Planned Unit Development and to modify property development standards, reducing R-1 District yard setbacks, on 1.78 acres of vacant, undeveloped land. The project includes vacation of previously dedicated public roadway, evaluated in the City of Fresno Vacation Feasibility Study (Public Works File No. 11763)..

9. **Surrounding Land Uses and Setting:**

The subject property comprises vacant land surrounding a previously dedicated major street intersection which is no longer consistent with City circulation plans and which has no major street connections (surrounding portions of this roadway having previously been vacated). The site borders an expressway and planned multi-purpose trail alignment on its northwesterly corner, beyond which lies the San Joaquin Riverbottom area, specifically property formerly involved in aggregate mining with a remaining paving material plant. A power line easement is located along the westerly boundary of the subject property. Residential development borders its south and east sides, and a public park & ride lot is immediately north of the subject property.

	<b>Planned Land Use</b>	<b>Existing Zoning</b>	<b>Existing Land Use</b>
<b>North</b>	Parking	<b>P/UGM</b> <i>(Parking District/Urban Growth Management Area)</i>	Park & Ride Lot
<b>South</b>	Medium-Low Density Residential	<b>R-1/UGM</b> <i>(Single Family Residential District/ UGM Area)</i>	Developed housing subdivision
<b>East</b>	Medium-Low Density Residential	<b>R-1/UGM</b>	Developed housing subdivision

*(continued)*

	<b>Planned Land Use</b>	<b>Existing Zoning</b>	<b>Existing Land Use</b>
<b>West</b>	Multi-Use Open Space	<b>AE-20</b> (County) <i>(Exclusive Twenty-Acre Agricultural District)</i> and <b>AE-5/UGM</b> <i>(Exclusive Five-Acre Agricultural District/ UGM Area)</i>	Surface mining site being reclaimed

10. **Other public agencies whose approval is required** (e.g., permits, financing approval, or participation agreement):

Development allowed pursuant to the requested tentative tract map and conditional use permit may require approvals from the City of Fresno Department of Public Works and City of Fresno Department of Public Utilities. The construction stormwater permit would require approval by the California Water Board, with oversight authority delegated to the Fresno Metropolitan Flood Control District (a local agency). Mobile construction equipment may be required to be permitted by the San Joaquin Valley Air Pollution Control District. Required covenant(s) require(s) acceptance by the Fresno County Recorder.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

Pursuant to Public Resources Code Section 21001.1, and 21080, the purpose of this initial study is to analyze the potential environmental impacts of the project, to determine whether the project would have significant adverse environmental impacts requiring preparation of an Environmental Impact Report, or whether adverse impacts may be mitigated below a level of significance with features incorporated into the project and imposition of mitigation measures.

It is noted that the environmental setting for this project and a range of potential environmental effects of development and use of land in the City of Fresno Sphere of Influence were described in the Environmental Impact Report (EIR) certified for the 2000 Fresno County General Plan Update, State Clearinghouse (SCH) No 99051024; the Master Environmental Impact Report (MEIR) certified for the 2025 Fresno General Plan (SCH # 2001071097), and the Mitigated Negative Declaration (MND) approved for City of Fresno Plan Amendment A-09-02, the Air Quality Update to the 2025 Fresno General Plan (SCH # 2009051016).

Environmental factors checked below would be potentially affected by this project, although none of the impacts would be potentially significant with application of project-specific mitigation measures:

<input type="checkbox"/> Aesthetics	<input type="checkbox"/> Agriculture and Forestry Resources	<input type="checkbox"/> Air Quality
<input type="checkbox"/> Biological Resources	<input type="checkbox"/> Cultural Resources	<input checked="" type="checkbox"/> Geology /Soils
<input type="checkbox"/> Greenhouse Gas Emissions	<input type="checkbox"/> Hazards & Hazardous Materials	<input checked="" type="checkbox"/> Hydrology/ Water Quality
<input type="checkbox"/> Land Use/Planning	<input type="checkbox"/> Mineral Resources	<input checked="" type="checkbox"/> Noise
<input type="checkbox"/> Population/Housing	<input type="checkbox"/> Public Services	<input type="checkbox"/> Recreation
<input type="checkbox"/> Transportation/Traffic	<input checked="" type="checkbox"/> Utilities/Service Systems	<input type="checkbox"/> Mandatory Findings of Significance

**DETERMINATION:** On the basis of this initial evaluation:

I find that, although some aspects of the activities that would be allowed subsequent to the proposed project could have some adverse effects on the environment, those effects would not result in a significant adverse effect because revisions in the project have been made and project-specific mitigation measures will be applied, as agreed to by the project proponent. I further find that the project will not have additional significant adverse effects on the environment beyond those identified in City of Fresno Master Environmental Impact Report No. 10130 (SCH No. 2001071097) certified for the 2025 Fresno General Plan and the Mitigated Negative Declaration approved for Plan Amendment No. A-09-02/ Air Quality Update to the General Plan SCH No. 2009051016).

Therefore, A MITIGATED NEGATIVE DECLARATION will be prepared.

X \_\_\_\_\_  
Sandra L. Brock, Planner III, City of Fresno

May 30, 2014

## EVALUATION OF POTENTIAL ENVIRONMENTAL IMPACTS

1. For purposes of this Initial Study, the following answers have the corresponding meanings:
  - a. "No Impact" means the subsequent project will not cause any additional significant effect related to the threshold under consideration which was not previously examined in the MEIR or Air Quality MND (see attached Exhibit B for a summary of MEIR findings).
  - b. "Less Than Significant Impact" means there is an impact related to the threshold under consideration that was not previously examined in the MEIR or Air Quality MND, but that impact is less than significant;
  - c. "Less Than Significant with Mitigation Incorporation" means there is a potentially significant impact related to the threshold under consideration that was not previously examined in the MEIR or Air Quality MND, however, with the mitigation incorporated into the project, the impact is less than significant.
  - d. "Potentially Significant Impact" means there is an additional potentially significant effect related to the threshold under consideration that was not previously examined in the MEIR or Air Quality MND.
2. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
3. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
4. Once the lead agency has determined that a particular physical impact may occur, the checklist answers must then indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect may be significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
5. A "Finding of Conformity" is a determination based on an initial study that the proposed project is a subsequent project identified in the MEIR and that it is fully within the scope of the MEIR and Air Quality MND because it would have no additional significant effects that were not examined in the MEIR or the Air Quality MND.
6. "Negative Declaration: Less Than Significant With Mitigation Incorporated" applies

where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less Than Significant Impact." The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from Section XVII, "Earlier Analyses," may be cross-referenced).

7. Earlier analyses may be used where, pursuant to the tiering, program EIR or MIER, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in the MEIR or another earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are "Less than Significant with Mitigation Measures Incorporated," describe the mitigation measures which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
8. Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
9. Supporting Information Sources: A list should be attached, and other sources used or individuals contacted should be cited in the discussion.
10. This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project's environmental effects in whatever format is selected.
11. The explanation of each issue should identify:
  - a. The significance criteria or threshold, if any, used to evaluate each question; and
  - b. The mitigation measure identified, if any, to reduce the impact to less than significance.

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
I. AESTHETICS -- Would the project:				
a) Have a substantial adverse effect on a scenic vista?				x
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				x
c) Substantially degrade the existing visual character or quality of the site and its surroundings?				x
d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?				x

The project would not adversely affect scenic vistas or scenic resources in the City of Fresno, because the Friant Road alignment is elevated with respect to nearby residential areas, and is also elevated with respect to the San Joaquin Riverbottom and the former aggregate mining operation west of the project. Friant Road also has soundwalls and fences which further obstruct the view of San Joaquin Riverbottom features. The subject property does not include any scenic resources such as trees, rock outcroppings, or historic structures.

The proposed project would not degrade Fresno's existing visual character or create a new source of substantial light or glare because the subject property comprises a small infill project with the same improvements as surrounding projects, including aesthetically designed homes and down-directed street and area lighting necessary for public safety.

*Therefore, no project-specific mitigation for aesthetic impacts is required.*

ENVIRONMENTAL ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>II. AGRICULTURE AND FORESTRY RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. -- Would the project:</p>				
<p>a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?</p>				x
<p>b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?</p>				x
<p>c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?</p>				x
<p>d) Result in the loss of forest land or conversion of forest land to non-forest use?</p>				x

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?				x

The project would not adversely affect agricultural or forestry resources, and would not degrade Fresno’s existing visual character or create a new source of substantial light or glare because the subject property is already fully developed.

Approval of this subdivision would constitute infill development which would prevent potential cumulative consumption of agricultural land for additional nonresidential development in the Fresno metropolitan area. Therefore, this project facilitates utilization of land in the already-urbanized area, and inhibits sprawl.

Mitigation Measures

The proposed project incorporates and implements as applicable MEIR mitigation measures relating to agricultural land preservation as identified in the attached Exhibit C, MEIR Mitigation Measure Monitoring Checklist, dated May 30, 2014.

*No project-specific mitigation for agricultural or forestry impacts is required.*

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
III. AIR QUALITY AND GLOBAL CLIMATE CHANGE - (Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations.) -- Would the project:				

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
a) Conflict with or obstruct implementation of the applicable air quality plan (e.g., by having potential emissions of regulated criterion pollutants which exceed the San Joaquin Valley Air Pollution Control Districts (SJVAPCD) adopted thresholds for these pollutants)?				X
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?			X	
c) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?			X	
d) Expose sensitive receptors to substantial pollutant concentrations?				X
e) Create objectionable odors affecting a substantial number of people?				X

Environmental and regulatory setting with regard to air quality

The project is located in Fresno County and within the San Joaquin Valley Air Basin (SJVAB). This region has had chronic non-attainment of federal and state clean air standards for ozone/oxidants and particulate matter due to a combination of topography and climate. Some air pollutants are fairly constant throughout the year in the region, while others vary in concentration according to location and are changeable from day to day and even hour to hour, due to complex interactions of topography, climate, and weather.

Regional factors affect the accumulation and dispersion of air pollutants within the SJVAB. The SJVAB is approximately 250 miles long, averages 35 miles wide, and is the second largest air basin in the state. Its climate characteristics are essentially defined by geography: the floor of the Valley is flat (with a slight downward gradient to the northwest) and is hemmed in on three sides by mountain ranges:

- the Sierra Nevada to the east rises from 8,000 to 14,000 feet in elevation;
- the Tehachapi mountains in the south range from 5,000 to 8,000 feet in elevation; and
- the Coast Range in the west averages 3,000 feet in elevation.

The Coast Range barrier has an opening to the Pacific Ocean at the Carquinez Straits where the San Joaquin-Sacramento Delta empties into San Francisco Bay and via the Altamont Pass. However, air entering the Valley at these points carries pollutants and pollutant precursors from urbanized coastal areas. (In turn, the SJVAB contributes pollutants and precursors to downwind air basins when air escapes the Valley through mountain passes or high-level flows.) Topography, wind speed and direction, temperature, inversion layers, precipitation, and fog exacerbate the air quality problem in the SJVAB. These factors can combine to create air pollution and affect the ability of the atmosphere to disperse pollutants.

The Valley has a Mediterranean climate, with a high number of sunny days (over 260 per year, on the average) and little or no measurable precipitation for several months of the year. High temperature readings in summer average 95°F. This fosters photochemical reactions in the atmosphere that generate oxidants and particulate matter.

Summertime wind speed and direction data indicate that the Valley's air mass moves from the north end of the Valley and flows in a south-southeasterly direction through the Valley, through Tehachapi pass, into the Southeast Desert Air Basin.

During the winter, average high temperatures in the winter are in the 50s and the average daily low temperature is 45°F. Temperatures below freezing are unusual, but highs in the 30s and 40s can occur on days with persistent fog and low cloudiness. Wintertime wind speed and direction data indicate that prevailing flows occasionally reverse, with wind originating from the south end of the Valley and blowing in a north-northwesterly direction. While the Valley generally experiences light winds (less than 10 mph), more disturbed weather conditions with stronger ground level winds can generate fugitive dust and exacerbate particulate matter pollution. Winter also predisposes the SJVAB to inversion layers, where warm air in the upper atmosphere caps cold air at lower elevations, with little or no normal convection to mix the air mass. Inversions can exist at the surface or at any height above the ground, and tend to act as a lid on the Valley, holding in the pollutants that are generated here.

Occurrences of high barometric pressure at any time of the year tend to cause the Valley atmosphere to stagnate and allow pollutants to concentrate. These factors create

a climate conducive to elevated particulate matter (PM10 and PM2.5) concentrations and accumulation of carbon monoxide (CO).

Valley air quality has adverse impacts on human health, a situation rendered more serious due to the elevated proportion of sensitive persons (children and the elderly) in the local population. Childhood and adult asthma are prevalent and there with a high level of asthma mortality in the region. Outdoor recreation is often contraindicated, which has secondary cardiopulmonary effects from lack of physical activity.

The San Joaquin Valley Air Pollution Control District (hereinafter, "APCD") is the local regional jurisdictional entity charged with attainment planning, rulemaking, rule enforcement, and monitoring under Federal and State Clean Air Acts and Clean Air Act Amendments. In the early 1990s, this agency was created to replace the separate air pollution authorities formerly administered by individual Valley Counties. The regional APCD has provided a means to undertake regional climatology studies for understanding transport and evolution of air pollutants, and a comprehensive approach to reducing air pollution in the entire Valley.

The SJVAPCD has promulgated a series of air quality attainment plans pursuant to requirements of Federal and state Clean Air Acts, complementing the efforts of the California Air Resources Board. These plans include a range of strategies to improve air quality through land use planning and transportation control measures, vehicle inspection programs, industrial point source permit controls, emission offsets, incentive programs to replace higher-polluting equipment/vehicles with newer/cleaner technologies, and even regulations aimed at reducing the amount of pollutants transported into the Valley from the coastal (Bay) area. APCD Rulemaking efforts have focused on cost-effective technologies and measures which have aimed to reduce the most pollutants at the least cost on a regional basis.

Through these attainment plans and implementing regulations (*e.g.*, Rules), the APCD has reduced emissions of pollutants and pollutant precursors overall and has achieved attainment of some national ambient air quality standards. However, ozone/oxidant air pollution is a refractive problem. The SJVAB has a current designation of Extreme Non-Attainment. Full attainment is not projected until year 2024.

The 2025 Fresno General Plan, augmented by Plan Amendment No. A-09-02 (the Air Quality Update), contains significant City policy direction for measures to reduce potential air pollution and reduce emissions of greenhouse gases. While MEIR No. 10130 was certified with adoption of an over-riding consideration for the intractable regional air pollution problem, policies of the General Plan, MEIR mitigation measures, and additional policies added through the Air Quality Update require that restrictions and standards be applied to reduce pollution emissions as much as possible.

APCD Rules form the main strategy for attaining National and State Ambient Clean Air Standards. Some APCD Rules would apply to aspects of using the subject property for the requested uses; for example, tenant activities may involve application of architectural coatings, use of mobile equipment, boilers, bakery and grill facilities, etc.

Compliance with the applicable APCD regulations would prevent and reduce the emission of air pollutants.

The project will not occur at a scale or scope with potential to contribute substantially or to existing or projected air quality violations, impacts, or increases of criteria pollutants for which the San Joaquin Valley region is under an applicable federal or state ambient air quality standard (including releasing emissions that exceed quantitative thresholds for ozone precursors). The proposed project is not proposing a use which will create objectionable odors.

The project's cumulative contribution to emissions would be *de minimis*, and counterbalanced by the infill nature of the project. Its location abutting a planned regional multi-modal trail and existing park & ride lot on a major roadway is consistent with planning policies aimed at "smart growth," development along major transportation corridors which provides an enhanced opportunity for vehicle trip avoidance through alternative transportation, ridesharing, and mass transit.

The developer is required to comply with all applicable air quality rules and regulations. The project proposes only ten dwelling units, and therefore falls below the threshold for the APCD Indirect Source Review Rule. However, during its construction and subsequent maintenance activities, other APCD rules will apply, preventing and limiting emissions associated with architectural coatings, paving operations, and combustion appliances.

Because the size of the project site falls below the APCD's threshold for a formal Dust Control Plan, a specific condition of approval will be applied to the project requiring dust suppression consistent with APCD Regulation VIII practices during grading and excavation operations.

Therefore, the project would not have a potentially significant adverse impact on air quality or global climate change impacts perceived to occur as a result of the proposed project.

#### Mitigation Measures

1. The proposed project shall implement and incorporate, as applicable, air quality-related mitigation measures Nos. B-5 through B-7, and C-1 as identified in attached Exhibit C, the MEIR Mitigation Measure Monitoring Checklist for this project, dated May 30, 2014.
2. The proposed conditions of approval for the project shall incorporate dust control requirements consistent with those of Regulation VIII Rules for grading and excavation operations.

ENVIRONMENTAL ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
IV. BIOLOGICAL RESOURCES -- Would the project:				
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?				X
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?				X
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?				X
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?				X

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?				x
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?				x

The project would not adversely affect habitat, wetlands, plants or wildlife, migratory routes, conservation plans, or other biological resources because no known resources of this type exist on the premises. The project has no vegetation or wetlands to provide habitat.

*No project-specific mitigation for biological resources is required.*

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
V. CULTURAL RESOURCES -- Would the project:				
a) Cause a substantial adverse change in the significance of a historical resource as defined in CEQA Guidelines §15064.5?			x	
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5?			x	

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?			x	
d) Disturb any human remains, including those interred outside of formal cemeteries?			x	

The project is not expected to adversely affect cultural resources because there are no known cultural sites in the immediate vicinity and no such resources were revealed on the premises during prior grading activities at the property.

However, there is the potential for previously unknown, and unanticipated, cultural resources to be discovered during development of this 1.78 acres; therefore, specific mitigation measures from the MEIR Mitigation Monitoring Checklist relating to cultural resources will be imposed on this project and reiterated in the proposed conditions of approval for the project for emphasis.

#### Mitigation Measures

The proposed project shall implement and incorporate, as mitigation measures Nos. J-1 through J-4 related to potential cultural and paleontological resources as identified in the attached Exhibit C, MEIR Mitigation Measure Monitoring Checklist for this project, dated May 30, 2014.

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
VI. GEOLOGY AND SOILS -- Would the project:				
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.				x
ii) Strong seismic ground shaking?				x
iii) Seismic-related ground failure, including liquefaction?				x
iv) Landslides?				x
b) Result in substantial soil erosion or the loss of topsoil?				x
c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?			x	
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?				x
e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?				x

Fresno has no known active earthquake faults, and is not in any Alquist-Priolo Special Studies Zones. The immediate Fresno area has extremely low seismic activity levels, although shaking may be felt from earthquakes whose epicenters lie to the east, west, and south. Known major faults are over 50 miles distant and include the San Andreas Fault, Coalinga area blind thrust fault(s), and the Long Valley, Owens Valley, and White Wolf/Tehachapi fault systems. The most serious threat to Fresno from a major earthquake in the Eastern Sierra would be flooding that could be caused by damage to dams on the upper reaches of the San Joaquin River.

Fresno is classified by the U.S. Geologic Survey as being in a moderate seismic risk zone, Category "C" or "D," depending on the soils underlying the specific location being categorized, the project's location's proximity to the nearest known fault lines, the occupancy classifications of new structures, and their type of construction.. All new structures are required to conform to current seismic protection standards in the current California Building Code. California Building Code seismic design standards will be required for construction permits sought for subsequent development of the subject property.

Despite long-term overdrafting of groundwater that has lowered the static groundwater level under Fresno by as much as 100 feet over the past century, negligible surface subsidence has noted in the City. This is probably due to the nature of Fresno's underlying geologic strata, which feature "lenses" of clay and hardpan layers interleaved with alluvial sand and gravel deposits.

The highly erodible face of the San Joaquin River bluff, and small areas of expansive clay in the northeastern portion of the city's Sphere of Influence, are the only unstable soil conditions known to exist in the City. These areas will not pose a problem to, or from, the proposed project due to its distance from the River Bluff and expansive clay areas in northeast Fresno.

The U.S. Department of Agriculture Natural Resource Conservation Service has extensively classified soils in, and surrounding, the City of Fresno. The native soils at the subject property were classified as Hanford fine sandy loam and Hanford fine sandy loam with a silty substratum. However, fill has been placed to elevate the property by a few feet, and it is unknown what soil classification that fill material comprises.

The 1974 Five County Seismic Safety Element, commissioned by Fresno County, noted the presence and potential for areas of expansive clays in the northeastern portion of the Fresno Metropolitan area. If this material underlies the subject property, cycles of expansion during wet conditions and contraction during dry conditions can cause cavitation which, in turn, can cause failures of slabs, foundations, and utility structures unless those improvements are engineered to protect from this risk. Since all subdivisions require a report of soil conditions prior to final approval, a project-specific mitigation will be employed to ensure that any soil investigation include a specific determination on the presence of any expansive clay soils at the subject property, and to provide recommendations for protective engineering to avoid problems related to such soils if necessary.

Mitigation Measure

The proposed tract map conditions of approval shall include a condition that the soils investigation report for the subdivision include a determination on the presence of expansive clay soils at the subject property, and if they are determined to be present, shall include recommendations on protecting structures and utilities through engineering measures.

ENVIRONMENTAL ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
VII. GREENHOUSE GAS EMISSIONS -- Would the project:				
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?			x	
b) Conflict with an applicable plan, policy or regulation adopted for the purpose of reducing the emissions of greenhouse gases?				x

Environmental and Regulatory Setting

When sunlight strikes the Earth’s surface, some of it is reflected back into space as infrared radiation. When the amount of infrared energy reaching Earth’s surface is about the same as the amount of infrared energy radiated back into space, the average ambient temperature of the Earth’s surface is expected to remain more or less constant. However, when atmospheric conditions prevent re-radiation of this infrared energy, the world’s temperature equilibrium is expected to be disturbed.

Global climate change (colloquially referred to as “global warming”) is the term coined to describe very widespread climate change characterized by a rise in the Earth’s ambient average temperatures with concomitant disturbances in weather patterns and resulting alteration of oceanic and terrestrial environs and biota. The predominant opinion within the scientific community is that global climate change is occurring, and that it is being caused and/or accelerated by human activities, primarily the generation of “greenhouse gases” (GHGs).

GHGs are gases having properties that absorb and emit radiation within the thermal infrared range, and that would cause thermal energy (heat) to be trapped the earth's atmosphere. It is believed that increased levels of greenhouse gases in the atmosphere can disturb the thermal equilibrium of the earth when natural carbon cycle processes (such as photosynthesis) are unable to absorb sufficient quantities of carbon dioxide and other GHGs in comparison with the amount of GHGs being emitted. It is believed that a combination of factors related to human activities, such as deforestation, emissions of GHG into the atmosphere from carbon fuel combustion, etc. are causing climate change.

Some GHGs occur naturally and are emitted to the atmosphere through both natural processes and human activities. Other GHGs are created and emitted solely through human activities. Water vapor is the most predominant GHG, and is primarily a natural occurrence: approximately 85% of the water vapor in the atmosphere is created by evaporation from the oceans. The major anthropogenic greenhouse gases (those that enter the atmosphere because of human activities) are carbon dioxide (CO<sub>2</sub>), methane, nitrous oxide and fluorinated gases. Some GHGs exert a much more powerful effect of trapping radiant energy in the atmosphere. The effect of methane, for instance, is 29 times as powerful as that of an equal mass of CO<sub>2</sub>. In order to describe global warming potential of these differing gases, a convention has been established to quantify GHGs in terms of equivalent quantities of CO<sub>2</sub>, and to use metric tonnes as the unit of measure for the CO<sub>2</sub> (hence the abbreviation "MMTCO<sub>2</sub>e," for million metric tonnes of CO<sub>2</sub> equivalent).

A major problem with GHGs is that most of them are not very reactive and that makes them extremely long-lived in the atmosphere. For instance, once CO<sub>2</sub> rises above the troposphere (the portion of the atmosphere where plants may absorb some of it for photosynthesis), there are no natural processes that would effectively remove it. The CO<sub>2</sub> will persist and exert its global warming effect for centuries.

GHGs were not generally thought of as air pollutants because the criterion air pollutants (such as ozone) and air toxics directly affect health at ground level in the general vicinity of their release to the atmosphere. The impacts of GHGs are global and diffuse in nature, and take time to exert effects that could harm humans. However, it has been realized that the climate changes associated with GHGs can drastically harm health and well-being around the world, not only with regard to heat-related illnesses but through broadscale changes in the environment:

- ocean level rise that would displace populations,
- economic and infrastructure damage related to ocean rise as well as heat and storm intensity;
- exacerbation of criteria air pollutants (more air pollutants are formed when the atmosphere is warm);
- spreads of infectious diseases through proliferation of mosquitoes and other vectors carrying "tropical" diseases into temperate climate zones;

- alteration of natural flora and fauna in terrestrial and aquatic environments;
- disruption of agriculture and water supply;

The last point is of particular importance to Fresno. One oft-cited prediction for global climate change is that the Sierra snowpack could be reduced to as little as 20% of its historic levels. This could have dire consequences, since over 70% of California's population relies on the "frozen reservoir" of Sierra snowpack for its water supply. Fresno's aquifer has been declining and the City's Metropolitan Water Resources Master Plan notes that the city will need to make greater use of its surface water entitlements...which are derived from Sierra snowpack.

The State of California formally acknowledges these risks and has tasked state and local governments with working toward reduction of potential global climate change. The Governor issued Executive Order No. S-03-05, and subsequently signed Assembly Bill (AB) 32, the Global Warming Solutions Act of 2006, which was codified as Health & Safety Code Section 38501 *et seq.*

There are, at this time, no "attainment" standards established by the federal or state government for greenhouse gases (although some GHGs are regulated as precursors to criteria pollutants regulated by the federal and California Clean Air Acts). However, in AB 32 the State codified a mandate to reduce GHG emissions to 1990 levels by the year 2020. In order to roll back GHG emissions to this level, a reduction of 174 MMTCO<sub>2e</sub> needs to be achieved statewide—against the background of California's general population increase and the need for ongoing land and economic development. The combination of the need to reduce GHGs and the need to grow equates to a need to reduce per capita GHG emissions by some 29% from the "business as usual" scenario of continuing the former rate of escalated GHG emissions over time.

It has been recognized that new development projects would incrementally add GHG emissions and could cumulatively exacerbate global climate change problems, even if the projects are, themselves, small in scale and do not involve powerful GHGs. In order to standardize evaluation of projects under CEQA, Senate Bill 97 (codified as Public Resources Code Sections 21083.05 and 21097) requires the State Resources Agency to adopt guidelines for addressing climate change in environmental analysis. The California Air Pollution Control Officers Association (CAPCOA) produced a comprehensive publication on this topic in August of 2010 titled *Quantifying Greenhouse Gas Mitigation Measures*, which provides methods for quantifying emission reductions via application of a specified list of project-level and municipal-level mitigation measures. This document is intended to further support the efforts of local governments to address the impacts of GHG emissions in their environmental review of projects and in their planning efforts.

In order to standardize global climate change assessments within the San Joaquin Air Basin, the SJVAPCD adopted a protocol for evaluating land use projects: the 2009 *Guidance for Valley Land Use Agencies in Addressing GHG Emission Impacts for New Projects under CEQA*. The District determined that the most appropriate assessment

criteria would be oriented to performance based standards to streamline the CEQA process for determining significance of project impacts, rather than numerical modeling of GHG emissions and emission reductions. Projects meeting the Best Performance Standards (“BPS”) established by the SJVAPCD would be determined to have a less than significant cumulative impact on global climate change. If projects could not demonstrate compliance with BPS, then a quantification of GHG emissions and demonstration of a 29% reduction in GHG emissions below the “business as usual” level will be required to determine that a project would have a less than significant cumulative impact.

City of Fresno Plan Amendment No. A-09-02, the Air Quality Update to the 2025 Fresno General Plan, augmented the City’s General Plan Resource Element/Air Quality Objectives and Policies by adding new General Plan Objective and several supporting policies, as well as expanding the MEIR Mitigation Measure Monitoring Checklist, to address global climate change through municipal activities and regulation of local development. Plan Amendment No. A-09-02 added new appendices to the 2025 Fresno General Plan, including a 2008 California Attorney General’s Office guidance document titled, “The California Environmental Quality Act Mitigation of Global Warming Impacts at the Local Agency Level” which contains specific guidance on mitigating greenhouse gas emissions through planning and regulation of development.

As noted previously, this project is comprised of only ten homes: it would not have any potential significant impact on global climate change in and of itself, and its contribution toward cumulative impacts would be *de minimis*. By utilizing the subject property for infill development, and in a location abutting a regional trail and park & ride lot on a major roadway, this project furthers the City’s GHG Mitigation program by preserving greenfield land and preventing excess vehicle miles traveled.

The project does not involve industrial activities that would generate or release potent industrial GHGs such as SF<sub>6</sub>, HFCs, or PFCs. The City of Fresno captures methane generated by its wastewater treatment facilities and combusts that in a cogeneration plant that operates under permit from the APCD. The California Building Code and statewide regulation of appliance standards will result in a high level of energy efficiency for the new homes proposed in this project. Initiatives applicable to air conditioning and refrigeration equipment will continue to reduce fluorocarbon emissions from heating, ventilation and air conditioning equipment.

*No project-specific mitigation for greenhouse gas emission is required.*

ENVIRONMENTAL ISSUE	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
VIII. HAZARDS AND HAZARDOUS MATERIAL -- Would the project:				
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			x	
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?				x
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?				x
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				x
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				x

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?				x
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?				x
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?				x

### Hazardous Materials

The subject property is not on the CalEPA list of contaminated sites, and residential properties are not permitted to engage in industrial or commercial activities which would involve the use, transport, store, and dispose of hazardous materials (outside of those approved for household cleaning and yard & garden pest control. Because the above-noted regulations relating to toxic and hazardous materials are a matter of law, the environmental assessment can rely on compliance without need for specific mitigation.

### Hazardous Facilities

The subject property is not located in any airport safety area or adjacent to any freight rail lines. Urban areas have overhead and buried power, gas, rail and communication utility lines. Regulations require that contractors verify precise locations of these lines and avoid damaging them during construction activities; again, environmental assessment can rely on compliance without need for specific additional mitigation. While the subject property is adjacent to an overhead utility line, the utility easement does not traverse the property and there is no evidence that electromagnetic fields from these lines could impair human health at the separation distances posed by the arrangement of this utility line with regard to future tract homes.

*No project-specific mitigation is necessary for hazards or hazardous materials.*

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
IX. HYDROLOGY AND WATER QUALITY -- Would the project:				
a) Violate any water quality standards or waste discharge requirements?		X		X
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			X	
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?				X
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?				X

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?		x		
f) Otherwise substantially degrade water quality?				x
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				x
h) Place within a 100-year flood hazard area structures which would impede or redirect flood flows?				x
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?				x
j) Inundation by seiche, tsunami, or mudflow?				x

**Water Supply, Water Treatment and Delivery Infrastructure**

Fresno is one of the largest cities in the United States still relying primarily on groundwater for its public water supply. Surface water treatment and distribution has been implemented in the northeastern part of the City, but the city is still subject to an EPA Sole Source Aquifer designation. The City's network of interconnected water wells/pump stations, recharge facilities, water treatment and distribution systems have been expanded incrementally and upgraded to meet increased water demands and respond to groundwater quality challenges.

While the aquifer underlying Fresno typically exceeds a depth of 300 feet and is capacious enough to provide adequate quantities of safe drinking water to the

metropolitan area for the foreseeable future, the aquifer level has been declining and localized water supply limitations with low well yields and limited storage capacity in portions of the semi-confined aquifer have evolved.

Adverse groundwater conditions have been well-documented by environmental impact reports and technical studies over recent decades, including the EIR prepared for the 1995 Fresno Metropolitan Water Resource Management Plan (SCH No. 95022029), the 2014 Metropolitan Water Resource Management Plan Update (SCH No. 2013091021) City of Fresno EIRs Nos. 10100, and 10117, and MEIR No. 10130 for the 2025 Fresno General Plan (SCH No. 2001071097). The City is attempting to stabilize aquifer levels is its historic trend of high consumptive use of water on a per capita basis (some 250 gallons per day per capita).

Another issue that the City has to manage in order to operate its water system is water quality. Increasingly stringent water quality regulations have greatly increased the cost and difficulty of supplying municipal needs via water wells. Since most of the urban water supply still comes from groundwater, Fresno has to contend with naturally occurring water contaminants such as arsenic, iron, uranium, and manganese. Human-caused groundwater degradation has also occurred in the entire region due to pollution from pesticides which were not properly evaluated prior to being marketed (chiefly, dibromochloropropane, or DBCP, and its manufacturing byproduct trichloropropane, or TCP); nitrates from on-site wastewater systems, industrial scale composting, and overuse of fertilizers on domestic and agricultural properties; salinization from wastewater and industrial brine discharges; methyl-tert-butyl ether (MTBE) from gasoline; and improper disposal of industrial solvents such as perchlorethylene (PCE) and its degradation product vinyl chloride.

Improperly abandoned water wells, and older wells constructed without restrictive casing to prevent cross-contamination between layers of the aquifer may impair groundwater quality by providing a direct conduit for shallower contamination to reach the deeper and cleaner levels of the aquifer. For that reason, the city requires that disused wells be destroyed according to procedures of the City Water Division and the most current version of the California Department of Water Resources Well Standards (DWR Bulletin 74-99 or an update thereto).

The City of Fresno works with Fresno Metropolitan Flood Control District (FMFCD), Fresno Irrigation District (FID) and the U.S. Department of the Interior Bureau of Reclamation (USBR) to ensure that the City's acreage-based surface water entitlements and contractual surface water supplies are put to the best possible use. Water demand, water supply projections, and measures to make the best use of that supply are also contained in the City's Urban Water Management Plan (UWMP). The Conservation measure of universal water metering has been implemented as mandated by the Central Valley Project Improvement Act (via the City's contract for its main surface water supply from the San Joaquin River).

The Department of Public Utilities operates a large and efficient water recharge facility ("Leaky Acres") northwest of Fresno-Yosemite International Airport, and also utilizes

suitable FMFCD drainage throughout the metropolitan area basins for its groundwater recharge program. Stormwater ponding basins provide significant opportunity to recharge the aquifer with collected precipitation runoff in the winter as well as surface water obtained from FID (primarily a Kings River supply) and the USBR (supplied by the San Joaquin River) in the months when storms are not anticipated.

Ponding Basin BZ, located on the south side of Copper Avenue east of the subject property, would accommodate the runoff from this site. This basin is planned for dual use in the FMFCD Master Plan, to be maintained for recreation during most of the year with directed recharge in the summer when stormwater capacity is not needed.

When development entitlements are approved, applicants are required to support recharge and water supply efforts by preserving the patency of FID canals and pipelines used to deliver surface water to drainage/recharge basins and downstream users. Whenever feasible, open canals are piped (to prevent accidental drowning and incidental water loss). In locations subject to vehicle travel, irrigation pipelines are required to be replaced with reinforced pipe to sustain wheel loads.

In the early 2000s, Fresno began to treat and distribute a share of its surface water via its northeast surface water treatment plant, instead of solely using its surface water supplies for recharge. The update to the Metropolitan Water Resource Management Plan makes expansion of surface water treatment a cornerstone of maximizing the City's water resources and allowing aquifer levels to recover and stabilize.

The City also adopted a Recycled Water Master Plan which would allow appropriately treated wastewater to be used for non-potable uses that may include irrigation of landscape and some types of crops where the irrigation water will not have direct contact with produce.

The purpose of these management plans is to formulate a strategy to meet the future water needs of the metropolitan area, ensuring a safe and dependable water supply that is economically feasible. The plans address the full range of existing and potential city water supplies focusing on the type and timing of water facilities and programs needed to protect water quality, combat groundwater overdraft; ensure water conservation, and provide contingency measures for drought and/or supply disruptions.

When the applications for VTTM 6063/UGM and CUP Application No. C-14-018 were routed to area responsible and trustee agencies, Fresno Irrigation District (FID) responded (see attached letter from FID, dated April 4, 2014). The subject property is not within FID boundaries and has no potential impact on FID facilities. The letter raised the issue of managing demand for water and measures to address long-term groundwater management needs. It also alleged that the City could need to acquire additional water rights to serve the project.

The Department of Public Utilities responded to these concerns in a memorandum dated April 22, 2014 (copy attached), noting that the project is consistent with already-adopted City land use and water resource management plans and, therefore, does not represent any new or unanticipated water demand. The memorandum points out that

the City already possesses ample water resources other than groundwater or Kings River Water to serve not only this project. It is further noted that the City has utilized a portion of its Bureau of Reclamation surface water entitlements in past years for groundwater recharge and in this way its water supply derived from the San Joaquin River and Kings River have become comingled. FID has partnered with the City in these activities, and would be aware that subsequently extracted groundwater could ultimately be derived from either riparian source (in addition to annual precipitation, which has been recharged).

It is further noted that the City's water utility service area encompasses land inside and outside FID boundaries, and the City manages its "portfolio" of water supply according to its adopted Master Water Resource Management Plans and Urban Water Management Plans, which do not restrict water availability according to underlying irrigation district status. The City has already achieved a 20% reduction in residential water demand in recent years, through its individual metering program and water conservation outreach. This reduction in demand has exceeded conservation targets set in the City's 2010 Urban Water Management Plan. Further efficiencies in water utilization will accrue from the recently adopted City of Fresno Recycled Water Master Plan.

The 2014 update to the Metropolitan Water Resources Management Plan and its Draft EIR demonstrate that the City's "portfolio" of water resources is sufficient to support urban development and population growth for the next fifty years, as demonstrated by its Water Resources Management Plan update. The implementation of this plan through subsequent public improvement projects will stabilize groundwater elevations (allowing the aquifer to recover), and will increase the City's utilization of its surface water entitlements by increasing the proportion of the potable water supply being supplied by treated surface water.

With regard to the proposed project, the landscape plans required to be approved under Conditional Use Permit Application No. C-14-018 are required to be reviewed for compliance with the City's landscape ordinances and with the statewide Model Water-Efficient Landscape Ordinance (MWELO). This environmental assessment may rely upon compliance with regulatory plans and ordinances.

### Wastewater Management

The City of Fresno operates the Fresno-Clovis Regional Wastewater Treatment and Reclamation Facility, located south of Jensen Avenue and west of Cornelia Avenue. This facility operates under a permit from the California Water Board, and is required to produce high quality effluent suitable for reclamation. Large-diameter sewer trunks collect wastewater throughout the metropolitan area and convey it to this facility, which has ample capacity for current needs and significant future growth.

The homes to be developed pursuant to the tract map and conditional use permit applications will be required to have sewer connections.

## Drainage, Stormwater Management, and Flood Control

As noted previously, Fresno receives low annual precipitation—but this precipitation tends to occur in episodic storm events which generate peak stormwater flows. In the absence of strong natural drainage features, the Fresno metropolitan area has had to develop extensive infrastructure to direct and contain these flows to avoid property damage. Much of Fresno's drainage infrastructure is provided by roadside surface gutters and curbing, tributary to drainage pipelines discharging into large ponding basins managed by FMFCD. The City of Fresno drainage ordinance (which governs grading practices) requires all properties to be graded so that they drain to the street and to storm drain inlets, not to abutting properties. As also noted previously, FMFCD captures these flows to the maximum extent possible for groundwater recharge purposes.

As noted previously, the subject property is in Drainage Area BZ, and runoff water will be conveyed from this property toward that basin by means of the curb and gutter system installed in East Carnoustie Avenue. FMFCD's system is engineered for a two-year design storm, meaning that its capacity could be exceeded by more intensive events. There is a hierarchy of provisions engineered into FMFCD's system to allow for higher stormwater flows, but any time that a site is bordered by an elevated obstruction (such as the wall required along Friant Road), some of those contingency measures will not be as effective.

Conditional Use Permit Application No. C-14-081 was filed for this subdivision to create the project as a planned development, which allows for deviation from some of the provisions of the Zoning Ordinance with regard to development standards. The application seeks to deviate from the standard R-1 (*Single Family Residential District*) front, rear, and side yard setbacks of 20 feet, 20 feet, and 5 feet, respectively. This would result in potential structural lot coverage much greater than the 45% allowable under R-1 standards. However, in order to protect the project from contributing to a localized or area-wide exceedance of stormwater system capacity, mitigation is being imposed on this project that structural lot coverage not exceed 50% on any lot in the tract, and that subsequent patio covers and accessory structures be included in the lot coverage limit.

### Mitigation Measures

The proposed conditions of approval for the subject project shall incorporate a mitigation measure that limits structural coverage to 50% of any lot in the tract, including patio covers and accessory structures.

The above mitigation measures are identified in attached Exhibit D, the Project-Specific Mitigation Measure Monitoring Checklist for EA No. T-6063/C-14-018, dated May 30, 2014.

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
X. LAND USE AND PLANNING - Would the project:				
a) Physically divide an established community?				x
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?				x
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?				x

The proposed project implements area plans for avoiding and mitigating adverse environmental effects, by providing infill residential development adjacent to major roadways with conveniently located alternative transportation facilities. The proposed project does not physically divide an established community and only provides for physical barriers necessary to mitigate noise and provide privacy for the future residents of the ten parcels proposed in the subdivision. It does not restrict access to any public facilities for current area residents. Its location provides for access to goods, services, recreation, and employment (see attached vicinity land use map).

Fresno does not have any established habitat plans within its boundaries and the City has not adopted a natural community conservation plan. In the Biological Resources section of this analysis, biological resources are discussed and mitigation has been incorporated into the project to protect biologically sensitive portions of the City.

Land Use Plans and Policies

The 2025 Fresno General Plan devoted considerable attention to residential development, focusing on protecting neighborhood quality of life while maximizing the efficient use of land and resources. Several of the General Plan’s Goal statements reflect this:

- Goal 1:** Enhance the quality of life for the citizens of Fresno and plan for the projected population within the moderately expanded Fresno urban boundary in a manner which will respect physical, environmental, fiscal, economic, and social issues.
- Goal 6:** Coordinate land uses and circulation systems to promote a viable and integrated multi-modal transportation network
- Goal 7:** Manage growth to balance Fresno's urban form while providing an adequate public service delivery system which is fairly and equitably financed.
- Goal 8:** Provide opportunity for a variety of affordable housing throughout the Metropolitan Area

Objective C-9 of the 2025 Fresno General Plan directs planning for the diversity and quality of residential housing, at locations necessary to provide for adequate and affordable housing opportunities. Housing patterns should support balanced urban growth, and should make efficient use of resources and public facilities.

Supporting General Plan Policy C-9-j recommends that Medium Density Residential uses shall be developed to maximize the efficient use of land.

Similarly, goals, objectives, and policies of the Woodward Park Community Plan are directed toward providing for efficient use of land while protecting the integrity of established neighborhoods; creating compatible relationships between differing housing types and densities; and providing for safe, clean and aesthetically pleasing neighborhoods while ; fostering a diversity of housing opportunities.

The proposed subdivision would retain the R-1/EA/UGM (*Single Family Residential District/Expressway Area Overlay/UGM Area*) zoning classification assigned to the subject property. That zone district is consistent with the Medium Density Residential land use designation assigned to the property in the 2025 Fresno General Plan and Woodward Park Community Plan.

Pursuant to Table 2 of the 2025 Fresno General Plan (Planned Land Use and Zone District Consistency Matrix) and pursuant to Fresno Municipal Code (FMC) Section 12-403-B-1 (Zone District Consistency Table), the existing R-1/UGM (*Single Family Residential District/Urban Growth Management Area*) zoning classification, VTTM 6063/UGM, and the conditional use CUP Application NO. C-14-018 may be found consistent with the Medium Density Residential planned land use designation for the subject property. VTTM 6063/UGM and CUP C-14-018 applications would establish residential use of the subject property at a density of 5.61 units per acre, which is within the 4.99 to 10.37 dwelling unit/acre density range established for the Medium Density Residential Land use under the General Plan and the Woodward Park Community Plan.

It requires a 200-foot building setback from the center of the nearest expressway travel lane, which is reducible to 75 feet upon demonstration of adequate noise

protection through an acoustical study. The applicant submitted an acoustical study done by Brown, Buntin, dated February 4, 2014 (copy attached). Accordingly, the Expressway Area setback along North Friant Road has been reduced to 75 feet, with imposition of effective noise mitigation via a masonry soundwall and prohibition of second floor and rooftop patios in project conditions of approval, because those elevated outdoor areas which would be higher than the yard area protected by the soundwall.

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
XI. MINERAL RESOURCES -- Would the project:				
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				x
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				x

Areas of Fresno classified as having high-quality aggregate mineral resources are depicted in Exhibit 10 of the 2025 Fresno General Plan, and are located in the San Joaquin Riverbottom. The area west of the subject property, across Friant Road, is an aggregate mineral extraction site which has ceased operation due to exhausting its feasibly recoverable deposits. Therefore, the proposed project would not create any conflicts for ongoing mining operations.

*No project-specific mitigation is required for mineral resource impacts.*

<b>ENVIRONMENTAL ISSUE</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
XII. NOISE -- Would the project result in:				
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?		x		
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?			x	
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?			x	
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?			x	
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				x
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				x

In developed areas of the community, noise conflicts often occur when a noise-sensitive land use is located adjacent to a noise generator. Urban noise is ubiquitous and generated by many sources, including major streets.

In certifying the MEIR for the 2025 Fresno General Plan (in Appendix B of City Council Resolution No. 2002-378), the City adopted a Finding of Over-Riding Consideration for significant and unavoidable adverse noise impacts that reads, in part,

“The innumerable activities associated with urban living environments typically generate noise that contributes to the ambient noise levels that occur within the community....

“The City of Fresno hereby determines that specific economic, legal, social, technological, and other considerations...outweigh the unavoidable adverse environmental effects identified in the Final MEIR, including any effects not mitigated because of the infeasibility of mitigation measures....

“The City of Fresno further determines that, based on the findings herein and the evidence in the record, the benefits identified below are each one, in and of themselves, sufficient to make a determination that the adverse environmental effects are acceptable...” [following are listings for considerations categorized as “Economic Considerations,” “Social Impacts,” “Job Creation,” “and “Provision of Affordable Housing”—each substantiated by documentation].”

There have been advances in building technology which can improve noise attenuation (as well as energy efficiency) to keep unwanted noise out of homes. However, these standards would not protect outdoor areas, such as yards, patios and balconies, from excessive roadway noise.

The subject property is located adjacent to Friant Road, an expressway and truck route with noise levels anticipated to require mitigation beyond City standard backup treatment in order to achieve compliance with Noise Element limits for outdoor noise. The 2025 Fresno General Plan MEIR requires an acoustical study for development of noise-sensitive uses (such as residences) within 2,000 feet of this segment of Friant Road. Figure VK-3 of the MEIR also identified a requirement to evaluate properties within 500 feet of East Copper Avenue with an acoustical study. The acoustical study for this project was prepared by Brown Buntin Associates (a copy is attached), and was submitted with the applications for VTTM 6063 and CUP No. C-14-018. The study was circulated for interagency review and was further reviewed by City staff.

The acoustical study noted that a berm and fence would be located along Friant Road to delineate the multi-modal trail. Staff is requiring that the fencing between this trail and the proposed subdivision be upgraded to a masonry wall, consistent with standard backup treatment for subdivisions along major streets and with requirements. The Fresno Municipal Code requires a masonry wall to be constructed between parking lots and residential areas (Fresno Municipal Code Section 12-306-H-2.a (4). Noise attenuation would also require that the existing fencing on the southerly boundary of the park & ride lot be upgraded to a masonry wall, or that a masonry wall be constructed

alongside this fence.

The acoustical study also noted that noise attenuation from standard physical barriers would not protect any patios or balconies above ground level from Friant Road noise. Therefore, the conditions of approval for Conditional Use Permit No. C-14-018 will reflect a mitigation measure disallowing elevated patios or rooftop patios on the Friant Road sides of homes in the subdivision.

Mitigation Measures

1. Construct a masonry wall between the westerly boundary of the subdivision and the multi-modal trail so that the sound barrier is at least six feet above grade level of Lots 1 and 10 of proposed Vesting Tentative Tract Map 6063/UGM and so that the sound barrier continues across the apex of the East Carnoustie Avenue cul-de-sac.
2. Construct a masonry wall at least six feet tall between the park & ride lot at the corner of East Copper Avenue and North Friant Road and the rear yards of tract lots abutting this parking lot.
3. No second story patios, balcony patios, or rooftop patios shall be permitted on the sides of tract homes which face North Friant Road.

These mitigation measures are identified in attached Exhibit D, the Project-Specific Mitigation Measure Monitoring Checklist for EA No. T-6063/C-14-018, dated May 30, 2014.

ENVIRONMENTAL ISSUES	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
XIII. POPULATION AND HOUSING -- Would the project:				
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?				x

<b>ENVIRONMENTAL ISSUES</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X

The project will provide for growth of Fresno’s housing inventory, but the project does not propose any new growth areas. The extension of infrastructure proposed by this project would serve only the ten parcels included in the project.

Housing is proposed for construction on this 1.78 acres in fulfillment of, and consistent with, the Woodward Park Community Plan, the 2025 Fresno General Plan and the current City of Fresno Housing Element;

The project would not result in the displacement of residences; it will result in the construction of residences. It will not cause a net diminution of the inventory of land available to construct housing, because the planned land use of the subject property will remain residential

<b>ENVIRONMENTAL ISSUES</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
XIV. PUBLIC SERVICES --				
a) Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				X
Fire protection?			X	
Police protection?			X	
Drainage and flood control?				X
Parks?				X
Schools?				X
Other public services?			X	

The project provides for additional construction and thus would add a small increment of service demand for fire protection, wastewater treatment, police services, drainage/flood control, parks, schools, libraries, and other public services. Project conditions of approval, and specific mitigation measures contained herein as deemed necessary, in order to mitigate those impacts.

In addition to impact fees for citywide provision of fire stations and firefighting equipment, Fresno Fire Department has imposed conditions of approval for development of this property which will mitigate any fire protection service demands (see the attached April 10, 2014 memorandum from the Fire Department)

The need for a limit on lot coverage has been described previously in the HYDROLOGY AND WATER QUALITY section of this report.

<b>ENVIRONMENTAL ISSUES</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
XV. RECREATION --				
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?				X
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?			X	

The proposed subdivision does not remove any existing recreational facilities; and adds a very small increment of demand for recreational facilities.

As previously noted, FMFCD Basin BZ is planned for joint recreational use and serves a neighborhood park function; it is located ¼ mile from the proposed subdivision, which is considered to be walking distance.

The planned multi-modal trail along Friant Road provides a linkage to other developed recreational facilities in the area. Project impact fees will provide funding to add to and improve the City's recreational open space amenities

ENVIRONMENTAL ISSUES	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
XVI. TRANSPORTATION/ TRAFFIC -- Would the project:				
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths and mass transit?				x
b) Conflict with an applicable congestion management program, including but not limited to level of service standards and travel demand measures or other standards established by the county congestion management agency for designated roads or highways?				x
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that result in substantial safety risks?				x
d) Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?			x	
e) Result in inadequate emergency access?				x

<b>ENVIRONMENTAL ISSUES</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
f) Conflict with adopted policies, plans, or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?				x

The City’s major street plans and local circulation designs are the product of careful planning that projects traffic capacity needs based on the intensities of planned land uses anticipated at build-out of the plan area. The intent is to provide adequate access, while recognizing the traffic generating characteristics of developed property, and affording the community an efficient circulation system.

When the Medium Density Residential land use was assigned to this project in the 2025 Fresno General Plan, its subsequent development (at a possible intensity of 10.37 dwelling units per acre) was factored into the traffic study and mitigated to the maximum extent feasible. The actual developed density of this project (5.61 dwelling units per acre) is lower than its potential buildout and would represent a lessening of traffic generation from that which was assessed in the MEIR.

The developer of this project will be required to pay all applicable regional, City-wide and New Growth Area street impact fees. The California Department of Transportation (Caltrans) has not identified any project related impacts to the State Highway System. Fresno County also did not identify any project-related impacts to the County’s planned roadway system.

The Public Works Department Traffic Engineering Division has reviewed the proposed vesting tentative tract map and conditional use permit application and has determined that the streets adjacent to and near the subject site will be able to accommodate the quantity and kind of traffic and pedestrian access needs generated, subject to requirements for improvements and right-of-way dedications as listed within the City of Fresno Department of Public Works memorandum dated April 21, 2014 (copy attached). To provide access to the ten lots proposed, existing local street East Carnoustie Avenue will be extended westward and will be finished with a terminus bulb meeting Public Works Department standards for local public streets (the extension of Carnoustie Avenue built by this subdivider will meet the standard 50-foot right-of-way residential street geometric standard).

The tract includes previously dedicated street right-of-way for a previously planned intersection of North Millbrook Avenue, East Copper Avenue, and North Friant Road. The City’s major street planning process has modified that design, and making most of this right-of-way no longer needed for public access purposes. However, the

vacation feasibility study (Public Works File No. 11763) pointed out that portions of this previously dedicated major street right-of-way will need to be retained by the City for the multi-modal trail along North Friant Road, and reserved for a local public street, the extension of East Carnoustie Avenue westward to its planned cul-de-sac terminus (a copy of the January 7, 2014 letter from Alan James of the Public Works Department is attached).

Staff and the applicant evaluated the possibility of providing direct access to the trail along Friant Road. Not only would acoustical protection have been impaired by an opening in the soundwall, there was a grade differential —created when this property was previously filled and elevated in order to meet drainage requirements of the Fresno Metropolitan Flood Control District Master Plan. Therefore, it was determined that American Disability Access requirements could not feasibly be met for a direct pedestrian connection between this tract and the trail.

<b>ENVIRONMENTAL ISSUES</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
XVII. UTILITIES AND SERVICE SYSTEMS -- Would the project:				
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?				x
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				x
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?				x

<b>ENVIRONMENTAL ISSUES</b>	<b>Potentially Significant Impact</b>	<b>Less Than Significant with Mitigation Incorporated</b>	<b>Less Than Significant Impact</b>	<b>No Impact</b>
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?				x
e) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?				x
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?				x
g) Comply with federal, state, and local statutes and regulations related to solid waste?				x

The City of Fresno Metropolitan Water Resource Management Plan and its update demonstrate that the City has adequate water supplies to support urban growth for future decades, including the small increment of growth that would be created by development of this ten-lot subdivision.

The proposed project is required to connections to the sewage collection and wastewater treatment system. but its small increment of additional discharge will be *de minimis* and well within the available capacity of the Fresno-Clovis Regional Wastewater Treatment and Reclamation Facility.

There is adequate capacity in solid waste recycling and disposal facilities serving the subject property to accommodate its small contribution to solid waste generation, and Fresno's recycling policies have achieved well over fifty percent waste diversion, which has generated many additional years of expected capacity in the Fresno County Landfill. The Department of Public Utilities has imposed a parking prohibition on the cul-de-sac incorporated into VTTM 6063/UGM to ensure that solid waste collection vehicles will have safe access on collection days.

ENVIRONMENTAL ISSUES	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
XVIII. MANDATORY FINDINGS OF SIGNIFICANCE --				
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?				x
b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?				x
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?				x

In summary, given the preceding analysis and mitigation measures implemented by, and being incorporated into, the text amendment, it may be concluded that the proposed project:

- does not have environmental impacts which will cause substantial adverse effects on human beings, either directly nor indirectly.
- does not have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish/wildlife or native plant species (or cause their population to drop below self-sustaining levels), does not threaten to eliminate a native plant or animal community, and does not threaten or restrict the range of a rare or endangered plant or animal.
- does not eliminate important examples of elements of California history or prehistory.
- does not have impacts which would be cumulatively considerable even though individually limited.

Therefore, there are no mandatory findings of significance, and preparation of an Environmental Impact Report is not warranted for this project.

Attachments:

1. Aerial photo of subject property
2. Vicinity map showing parcelization and zoning
3. Assessor's parcel map depicting subject property
4. Diagram of the project proposed by VTM 6063/UGM and CUP C-14-018
5. Letter from Fresno Irrigation District, dated April 4, 2014
6. Memorandum from the City of Fresno Department of Public Utilities/Water Division, responding to points raised in the FID letter of April 4, 2014
7. Map of planned land uses in project vicinity
8. Acoustical Analysis, Tract No. 6063, North Friant Road, Fresno, California, prepared by Brown-Buntin Associates, Inc., dated February 4, 2014
9. Memorandum from Fresno Fire Department regarding the proposed project, dated April 10, 2014
10. Memorandum from City of Fresno Public Works, Traffic and Engineering Division, relating to the proposed project, dated April 21, 2014
11. Letter from City of Fresno Public Works Department relating requirements for vacating the portions of previously dedicated street right-of-way on the subject property, dated January 7, 2014

Attachments (*continued*):

Exhibit B, MEIR No. 10130 Review Summary

Exhibit C, MEIR Mitigation Measure Monitoring Checklist, dated May 30, 2014

Exhibit D, Project-Specific Mitigation Measure Monitoring Checklist for EA No. T-6063/C-14-018, dated May 30, 2014

**List of Agencies and Sources Consulted**

2025 Fresno General Plan and related City of Fresno MEIR No. 10130

Fresno Municipal Code

City of Fresno Department of Public Works

Fresno Irrigation District

City of Fresno Department of Public Utilities

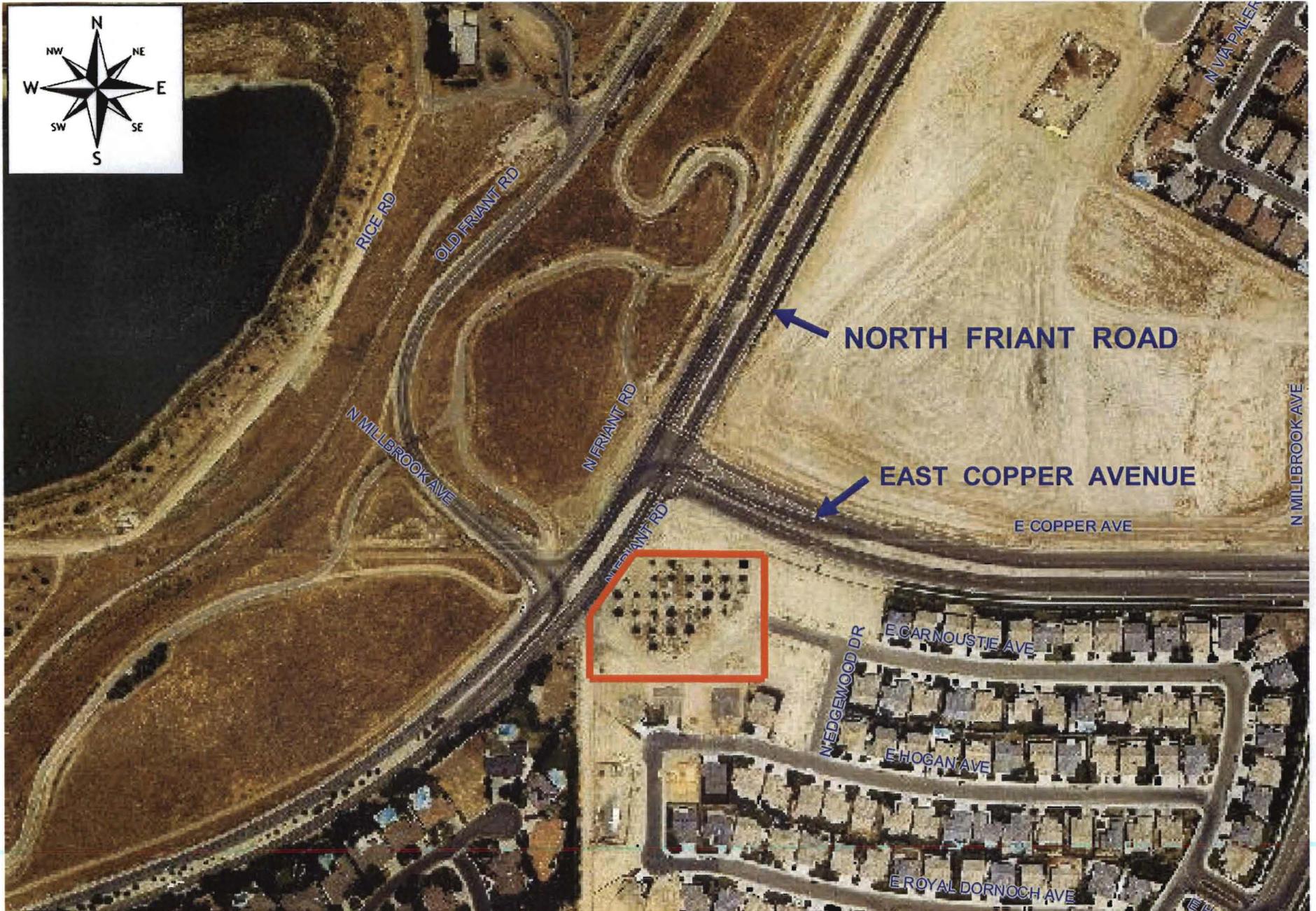
Draft EIR for the City of Fresno 2014 Metropolitan Water Resources Management Plan

Fresno Metropolitan Flood Control District

City of Fresno Development and Resource Management Department, Development Services Division, Building & Safety Services Section

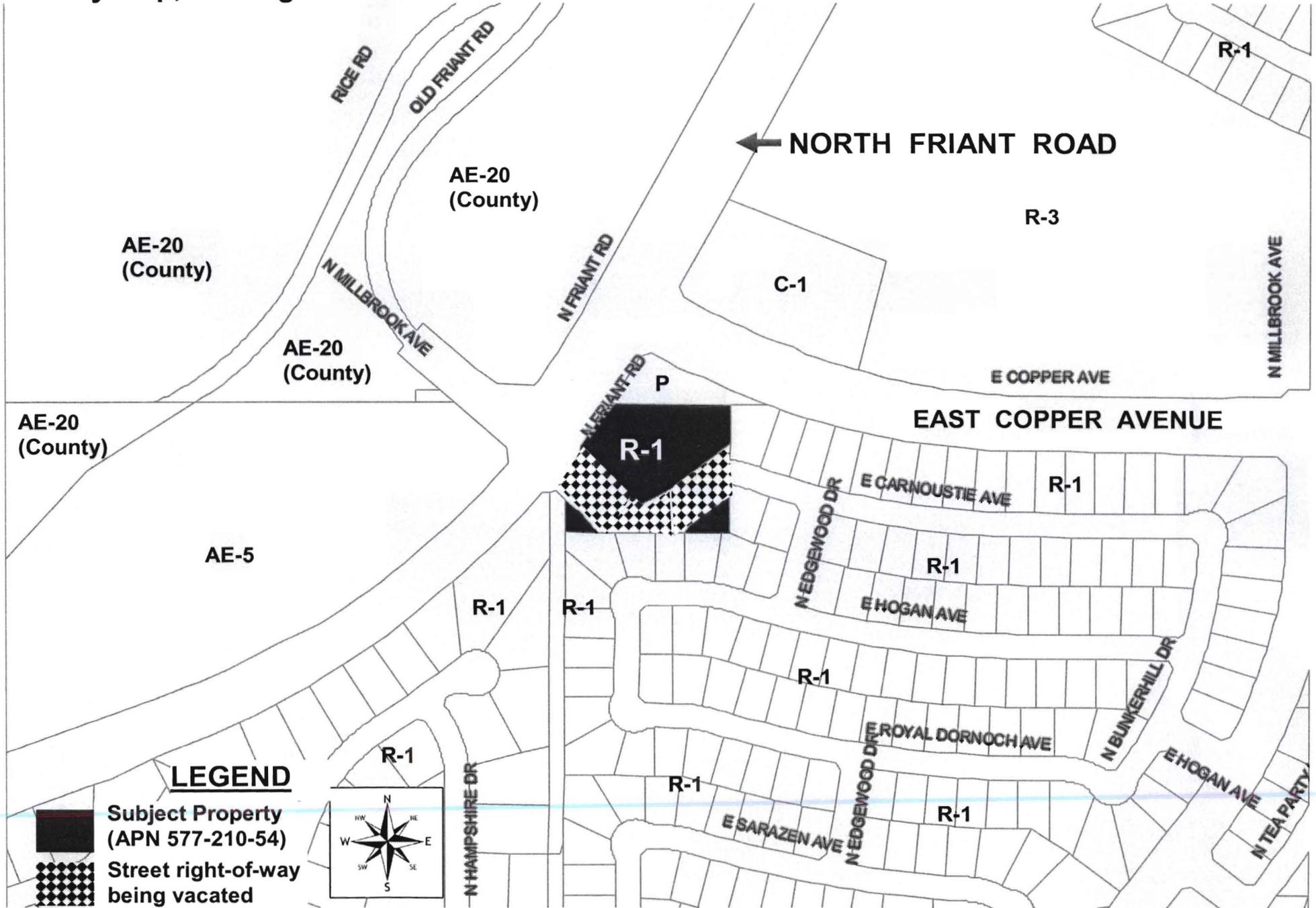
San Joaquin Valley Unified Air Pollution Control District

Fresno County Certified Unified Permit Agency (Environmental Health Services/Health Department)



2008 aerial photo, vicinity of Vesting Tentative Tract 6063/UGM and Conditional Use Permit No. C-14-018

# Vicinity Map, Vesting Tentative Tract No. 6063/UGM and Conditional Use Permit No. C-14-018



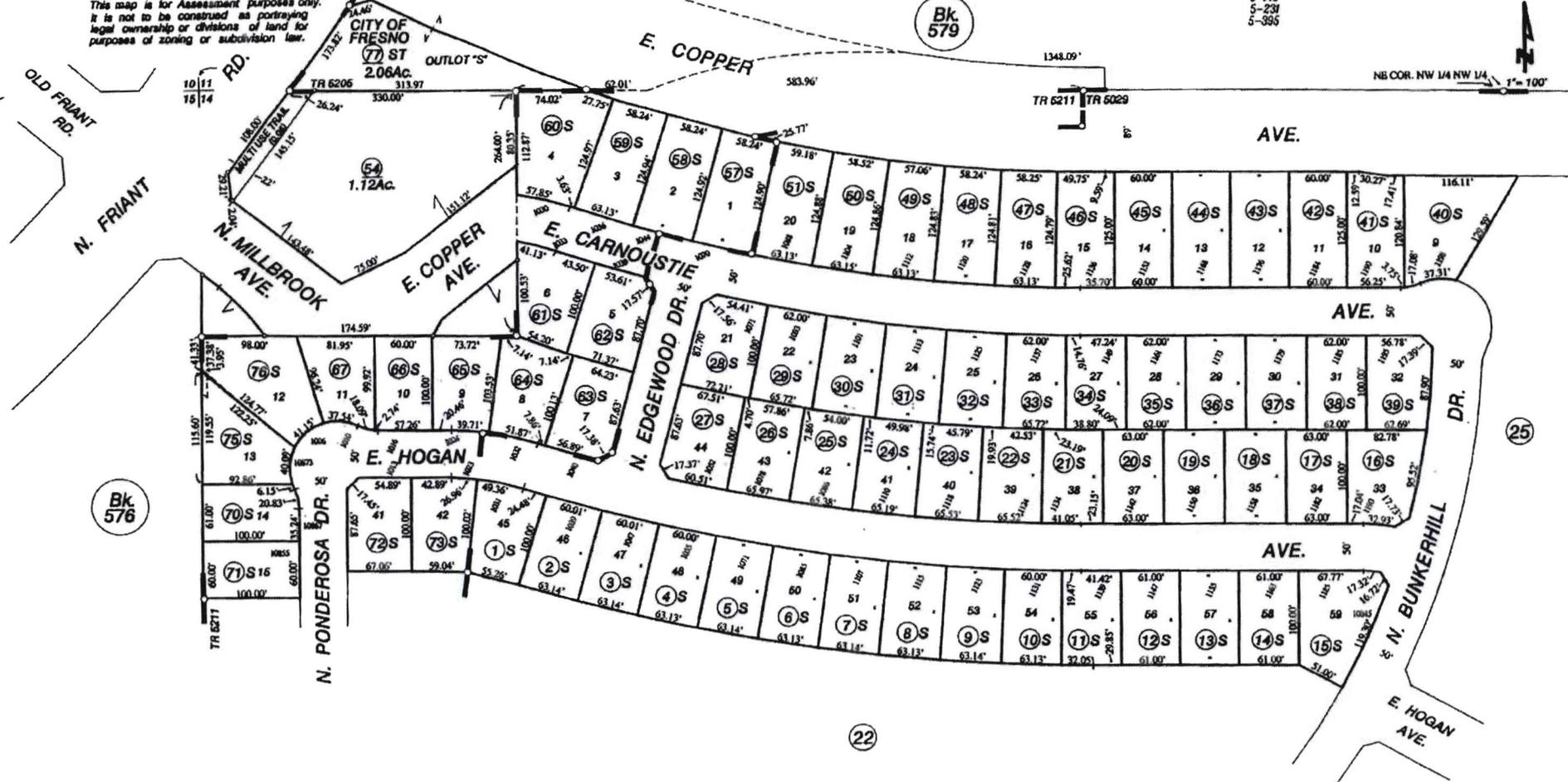
SUBDIVIDED LAND IN POR. SEC'S 11 & 14, T.12 S., R.20 E., M.D.B.& M.

Tax Rate Area

577-21

NOTE  
This map is for Assessment purposes only. It is not to be construed as portraying legal ownership or divisions of land for purposes of zoning or subdivision law.

5-145  
5-231  
5-395



Terrabella at Copper River Ranch, Amended - Tr. 5205 - Plat Bk. 76, Pgs. 46-70  
 Tract No. 5029 - Plat Bk. 68, Pgs. 76-81  
 Tract No. 5211 - Plat Bk. 75, Pgs. 23-26

Assessor's Map Bk. 577 - Pg. 21  
 County of Fresno, Calif.

NOTE - Assessor's Block Numbers Shown in Ellipses.  
 Assessor's Parcel Numbers Shown in Circles.

# TENTATIVE MAP TRACT No. 6063/

A VESTING MAP  
A PLANNED UNIT DEVELOPMENT **UGM**

APN 577-210-54  
NET AREA = 1.78 ACRES  
GROSS AREA = 2.00 ACRES

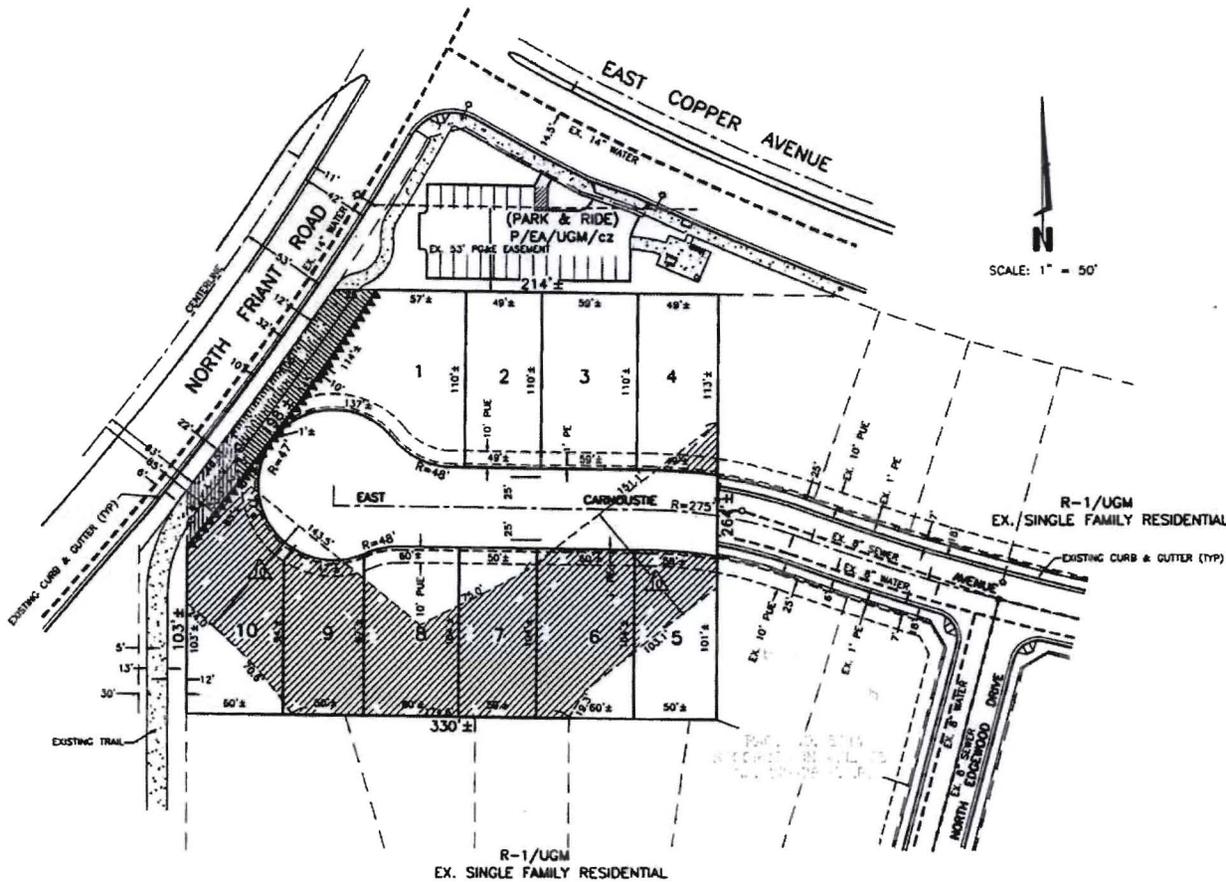
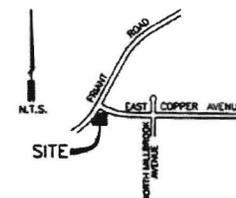
### IMPROVEMENTS TO BE INSTALLED:

1. STREETS - PUBLIC - CITY OF FRESNO STANDARDS
2. SEWER - CITY OF FRESNO STANDARDS
3. WATER - CITY OF FRESNO STANDARDS
4. CURB & GUTTER - CITY OF FRESNO STANDARDS
5. SIDEWALK - CITY OF FRESNO STANDARDS
6. STREET LIGHTS - CITY OF FRESNO STANDARDS
7. DRAINAGE - FRESNO METROPOLITAN FLOOD CONTROL DISTRICT
8. GAS & ELECTRICITY - PACIFIC GAS & ELECTRIC
9. TELEPHONE - A.T.&T.
10. CABLE TELEVISION - COMCAST

### NOTES:

1. EXISTING ZONING - R-1/UGM
2. PROPOSED ZONING - R-1/UGM
3. EXISTING USE - VACANT/UNUSED STREET EASEMENT (TO BE VACATED)
4. THERE ARE NO WELLS, CESSPOOLS, SEWER, CULVERTS, DUMPSITES OR OTHER UNDERGROUND STRUCTURES WITHIN THIS SUBDIVISION.
5. THERE ARE NOT EXISTING AREAS WITHIN THIS SUBDIVISION THAT ARE SUBJECT TO INUNDATION OR STORM WATER OVERFLOW.
6. THE SUBDIVISION DESIGN PROVIDES, TO THE EXTENT FEASIBLE, FOR PASSIVE NATURAL HEATING OR COOLING OPPORTUNITIES BY MAXIMIZING NORTH-SOUTH FACING BUILDINGS. (ALL LOTS)
7. THERE ARE NO TREES WITHIN THE PROPERTY.
8. THERE ARE NO ABOVE GROUND STRUCTURES OR USES ON THE SUBJECT PROPERTY.
9. **▲▲▲▲** - INDICATES RELINQUISHMENT OF DIRECT ACCESS RIGHTS. PREVIOUSLY DEEDED FOR PUBLIC STREET PURPOSES AS PER GRANT DEED RECORDED DECEMBER 24, 1968 IN BOOK 5645, PAGE 866, OFFICIAL RECORDS OF FRESNO COUNTY.
11.  PUBLIC STREET TO BE VACATED BY RECORDATION OF THE FINAL MAP.
-  EASEMENT AREA TO BE RESERVED BY THE CITY OF FRESNO FOR MULTI-PURPOSE TRAIL
-  PREVIOUSLY DEDICATED TO THE CITY OF FRESNO FOR MULTI-PURPOSE TRAIL

### VICINITY MAP:



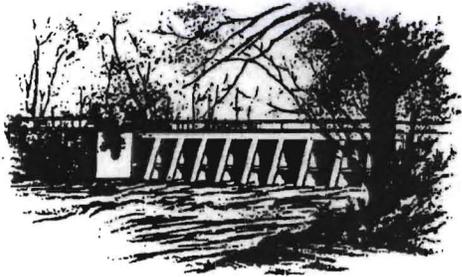
SCALE: 1" = 50'

**RECORD OWNERS:**  
COPPER PWR, LLC  
1396 W. HERNDON AVE. STE 101  
FRESNO, CA 93711  
(559) 436-0900

**SUBDIVIDER:**  
COPPER PWR, LLC  
1396 W. HERNDON AVE. STE 101  
FRESNO, CA 93711  
(559) 436-0900

**GARY G. GIANNETTA**  
CIVIL ENGINEERING & LAND SURVEYING

1118 7th STREET  
FRESNO, CA 93721  
(559) 394-3590 FAX (559) 394-0896



YOUR MOST VALUABLE RESOURCE - WATER

OFFICE OF  
**FRESNO**  
**IRRIGATION DISTRICT**

TELEPHONE (559) 233-7161  
FAX (559) 233-8227  
2907 S. MAPLE AVENUE  
FRESNO, CALIFORNIA 93725-2208

April 4, 2014

Ms. Joann Zuniga  
City of Fresno  
Development and Resource Management Department  
2600 Fresno Street, Third Floor  
Fresno, CA 93721

RE: Vesting Tentative Tract Map No. 6063/UGM, and Conditional Use Permit  
Application No. C-14-018, S/E Copper Avenue and Friant Road

Dear Ms. Zuniga:

The Fresno Irrigation District (FID) has reviewed the Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit Application No. C-14-018 pertaining to the 1.78 net acres (2.0 gross acres) of property located on the southeast corner of Friant Road and Copper Avenue on Carnoustic Avenue. Vesting Tentative Tract Map No. 6063/UGM proposes a 10-lot single family residential planned unit development with public street. Conditional Use Permit Application No. C-14-018 proposes modified property development standards, APN: 577-210-54. FID has the following comments:

1. FID does not own, operate or maintain any facilities located on the subject property as shown on the attached FID exhibit map.
2. The proposed development appears to be within the City of Fresno's Sphere of Influence but lies outside FID's boundary line. The development is not entitled to water from the Kings River.
3. The proposed land use (or change in land use) should be such that the need for water is minimized and/or reduced so that groundwater impacts to the proposed project area and any surrounding areas are eliminated. The "demand" side of water consumed needs to be evaluated or scrutinized as much as the "supply" side of the water supply. FID is concerned that the proposed development may negatively impact local groundwater supplies including those areas adjacent to or neighboring the proposed development area. The area was historically

G:\Agencies\FresnoCity\Tract Map\6063.doc

**BOARD OF DIRECTORS** President RYAN JACOBSEN, Vice-President STEVEN BALLS  
JEFFERY NEELY, GEORGE PORTER, GREGORY BEBERIAN, General Manager GARY R. SERRATO

Ms. Joann Zuniga  
Re: TM 6063/UGM & C-14-018  
April 4, 2014  
Page 2 of 2

agricultural land and a significant portion of its water supply was imported surface water, supplemented by groundwater pumping. Under current circumstances the project area is experiencing a modest but continuing groundwater overdraft. Should the proposed development result in a conversion from imported surface water to groundwater, this deficit will increase. FID recommends the City of Fresno require the proposed development balance anticipated groundwater use with sufficient recharge of imported surface water in order to preclude increasing the area's existing groundwater overdraft problem.

4. It is unclear if the source of water for this development is solely groundwater or a mixture of treated surface water from FID's Enterprise Canal. If treated surface water will be used, the City must acquire additional water from a water purveyor, such as FID for that purpose, so as to not reduce water supplies to or create water supply deficits in other areas of the City. Water supply issues must be resolved before any further "hardening" of the water supply demand is allowed to take place.
5. It should be noted that without the use of surface water, continued dependence on solely a groundwater supply will do nothing to reverse or correct the existing overdraft of the groundwater supply beneath the City of Fresno and FID service area. As this project will "harden" or make firmer the need for water, the long-term correction of the groundwater overdraft should be considered as a requirement of the project.
6. The City of Fresno and FID have been working to address water supplies issues for development outside of the FID service area. We encourage the City to continue towards finding solutions to minimize the impacts of changes in land uses and to mitigate any existing adverse water supply impacts within the development areas.

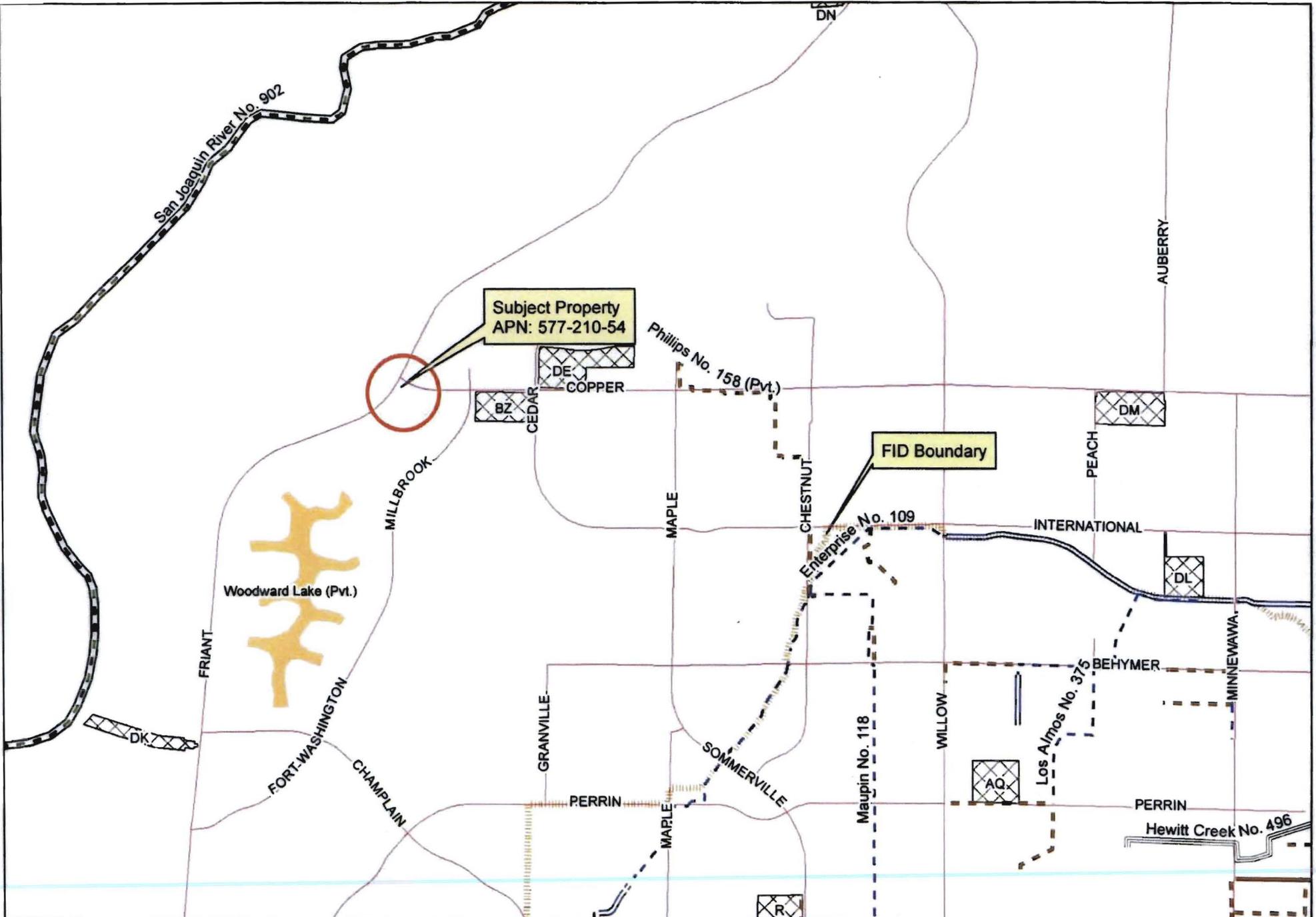
Thank you for submitting this for our review. We appreciate the opportunity to review and comment on the subject documents for the proposed project. If you have any questions please feel free to contact Sen Saetern at 233-7161 extension 7406 or [ssaetern@fresnoirrigation.com](mailto:ssaetern@fresnoirrigation.com).

Sincerely,



William R. Stretch, P.E.  
Assistant General Manager - Operations

Attachment



This map was produced by the Fresno Irrigation District and is provided for reference and informational purposes only and is not intended to show map scale accuracy or all inclusive map features, nor for legal purposes. FID makes no statements regarding the accuracy of this map as the features shown are in their approximate location. Please contact the FID Engineering Dept. at (559) 233-7161 for further information on locating FID facilities.

12/10/2013  
 G:\fidgis\master\_AG10.mxd

FID Canal	FID Pipeline	Stream Group	FID Boundary	Parcel
Private Canal	Private Pipeline	Other-Creek/River	Railroad	FMFCD Acquired Basins
Abandoned Canal	Abandoned Pipeline	Other-Pipeline	Streets & Hwys	FMFCD Proposed Basins

0 1,125 2,250 Feet  
 1 inch = 2,337.86 feet  
 N  
 W E  
 S



DATE: April 22, 2014

TO: SANDRA BROCK, Planner III  
Development and Resource Management Department – Current Planning

THROUGH: MICHAEL CARBAJAL, Chief Engineering Technician  
Department of Public Utilities – Water Division

FROM: ROBERT DIAZ, Senior Engineering Technician  
Department of Public Utilities – Water Division

**SUBJECT: RESPONSE TO FID LETTER REGARDING VESTING TENTATIVE  
TRACT MAP NO 6063/UGM**

**Response to FID comments (letter attached)**

1. No comment
2. No comment
3. The proposed development was considered in the City's adopted 2025 General Plan, adopted 2010 Urban Water Management Plan, and Metropolitan Water Resources Management Plan Update (Metro Plan). The City is currently updating the General Plan and is in the final approval stages of adopting the Metro Plan. On August 15, 2013, the City approved a water rate program to support implementation of the Metro Plan. Implementation of the water supply plan identified in the Metro Plan is currently underway. This plan incorporates conjunctive use of available water supplies to make maximum use of available surface water supplies, and use of the groundwater basin in a sustainable manner which minimizes or eliminates groundwater overdraft and groundwater quality degradation. The City intends to fully implement the Metro Plan by year 2025.
4. The City recently renewed its contract with the United States Bureau of Reclamation (USBR) through the year 2045. The City's total entitlement from the USBR is 60,000 acre-feet per year of Class 1 water. The City intends to conjunctively utilize its surface water supplies and groundwater to provide water service to the proposed development.

5. See response number three above.

6. No comment



Planned land uses in the vicinity of Vesting Tentative Tract Map 6063/UGM & CUP No. C-14-018

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**ACOUSTICAL ANALYSIS**

**TRACT NO. 6063  
NORTH FRIANT ROAD  
FRESNO, CALIFORNIA**

**BBA Project No. 13-058**

**PREPARED FOR**

**CHRISTINE LIGENFELTER  
C/O GARY GIANNETTA CIVIL ENGINEERING  
1119 "S" STREET  
FRESNO, CA 93721**

**PREPARED BY**

**BROWN-BUNTIN ASSOCIATES, INC.  
VISALIA, CALIFORNIA**

**FEBRUARY 4, 2014**

## INTRODUCTION

The project is a proposed 10-lot residential development to be located on the east side of North Friant Road south of East Copper Avenue within the City of Fresno. Since the project site is located next to a major roadway, the City of Fresno has required an acoustical analysis to quantify project site noise exposure and determine noise mitigation requirements. This analysis, prepared by Brown-Buntin Associates, Inc. (BBA), is based upon project site plan and grading information provided by the project engineer (Gary G. Giannetta, Civil Engineering & Land Surveying). Revisions to the site plan or grading information analyzed may affect the findings and recommendations of this report.

Appendix A provides a description of the acoustical terminology used in this report. Unless otherwise stated, all sound levels reported are in A-weighted decibels (dB). A-weighting de-emphasizes the very low and very high frequencies of sound in a manner similar to the human ear. Most community noise standards utilize A-weighting, as it provides a high degree of correlation with human annoyance and health effects.

## NOISE EXPOSURE CRITERIA

The City of Fresno Noise Element of the General Plan (adopted 11/19/02) sets noise compatibility standards for transportation and stationary noise sources. Traffic on North Friant Road and East Copper Avenue is considered to be a transportation noise source.

For transportation noise sources, the noise element establishes land use compatibility criteria in terms of the Day-Night Average Level (DNL). The exterior noise exposure criterion is 60 dB DNL within outdoor activity areas of residential land uses. Outdoor activity areas generally include backyards of single-family residences, individual patios or decks of multi-family developments and common outdoor recreation areas of multi-family developments. The intent of the exterior noise level requirement is to provide an acceptable noise environment for outdoor activities and recreation.

The noise element also requires that interior noise levels attributable to exterior transportation noise sources not exceed 45 dB DNL. The intent of the interior noise level standard is to provide an acceptable noise environment for indoor communication and sleep.

## PROJECT SITE NOISE EXPOSURE

The project site is located on the southeast corner of the intersection of North Friant Road and East Copper Avenue within the City of Fresno. Noise exposure from traffic on North Friant Road and East Copper Avenue was calculated for existing (2010) and future (2035) conditions using noise level data obtained by BBA at the project site, the Federal Highway Administration (FHWA) Highway Traffic Noise Prediction Model (FHWA-RD-77-108) and traffic data obtained from the City of Fresno and Council of Fresno County Governments (Fresno COG).

The FHWA Model is a standard analytical method used by state and local agencies for roadway traffic noise prediction. The model is based upon reference energy emission levels for automobiles, medium trucks (2 axles) and heavy trucks (3 or more axles), with consideration given to vehicle volume, speed, roadway configuration, distance to the receiver, and the acoustical characteristics of the site. The FHWA Model was developed to predict hourly  $L_{eq}$  values for free-flowing traffic conditions, and is generally considered to be accurate within  $\pm 1.5$  dB. To predict DNL values, it is necessary to determine the hourly distribution of traffic for a typical day and adjust the traffic volume input data to yield an equivalent hourly traffic volume.

Noise monitoring and a concurrent traffic count were conducted within the project site on January 29, 2014. The purpose of the noise monitoring was to evaluate the accuracy of the FHWA Model in describing traffic noise exposure within the project site. The noise monitoring site was located near the northwest corner of the project site at a distance of 110 feet from the center of North Friant Road. The project site plan and noise monitoring site are shown in Figure 1.

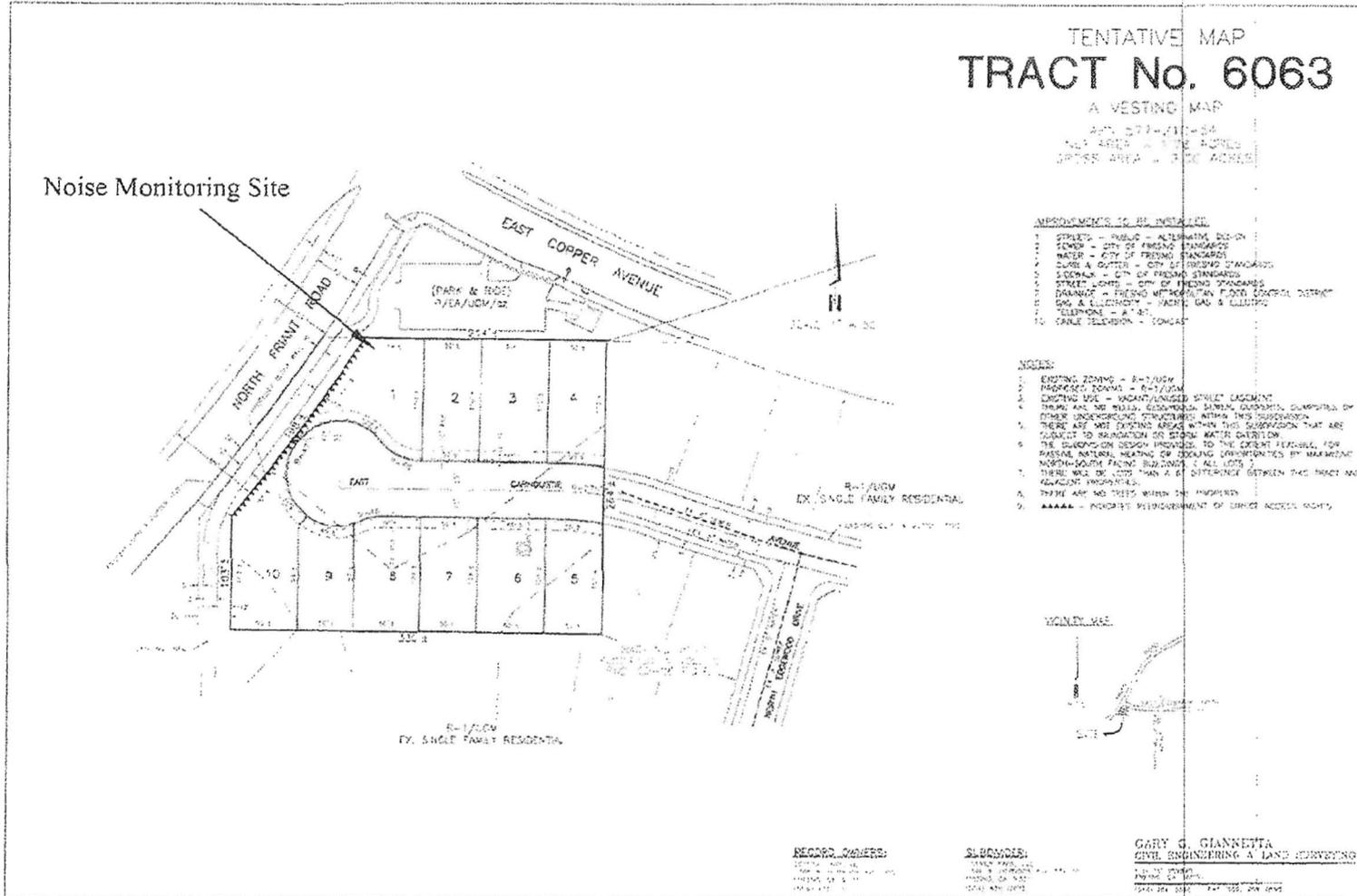
Noise monitoring equipment consisted of a Larson-Davis Laboratories Model LDL-820 sound level analyzer equipped with a B&K Type 4176 1/2" microphone. The equipment complies with the specifications of the American National Standards Institute (ANSI) for Type 1 (Precision) sound level meters. The meter was calibrated in the field prior to use with a B&K Type 4230 acoustic calibrator to ensure the accuracy of the measurements. The microphone was located on a tripod at 5 feet above the ground.

The project site presently consists of a plowed field that is predominantly flat. The elevation of the North Friant Road pavement is approximately three feet higher than the closest proposed building pad elevations. There is an existing wooden fence that surrounds the project site on the north and west sides. The fence is approximately six feet high relative to the surrounding area but sits on a concrete block retaining wall ranging in height from approximately 1-4 feet inside the project site. The posted speed limit adjacent to the project site is 50 miles per hour (mph) and there is a traffic light at the intersection of North Friant Road and East Copper Avenue.

Noise measurements were conducted in terms of the equivalent energy sound level ( $L_{eq}$ ). Measured  $L_{eq}$  values were compared to  $L_{eq}$  values calculated (predicted) by the FHWA Model using as inputs the traffic volumes, truck mix and vehicle speed observed during the noise measurements. The results of that comparison are shown in Table I.

From Table I it may be determined that the traffic noise level predicted by the FHWA Model was 7.0 dB higher than measured for the traffic conditions observed at the time of the noise measurement. This observed over-prediction of traffic noise exposure may be explained by acoustic shielding provided by the above-noted existing wooden fence and a reduction in average vehicle speed due to the traffic light at the intersection of North Friant Road and East Copper Avenue. In order to account for the presence of the traffic light, the FHWA Model was adjusted by -2 dB. Acoustic shielding from the wooden fence will be discussed later in this report.

Figure 1: Project Site Plan and Noise Monitoring Site



<p style="text-align: center;"><b>TABLE I</b></p> <p style="text-align: center;"><b>COMPARISON OF MEASURED AND PREDICTED</b>  <b>(FHWA MODEL) NOISE LEVELS</b>  <b>NORTH FRIANT ROAD-TRACT NO. 6063</b>  <b>JANUARY 29, 2014</b></p>	
Measurement Start Time	3:50 p.m.
Observed # Autos/Hr.	900
Observed # Medium Trucks/Hr.	0
Observed # Heavy Trucks/Hr.	4
Posted Speed (MPH)	50
Distance, ft. (from center of roadway)	110
$L_{eq}$ dBA (Measured)	55.2
$L_{eq}$ dBA (Predicted)	62.2
<b>Difference between Measured and Predicted <math>L_{eq}</math> dBA</b>	<b>7.0</b>
Note: FHWA "soft" site assumed for calculations.	
Source: Brown-Buntin Associates, Inc.	

The Annual Average Daily Traffic (AADT) for existing (2010) and future (2035) traffic conditions on North Friant Road and East Copper Avenue adjacent to the project site were obtained from the Fresno COG. The day/night distribution of traffic and truck mix for North Friant Road was based upon actual traffic counts conducted by the City of Fresno near the project site. The day/night distribution and truck mix for East Copper Avenue was estimated by BBA based upon studies conducted along similar roadways. Table II summarizes the traffic data assumptions used to model traffic noise exposure within the project site. The data summarized in Table II represent the best information known to BBA at the time this analysis was prepared.

<p style="text-align: center;"><b>TABLE II</b></p> <p style="text-align: center;"><b>TRAFFIC NOISE MODELING ASSUMPTIONS</b>  <b>TRACT No. 6063</b></p>				
	N. Friant Road		E. Copper Avenue	
	Existing	2035	Existing	2035
Annual Avenue Daily Traffic (AADT)	21,540	40,382	9,998	20,046
Day/Night Split (%)	80/20	80/20	90/10	90/10
Posted Vehicle Speed (mph)	50	50	50	50
% Medium Trucks (% AADT)	3.0	3.0	1.0	1.0
% Heavy Trucks (% AADT)	4.0	4.0	0.5	0.5
Sources: Fresno COG City of Fresno Brown-Buntin Associates, Inc.				

Using data from Table II and the adjusted FHWA Model, annual average traffic noise exposure was calculated for the closest proposed building setbacks to North Friant Road and East Copper Avenue. The calculated noise exposures for existing (2010) traffic conditions, including noise from both roadways, ranged from 63.4dB DNL at Lot 4 to 67.7 dB DNL at Lot 1. For future (2035) traffic conditions, calculated noise exposures ranged from 66.4 dB DNL at Lot 4 to 70.7 dB DNL at Lot 1. Traffic noise exposure at Lot 10 is 0.2 dB lower than at Lot 1 since Lot 10 is farther from East Copper Avenue. As previously noted, calculated traffic noise exposures take into account a reduction in average vehicle speed adjacent to the project site due to the traffic light at the intersection of North Friant Road and east Copper Avenue. Since projected future traffic noise exposure represents a worst-case condition for the project, it has been used as the basis for determining noise mitigation requirements for the project.

## NOISE MITIGATION

### Exterior Noise Mitigation:

The City of Fresno 60 dB DNL exterior noise level standard is applied at the expected location of outdoor activity areas. For single-family homes, the backyard is usually considered the primary outdoor activity area. Backyards for homes to be constructed on Lots 1-4 would be located on the north side of the homes and affected by noise from North Friant Road and East Copper Avenue. Backyards for homes to be constructed on Lots 5-10 would be located on the south side of the homes and acoustically shielded from traffic noise to varying degrees.

Projected future (2035) combined traffic noise exposure from North Friant Road and East Copper Avenue would exceed the City's 60 dB DNL standard by 10.7 dB within the backyards of Lot 1 and by 6.4-7.9 dB within the backyards of Lots 2-4. Future traffic noise exposure would exceed the 60 dB DNL standard by 6.9 dB within the backyard of Lot 10. Future traffic noise exposure would not exceed the City's 60 dB DNL standard within the backyards of homes to be constructed on Lots 5-9 due to increasing distance from the roadways and acoustic shielding provided by intervening home structures. Projected future traffic noise exposure does not take into account acoustic shielding provided by the existing wooden fence along the north and west sides of the project site.

The project developer has proposed that the construction of the existing wooden fence be modified to provide a more substantial sound wall and increased in height if required to achieve compliance with applicable noise standards. The noise attenuation potential of the sound wall was calculated using a sound wall insertion loss program based on the FHWA Model. The model calculates the insertion loss of a wall of given height based on the effective height of the noise source, height of the receiver, distance from the receiver to the wall, and distance from the noise source to the wall. The standard assumptions used in the sound wall calculations are effective source heights of 8, 2 and 0 feet above the roadway for heavy trucks, medium trucks and automobiles, respectively. The standard height of a residential receiver is five feet above the building pad elevation. Specific elevations used in the sound wall analysis were obtained from the project engineer.

Based upon the above-described assumptions and method of analysis, the noise level insertion loss and resulting traffic noise exposure were calculated. The calculations indicated that, if properly modified, the existing sound wall could reduce noise exposure from traffic on North Friant Road by 10.2 dB within the backyard of Lot 1 for a resulting future traffic noise exposure of 60.5 dB DNL. The existing sound wall along Copper Avenue, if properly modified, could reduce traffic noise exposure by 8.2 dB for a resulting future traffic noise exposure of 58.2-59.7 dB DNL within the backyards of Lots 2-4. If properly modified, the existing sound wall could reduce traffic noise exposure by 6.6 dB within the backyard of Lot 10 for a resulting future traffic noise exposure of 60.3 dB DNL. The resulting noise exposures substantially comply with the City's 60 dB DNL standard.

In order for the existing wooden fence to serve as an effective sound wall, a second layer of overlapping boards with a minimum thickness of  $\frac{3}{4}$  inch should be added to eliminate spaces between boards that could create acoustical flanking path and degrade overall sound wall performance. In order to retain effectiveness over time, a wooden sound wall will need to be carefully maintained and perhaps replaced at a later date if deterioration occurs.

The above-described sound walls would be minimally effective at the second floor elevation. Consequently, traffic noise exposure within second floor decks or balconies facing North Friant Road or East Copper Avenue on Lots 1-4 or 10 would likely not comply with the City's standard.

#### **Interior Noise Mitigation:**

The City of Fresno interior noise level standard is 45 dB DNL. With the proposed sound wall in place, residential buildings will need to be capable of providing a minimum outdoor-to-indoor noise level reduction (NLR) of approximately 16 dB ( $61-45=16$ ) at the first floor level. Second floor receivers would be minimally shielded by the proposed sound wall, and would need to be capable of a NLR of approximately 26 dB ( $71-45=26$ ).

A specific analysis of interior noise levels was not performed. However, it may be assumed that residential construction methods complying with current building code requirements will reduce exterior noise levels by a minimum of 25 dB if windows and doors are closed. This will be sufficient for compliance with the city's 45 dB DNL interior standard. Requiring that it be possible for windows and doors to remain closed for sound insulation means that air conditioning or mechanical ventilation will be required.

### **CONCLUSIONS AND RECOMMENDATIONS**

The proposed Tract No. 6063 residential development will comply with applicable City of Fresno exterior and interior noise level requirements provided that the following noise mitigation measures are included in the proposed project design.

1. If the existing wooden fence is to be retained as an effective sound wall, it should be modified by adding a second layer of overlapping boards having a minimum thickness of  $\frac{3}{4}$  inch. A wooden fence will require careful maintenance over time to ensure that it remains effective over time.

2. Acoustic baffles should be installed on the interior side of attic vents that face North Friant Road or East Copper Avenue for homes on Lots 1-4 and 10. An example of a suitable attic vent baffle is shown by Appendix B.
  3. Air conditioning or mechanical ventilation should be installed in all homes so that it will be possible for windows and doors to remain closed for sound insulation purposes.
- 

The conclusions and recommendations of this acoustical analysis are based upon the best information known to Brown-Buntin Associates, Inc. (BBA) at the time the analysis was prepared concerning the proposed site plan, project grading, traffic volumes and roadway configurations. Any significant changes in these factors will require a reevaluation of the findings of this report. Additionally, any significant future changes in motor vehicle technology, noise regulations or other factors beyond BBA's control may result in long-term noise results different from those described by this analysis.

Respectfully submitted,



Robert E. Brown  
President

REB:dm

## APPENDIX A

### ACOUSTICAL TERMINOLOGY

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**AMBIENT NOISE LEVEL:** The composite of noise from all sources near and far. In this context, the ambient noise level constitutes the normal or existing level of environmental noise at a given location.

**CNEL:** Community Noise Equivalent Level. The average equivalent sound level during a 24-hour day, obtained after addition of approximately five decibels to sound levels in the evening from 7:00 p.m. to 10:00 p.m. and ten decibels to sound levels in the night before 7:00 a.m. and after 10:00 p.m.

**DECIBEL, dB:** A unit for describing the amplitude of sound, equal to 20 times the logarithm to the base 10 of the ratio of the pressure of the sound measured to the reference pressure, which is 20 micropascals (20 micronewtons per square meter).

**DNL/L<sub>dn</sub>:** Day/Night Average Sound Level. The average equivalent sound level during a 24-hour day, obtained after addition of ten decibels to sound levels in the night after 10:00 p.m. and before 7:00 a.m.

**L<sub>eq</sub>:** Equivalent Sound Level. The sound level containing the same total energy as a time varying signal over a given sample period. L<sub>eq</sub> is typically computed over 1, 8 and 24-hour sample periods.

**NOTE:** The CNEL and DNL represent daily levels of noise exposure averaged on an annual basis, while L<sub>eq</sub> represents the average noise exposure for a shorter time period, typically one hour.

**L<sub>max</sub>:** The maximum noise level recorded during a noise event.

**L<sub>n</sub>:** The sound level exceeded "n" percent of the time during a sample interval (L<sub>90</sub>, L<sub>50</sub>, L<sub>10</sub>, etc.). For example, L<sub>10</sub> equals the level exceeded 10 percent of the time.

## ACOUSTICAL TERMINOLOGY

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**NOISE EXPOSURE  
CONTOURS:**

Lines drawn about a noise source indicating constant levels of noise exposure. CNEL and DNL contours are frequently utilized to describe community exposure to noise.

**NOISE LEVEL  
REDUCTION (NLR):**

The noise reduction between indoor and outdoor environments or between two rooms that is the numerical difference, in decibels, of the average sound pressure levels in those areas or rooms. A measurement of "noise level reduction" combines the effect of the transmission loss performance of the structure plus the effect of acoustic absorption present in the receiving room.

**SEL or SENEL:**

Sound Exposure Level or Single Event Noise Exposure Level. The level of noise accumulated during a single noise event, such as an aircraft overflight, with reference to a duration of one second. More specifically, it is the time-integrated A-weighted squared sound pressure for a stated time interval or event, based on a reference pressure of 20 micropascals and a reference duration of one second.

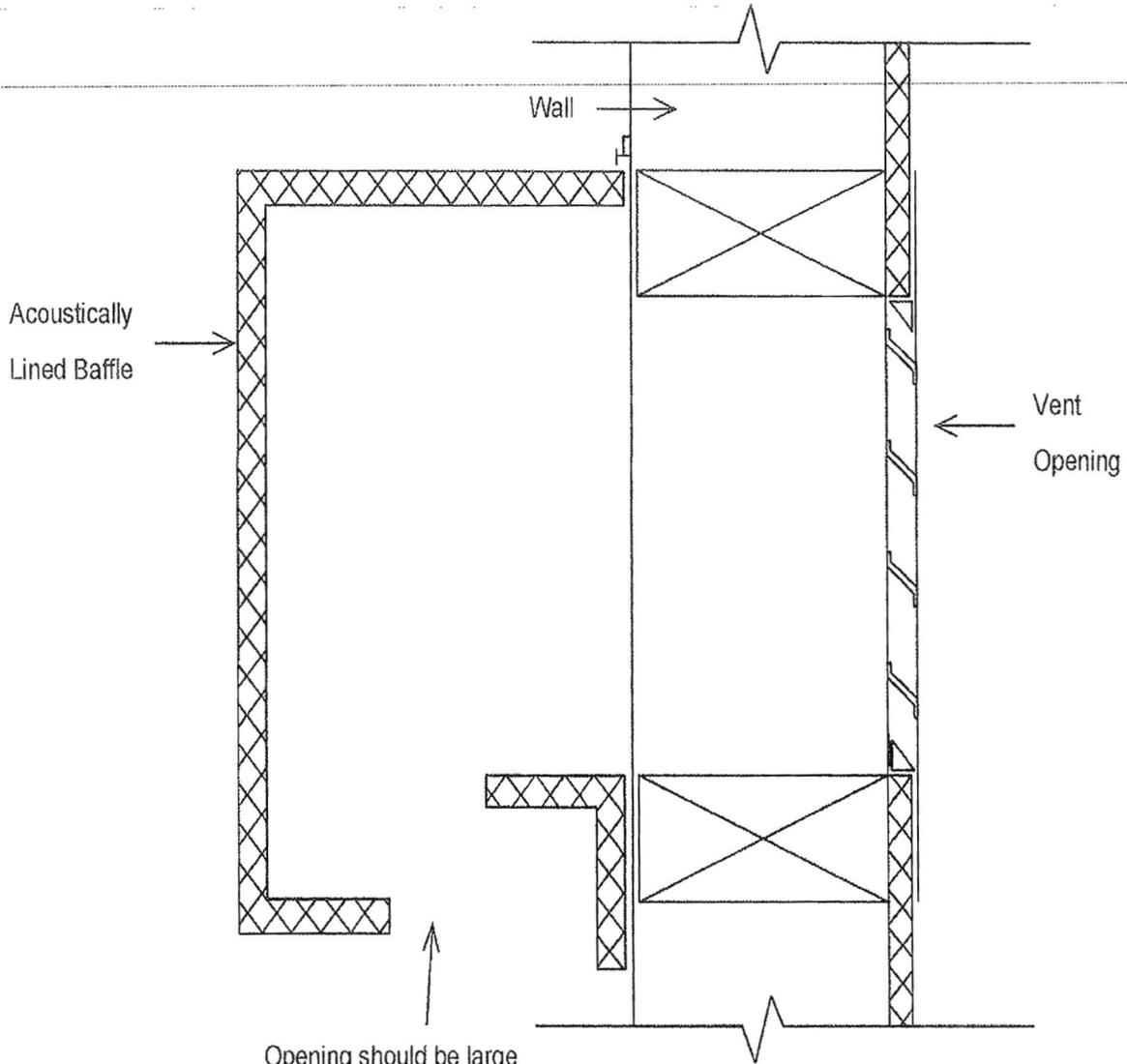
**SOUND LEVEL:**

The sound pressure level in decibels as measured on a sound level meter using the A-weighting filter network. The A-weighting filter de-emphasizes the very low and very high frequency components of the sound in a manner similar to the response of the human ear and gives good correlation with subjective reactions to noise.

**SOUND TRANSMISSION  
CLASS (STC):**

The single-number rating of sound transmission loss for a construction element (window, door, etc.) over a frequency range where speech intelligibility largely occurs.

**Appendix B**  
**Example of Attic Vent Baffle Treatment**



Opening should be large  
enough to provide adequate  
ventilation as required by  
building codes



City of



**FIRE DEPARTMENT**

**Date:** April 10, 2014

**To:** SANDRA BROCK, Planner III  
Development and Resource Management Department , Advance Planning

**From:** TERRI MEISS, Fire Prevention Inspector II  
Fire Department, Fire Prevention & Investigative Services

**Subject:** T-6063-UGM & C-14-018 were filed by Gary Giannetta, on behalf of Copper Park, LLC, and pertain to 1.78 net acres, 2.0 gross acres, of property located on the southeast corner of North Friant Road and East Copper Avenue on East Carnoustie Avenue, 1025 East Carnoustie Avenue, APN 577-210-54. T-6063-UGM proposes a 10-lot single family residential planned unit development with public street. C-14-018 proposes modified property development standards.

**Hydrants**

Developer must install on-site hydrants(s). See Plan for location(s). Provide fire hydrant flow of 1500 GPM with a minimum 8" water main.

Public streets hydrant(s) must be installed. Coordinate street hydrant locations with Public Works.

Fire hydrants shall be installed, tested, approved, and all surface access roads shall be installed and made serviceable prior to and during the time of construction. The hydrant 4 1/2" outlet shall face the access lane.

All required fire access lanes shall be provided and maintained with an approved "all weather" surface capable of supporting 80,000 lb. vehicles (minimum 4" of base rock over compacted or undisturbed native soil or per approved engineered plans) year-around and with 24 feet minimum width or other approved method that would prevent shoulder degradation.

### **General**

All construction work on this project is subject to interruption if the road system becomes impassable for fire apparatus due to rain or other obstacles. All required fire access lanes shall be provided and maintained with an approved 'all weather' surface capable of supporting 80,000 lb. vehicles (minimum 4" of base rock over compacted or undisturbed native soil or per approved engineered plans) year-round and with 24 feet minimum width or other approved method that would prevent shoulder degradation.

### **Other**

This project was reviewed by the fire department only for requirements related to water supply, fire hydrants, and fire apparatus access to the building(s) on site. Review for compliance with fire and life safety requirements for the building interior and its intended use are reviewed by both the Fire Department and the Building and Safety Section of DARM when a submittal for building plan review is made as required by the California Building Code by the architect or engineer of record for the building.



DATE: April 21, 2014

TO: Sandra Brock  
Development and Resource Management Department

THROUGH: M. Scott Tyler, PE, City Traffic Engineer  
Public Works Department, Traffic & Engineering Services Division

FROM: Louise Gilio, Traffic Planning Supervisor  
Public Works Department, Traffic & Engineering Services Division

SUBJECT: Public Works Conditions of Approval  
**TT 6063**, 1025 East Carnoustie Avenue  
Copper Park, LLC / Gary G. Giannetta

The Public Works Department, Traffic and Engineering Services Division, has completed its review and the following requirements are to be placed on this tentative map as a condition of approval by the Public Works Department.

**General Conditions:**

1. **Pedestrian Easements:** **Identify** all pedestrian easements on the map.
  - a. 50' Local Streets: A 1' pedestrian easement is required on streets with driveway approaches.
2. **Overhead Utilities:** Underground all existing offsite overhead utilities with the limits of this map in accordance with Fresno Municipal Code Section 12-1011 and Resolution No. 78-522/88-229.
3. **Intelligent Transportation Systems (ITS):** Street work on major streets shall be designed to include ITS in accordance with the Public Works ITS Specifications, where not existing.
4. Design local streets with a minimum of 250' radius.
5. **Plan Submittal:** Submit the following plans, as applicable, in a single package, to the **Public Works Department** for review and approval: Street: construction, signing, striping, traffic signal and streetlight.
6. Street widening and transitions shall also include utility relocations and necessary dedications.
7. **Garages:** Garages or carports shall be located **not less than twenty feet** from any street frontage where the garage door or carport opening faces and takes direct access to the street.  
**FMC Section 12-207.5 E-1-e**

**Frontage Improvement Requirements:**

**Public Streets:**

**Friant Road: Scenic Expressway**

1. Where not existing, dedicate and or reserve a **73'** street easement from the proposed vacated portion, from **center line**, for public street purposes, within the limits of this subdivision, to meet the modified City of Fresno Expressway Standards.

2. Construct concrete curb and gutter to Public Works Standard **P-5**. The parkway shall be constructed to a 10' pattern.
4. Where not existing, dedicate or reserve a 22' (minimum) easement for bike, pedestrian and landscape purposes **only**. (Additional right of way may be required for grading and drainage purposes.) Construct a 12' wide concrete Bike and Pedestrian trail/path, complete with lighting, signing, striping and landscaping, per the 2025 Fresno General Plan, Multi-Purpose Trails Plan Map and Public Works Standards **P-58, P-59 and P-60**. Construct an expressway barrier fence within the limits of this subdivision, per Public Works Standard **P-74 and P-75**.
5. If permanent paving is not existing, construct 20' of permanent paving within the limits of this tract and transition paving as necessary.
6. If not installed to current standards, construct an underground street lighting system to Public Works Standard **E-1** within the limits of this subdivision. Spacing and design shall conform to Public Works Standard **E-10** for Expressways.
7. Relinquish direct vehicular access rights to Friant Road from all lots within this subdivision.

**Carnoustie Avenue: 50' Local**

1. Dedicate **50'** of property, from center line, for public street purposes within the limits of this application to meet the current City of Fresno Local Standards, **P-56**.
2. Dedicate **1'** of property for pedestrian purposes behind all driveway approaches to provide for a minimum of a **4'** clear path per **P-3**.
3. Construct concrete curb, gutter and sidewalk to Public Works Standard **P-5**. The curb shall be constructed to a **7' residential pattern (0- 5 ½ - 1 ½)** . Planting of street trees shall conform to the minimum spacing guidelines as stated in the Standard Specification, **Section 26-2.11(C)**.
2. Upon development, construct driveway approaches to Public Works Standards **P-4 and P-6** and construct a concrete pedestrian walkway behind all driveway approaches as identified on **Exhibit "A"**.
3. Construct 36' of permanent paving (measured from face of curb) within the limits of this application.
4. Construct an underground street lighting system to Public Works Standard **E-2** within the limits of this application. Spacing and design shall conform to Public Works Standard **E-9** for Local Streets.

**Specific Mitigation Requirements:** This tract will generate 8 a.m. / 10 p.m. peak hour trips; therefore, a Traffic Impact Study (TIS) **is not required**.

1. A feasibility study for all **proposed** vacations of existing public rights of way is required to be completed **prior** to the approval of the final map. See Alan James' comments

**Traffic Signal Mitigation Impact (TSMI) Fee:** This project shall pay the current Traffic Signal Mitigation Impact Fee (TSMI Fee) at the time of building permit based on the trip generation rate(s) as set forth in the latest edition of the ITE Generation Manual for single family units (fee rate as shown in the Master Fee Schedule).

This TSMI fee is credited against signal installation and Intelligent Transportation System (ITS) improvements (constructed at their ultimate location) anticipated to build out the 2025 General Plan circulation element and included in the Nexus Study for the TSMI fee. Project specific impacts that are not consistent with the 2025 General Plan, Public Works P69 standards, and/or already incorporated into the TSMI fees infrastructure costs are not reimbursable unless the City Engineer and City Traffic Engineer include the new traffic signal and/or ITS infrastructure in the next update and the applicant

agrees to pay the new calculated TSMI fee that includes the new infrastructure. Failure to pay this fee or construct improvements that are credited/reimbursable with this fee will result in a significant unmitigated impact as this fee is applied to all projects within the City Sphere of Influence. If the applicant is conditioned with improvements that are credited/reimbursable with this fee they should work with the Department of Public Works and identify with a Professional Engineers estimate the costs associated with the improvements prior to paying the TSMI fee at time of building permit.

**Fresno Major Street Impact (FMSI) Fee** : This Map is in the **New Growth Area**; therefore pay all applicable growth area fees and City-wide regional street impact fees.

**Fresno Major Street Impact (FMSI) Requirements:**

Friant Road: Scenic Expressway

1. If permanent paving is not existing, dedicate and construct: (1) 17' and (1)12' northbound and (1) 17' southbound, center section travel lanes. Dedication shall be sufficient to accommodate additional paving and any other grading or transitions as necessary based on a **55 MPH** design speed.

**Regional Transportation Mitigation Fee (RTMF)**: Pay all applicable **RTMF** fees to the Joint Powers Agency located at 2035 Tulare Street, Suite 201, Fresno, CA 93721; (559) 233-4148 ext. 200; [www.fresnocog.org](http://www.fresnocog.org). Provide proof of payment or exemption **prior** to issuance of building permits.





ENGINEERING SERVICES DIVISION  
2600 Fresno Street RM 4064  
Fresno, California 93721-3615  
(559) 621-8800 • www.ci.fresno.ca.us

January 7, 2014

Christine Lingenfelter  
1396 West Herndon Avenue, Suite 101  
Fresno, CA 93711

**SUBJECT: PROPOSED VACATION OF THE FORMER INTERSECTION OF COPPER AVENUE, MILLBROOK AVENUE AND FRIANT ROAD**

The vacation feasibility study you requested has been completed. Findings indicate the vacation proposal is feasible subject to the following conditions:

1) Portions of the area to be vacated will be needed for the proposed westerly extension of East Carnoustie Avenue and cul-de-sac, and those areas are not yet defined. To vacate the entire area by a Council Action per the Public Streets, Highways, and Service Easements Vacation Law of the California Streets and Highways Code, the Council has to make the finding that the area "is unnecessary for present and prospective public street purposes". The fact that a portion of the area *is* needed for future street contradicts this finding the Council has to make. Therefore vacating the subject area is best accomplished by vacating with the final map of Tract No. 6063.

THIS HAS NOT HAPPENED AS OF 4/15/14 →

2) Because the City also owns the underlying fee title to the area of street to be vacated, exhibits for a Grant Deed from the City of Fresno to the Developer will need to be prepared by the Developer's consultant engineer. The deed will grant the entire area being vacated while reserving a portion to the City of Fresno for multi-purpose trail purposes. Please provide the proposed owner's name and address to me so I can prepare the deed cover page. If there any questions regarding the exhibits for the Grant Deed, please contact me.

The vacation is to occur with the final Map of Tract No. 6063 in accordance with the Subdivision Map Act and local ordinances, please coordinate the vacation process with the city staff that is processing the final map and the planning analyst who processed the tentative map approval and will be processing the Environmental Assessment for the vacation.

The study done for this proposed vacation will expire in one year. Therefore, please notify this office by January 8, 2015 of your intention regarding the pursuit of this vacation.

Please contact me at 621-8693 or by email at [Alan.James@fresno.gov](mailto:Alan.James@fresno.gov) if you have any questions.

Sincerely,

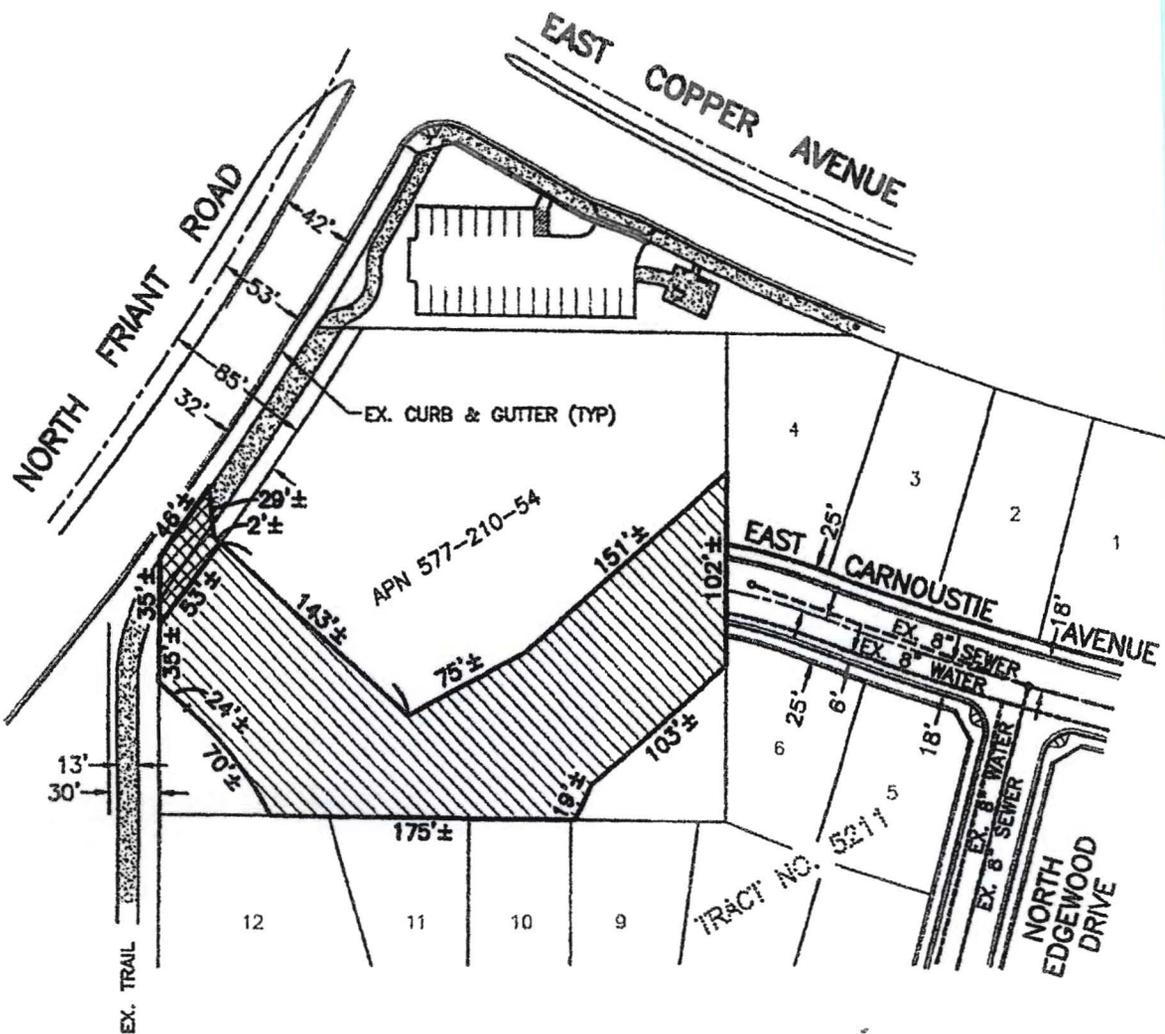
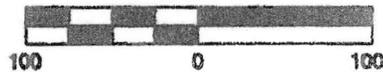
Alan James, Supervising Engineering Technician

P.W. File No. 11763

# VACATION EXHIBIT



SCALE: 1" = 100'



INDICATES AREA TO BE VACATED



INDICATES AREA TO BE VACATED AND RESERVED FOR MULTI-PURPOSE TRAIL PURPOSES

**PREPARED BY:**  
 GARY GIANNETTA  
 1119 S STREET  
 FRESNO, CA 93721  
 (559) 284-3580

DATE: 11/26/13

## EXHIBIT B

# MASTER ENVIRONMENTAL IMPACT REPORT (MEIR) REVIEW SUMMARY

**Projected Population and Housing.** The City of Fresno experienced a period of notable growth in the construction of single family residences over the first five-year period of the 2025 Fresno General Plan (2003 through 2007). However, this development has occurred within the parameters anticipated by the General Plan and the mitigation measures established by Master Environmental Impact Report (MEIR 10130/SCH 2001071097). The General Plan and its MEIR utilized a projected population growth rate for purposes of land use and resource planning. This projection anticipated an annual average population growth of approximately 1.9 percent over the 23-year planning period. Population estimates provided by the State of California Department of Finance (DOF) indicate a population growth of approximately 60, 000 people between 2002 and 2007 with a growth rate varying from 1.47 to 1.97 percent per year. These estimates are well within the growth projections of the General Plan and MEIR.

The City has processed 132 plan amendment applications since the adoption of the 2025 Fresno General Plan. These applications have resulted in changes of planned land use that affected approximately 1,422 acres, representing approximately two percent of the land area within the 2025 Fresno General Plan boundary. The impacts of these amendments are minimal and not significant in relation to the balance of the density and intensity of the land uses impacted by the plan amendment applications.

Based upon this, many of the assumptions relied upon for the MEIR to address other impacts, such as traffic, air quality, need for public utilities, services and facilities and water supplies are still valid to the extent that these assumptions relied upon projected population growth during the General Plan planning period. For this reason and the others provided below, the Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known pursuant to CEQA Guideline Section 15179(b)(1) and the MEIR may still be relied upon.

**Transportation and Circulation.** Subsequent to the certification of the MEIR the City of Fresno has required the preparation of approximately 200 site specific traffic impact studies and had required the provision of street, intersection signalization and transportation improvements in accordance with the adopted mitigation measures of the MEIR. The City's Traffic Engineer reports that through review of these approximately 200 traffic impact studies, the City has not seen traffic counts substantially different than those predicted by the MEIR. Concurrently with these efforts, the City adopted a new program for traffic signal and major street impact fees to pay for planned improvements throughout Fresno (not just in new growth areas, as has been the case with the previous impact fee program). These fees will more comprehensively provide for meeting transportation infrastructure needs and will expedite reimbursement for

developments, which construct improvements that exceed the project's proportionate share of the corresponding traffic or transportation capacity needs.

In addition to the local street system, the City has entered into an agreement with the California Department of Transportation to collect impact fees for state highway facilities which may be impacted by new development projects. The City participates in the Fresno County Transportation Authority, which recently was successful in obtaining voter re-authorization of a half-cent sales tax to be dedicated to a wide range of transportation facilities and programs (including mass transit). The City is also an active participant in ongoing regional transportation planning efforts, such as a freeway deficiency study, a corridor study for one or more additional San Joaquin River crossings, and the State's "Blueprint for the Valley" process. All these studies were commenced after the MEIR was certified, but none of them is yet completed. Therefore, it cannot be concluded that Fresno's environmental setting or the MEIR analysis of traffic and circulation have materially changed since November of 2002.

Therefore, staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known based upon traffic impacts pursuant to CEQA Guideline Section 15179(b)(1).

**Air Quality and Global Climate Change** Staff has worked closely with the regional San Joaquin Valley Air Pollution Control District (SJVAPCD) since the November 2002 certification of the 2025 Fresno General Plan Master Environmental Impact Report (MEIR). Potential air quality impacts have been analyzed for every environmental assessment initial study done for City development projects. Projects are required to comply with SJVAPCD rules and regulations via conditions of approval and mitigation measures formulated in the MEIR.

Overall, revisitation of these issues leads to the conclusion that, while there have been changes in air quality laws, planning requirements, and rules and regulations since certification of the MEIR, the actual environmental setting has not evidenced degradation of air quality. (Because air quality and global climate change are matters of some public controversy, additional documentation has been supplied on this issue; please refer to the appended full analysis with supporting data.)

In conjunction with SJVAPCD attainment plans and attendant rules and regulations that were adopted prior to the certification of the MEIR, policies in the 2025 Fresno General Plan and MEIR mitigation measures aimed at improving air quality appear to be working. Since 2002, data show that pollutant levels have been steadily decreasing for ozone/oxidants and for particulate matter (10 microns and 2 microns in size). Recent adoption of new air quality attainment plans by SJVAPCD, calling for broader and more stringent rules and regulations to achieve compliance with national and state standards, is expected to accelerate progress toward attainment of clean air act standards.

Analysis of global climate change analysis was not part of the MEIR in 2002, due to lack of scientific consensus on the matter and a lack of analytical tools. However, under the MEIR and General Plan mitigation measures and policies for reducing all forms of air pollution, levels of greenhouse gases have been reduced along with the other regulated air pollutants. At this point in time, detailed analysis and conclusions as to the significance of greenhouse gas emissions and strategies for mitigation are still not feasible, because the legislatively-mandated greenhouse gas inventory benchmarking and the environmental analysis policy formulation tasks of the California Environmental Protection Agency Air Resources Board and the Governor's Office of Planning and research are not completed. The information available does not support any conclusion that Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit No. C-14-018, or other City projects, would have a significantly adverse impact on global climate change. Similarly, there is insufficient information to conclude that global climate change would have a significant adverse impact upon the City of Fresno or specific development projects.

Staff is not aware of any particular circumstance or information that would make impacts to air quality a reasonably foreseeable impact or more severe impact from that identified in the MEIR. Therefore, Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known based upon air quality impacts pursuant to CEQA Guideline Section 15179(b)(1).

**Water Supply, Quality and Hydrology.** The City of Fresno has initiated, continued and completed numerous projects addressing general plan and MEIR provisions relating maintaining an adequate supply of safe drinking water to serve present and future projected needs. A water meter retrofit program to meter service to all consumers by the end of the year 2012 is underway, in compliance with State law that predated the MEIR and with new regulations affecting the U.S. Bureau of Reclamation Central Valley Project. (While the federal regulation has trumped a voter-approved City charter amendment that specifically prohibited using meters for residential development, the City's plans and policies have always contained measures calling for water conservation and for seeking ways to reduce average consumption of households. Metering is recognized as the best implementation measure for this, and does not constitute a change in the City's environmental setting or the analysis and mitigation in the 2025 Fresno General Plan MEIR.) After certification of the MEIR, the City commenced operation of its northeast area surface water treatment facility; initiated and began construction of additional groundwater wells with granular activated carbon filtration systems as necessary to remediate groundwater contamination that was discussed in the MEIR and its mitigation measures; provided for additional groundwater recharge areas; and expanded its network of water transmission main pipeline improvements allowing for improved distribution of water supply.

As called for in 2025 General Plan policies and MEIR mitigation measures, the City has implemented several programs for preventing water pollution: In conjunction with Fresno Metropolitan Flood Control District and the Regional Water Quality Control

Board (RWQCB) City inspectors assist in enforcing the National Pollutant Discharge Elimination System Stormwater Pollution Prevention regulations, The Planning and Development Department also consults with RWQCB on specific development projects which may require on-site wastewater treatment, and provides project-specific conditions and even supplemental environmental analysis for such projects, with specific mitigation measures. The City's Department of Public Utilities has enhanced its industrial pretreatment permitting program for industrial wastewater generators who discharge to the Fresno-Clovis Wastewater Treatment and Reclamation Facility.

Staff is not aware of any particular circumstance or information that would make impacts to water supply, quality and hydrology a reasonably foreseeable impact or more severe impact from that identified in the MEIR. The Director of Public Utilities finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known based upon traffic impacts pursuant to CEQA Guideline Section 15179(b)(1).

**Agricultural Resources.** The implementation of applicable policies since adoption of the 2025 Fresno General Plan has encouraged the development of urban uses in a more systematic pattern that avoids discontinuity and the creation of vacant by-passed properties. These efforts, together with the requirement to record "right-to-farm" covenants, facilitate the continuation of existing agricultural uses within the city's planned urban growth boundary during the interim period preceding orderly development of the property as anticipated by the General Plan. Staff is not aware of any particular circumstance or information that would make impacts from loss of agricultural resources a reasonably foreseeable impact or more severe impact from that identified in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related to loss of agricultural resources pursuant to CEQA Guideline Section 15179(b)(1).

**Demand for Utilities and Service Systems.** The City of Fresno has continued to provide for utilities and service systems commensurate with the demands of increased population and employment within its service area, implementing policies of the 2025 Fresno General Plan and conforming to MEIR mitigation measures. Programmatic measures have been continued, expanded or initiated to increase the efficiencies of providing services in a manner that will reduce potential impacts upon the natural and human environment. These improvements have included bringing the City's first surface water treatment plant on-line to distribute treated surface water, thereby preventing a worsening of groundwater overdraft in northeast Fresno; converting a substantial portion of the City's service vehicle fleet to alternative fuels; and expanding recycling and conservation measures (including contracting with a major material sorting and recycling facility and a green waste processor to comply with AB 939 solid waste reduction mandates) to more judiciously use resources and minimize adverse impacts the environment. Adoption of City-wide police and fire facility development

impact fees and a contract to consolidate fire service with an adjacent fire prevention district have been accomplished to assure the provision of adequate firefighting capacity to serve a broader geographic extend of urban development and more intensive and mixed-use development throughout the metropolitan area.

Because these changes were anticipated in, or provided for by, the 2025 Fresno General Plan and its MEIR mitigation measures, they do not constitute a significant or adverse alteration of Fresno's environmental setting. Staff is not aware of any particular circumstance or information that would make impacts from increased demand for utilities and service systems and public facilities a reasonably foreseeable impact or more severe impact from that identified in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related to increased demand for utilities, service systems, and public facilities pursuant to CEQA Guideline Section 15179(b)(1).

**Demand for Recreational Facilities.** The City of Fresno has adopted and City-wide parks facility and Quimby Act fee which provides for the acquisition of new open space and recreation facilities as well as improvements to existing facilities and programs to provide a broader range of recreation opportunities. Staff is not aware of any particular circumstance or information that would make impacts from increased demand for recreational facilities a reasonably foreseeable impact or more severe impact from that identified in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related to increased demand for utilities, service systems, and public facilities pursuant to CEQA Guideline Section 15179(b)(1).

**Biological Resources.** The City continues to evaluate all development proposals for potential impacts upon natural habitats and associated species dependent upon these habitats. The City supports continuing efforts to acquire the most prominent habitats where appropriate, such as portions of the San Joaquin River environs. When development or public works projects have been proposed in this area, they have been subject to site-specific evaluation through supplemental environmental analyses, and appropriate mitigation measures and conditions applied as derived from consultation with the U.S. Fish and Wildlife Service and the California Department of Fish and Game. The City has imposed MEIR mitigation measures related to Biological Resources on projects that identified potential impacts to biological resources. Staff finds that this has adequately addressed any potential impact to biological resources. Staff is not aware of any particular circumstance or information that would make impacts from loss of biological resources a reasonably foreseeable impact or more severe impact from that identified in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related to loss of biological resources pursuant to CEQA Guideline Section 15179(b)(1).

**Potential Disturbance of Cultural Resources.** The City of Fresno has implemented numerous efforts to identify historic and cultural resources, and provide thorough consideration as to their value and contributions to understanding or historic and cultural heritage.

Additionally, staff follows the MEIR mitigation measures for potential cultural resources. Staff is not aware of any particular circumstance or information that would make impacts to cultural resources a reasonably foreseeable impact that was not identified in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related to loss of cultural resources pursuant to CEQA Guideline Section 15179(b)(1).

Within the last five years, the City has lost two lawsuits (Valley Advocates v. COF and Heritage Fresno v. RDA, City of Fresno) related to historical resources that related to six particular buildings at two different particular sites. The CEQA projects at issue were reviewed under independent CEQA documents, not under the MEIR as subsequent projects (*i.e.*, one under a separate EIR and one under a categorical exemption). These projects are site specific and are not reasonably expected to create additional impacts to cultural resources that would affect a finding under Section 15179. These particular projects may be properly assessed under the MEIR focused EIR procedures or mitigated negative declaration procedures under Section 15178 and not affect the overall MEIR findings.

**Generation of Noise.** The City of Fresno continues to implement mitigation measures and applicable plan policies to reduce the level of noise to which sensitive noise receptors are exposed. These efforts include identification of high noise exposure areas, limiting the development of new noise sensitive uses within these identified areas and conducting noise exposure studies and requiring implementation of appropriate design measures to reduce noise exposure. Staff finds that these efforts have adequately addressed any potential impacts that may have arisen related to noise and is not aware of any facts or circumstance that would make noise impacts have a more severe impact than that identified in the MEIR. Additionally, staff is not aware of any information or data that was not known at the time that the MEIR was certified that would be able to mitigate noise impacts beyond that identified and contemplated by the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related to noise impacts pursuant to CEQA Guideline Section 15179(b)(1).

**Geology and Soils.** The City of Fresno has a predominantly flat terrain with few geologic or soil quality constraints. The City continues to apply applicable local and

state construction codes and standards and continues to adopt new standards as appropriate to insure the safety of residents and protection of property improvements.

Staff finds that these codes and standards have adequately addressed any potential impacts that may have arisen related to geology and soils and is not aware of any facts or circumstance that would make impacts related to geology and soils a reasonably foreseeable impact not addressed in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known regarding impacts related to geology and soils pursuant to CEQA Guideline Section 15179(b)(1).

**Hazards and Potential Generation of Hazardous Materials** The City continues to implement General Plan policies and assure compliance with MEIR mitigation measures as new development is planned and constructed, and as Code Enforcement activities are conducted, in order to prevent flood damage, structural failures due to soil and geologic instability, and wildfire losses. Development in the vicinity of airports has been reviewed and appropriately conditioned with regard to adopted and updated airport safety and noise policies. In consultation with Fresno County Environmental Health and the California Environmental Protection Agency Department of Toxic Substances Control, industrial and commercial facilities that use, handle, or store potentially hazardous materials are appropriately sited, conditioned, and inspected periodically by the Fresno Fire Department to prevent adverse occurrences. Homeland Security regulations have been taken into consideration when reviewing food production, processing and storage facilities, and the City has conducted and participated in multiple emergency response exercises to develop response plans that would protect life, health, and safety in the event of railroad accidents and other potential hazards.

Staff finds that these procedures, as outlined in the 2025 Fresno General Plan and its MEIR (as well as in related regulations and codes pertaining to hazards and hazardous materials) have adequately addressed potential impacts that may have arisen related to hazards. Staff is not aware of any facts or circumstance that would make impacts related to hazards and hazardous materials reasonably foreseeable impacts not addressed in the MEIR. Staff finds that the circumstances have not materially changed from the time the MEIR was certified and/or new information is not known related to impacts from hazards and hazardous materials pursuant to CEQA Guideline Section 15179(b)(1).

**Demand for Energy.** The City of Fresno has taken a number of steps to reduce energy consumption, both “in house” to set an example, and in the policy arena. The most notable “in-house” actions are the following:

- Construction of solar panel generator facilities at the Municipal Services Center (MSC) and at Fresno-Yosemite International Airport. The MSC facility,

completed in 2004, generates 3.05 GWt of energy (equivalent to operation of 286 homes per year) and has resulted in reduction of 966 tons of CO<sub>2</sub> emissions (equivalent to 2,414,877 vehicular miles not driven).

- Replacement of a significant number of vehicles in the municipal fleet with clean air vehicles (please refer to the following table).

**CURRENT CITY OF FRESNO "CLEAN AIR" FLEET**

50	CNG Transit Buses
4	CNG Trolleys
6	CNG Handi-Ride Buses
59	Retrofitted Diesel Powered Buses with REV (reduced emission vehicle) engines and diesel particulate traps
2	Hybrid (gasoline-electric) Transit Buses
2	Hybrid (diesel-electric) Transit Buses
12	Compressed Natural Gas (CNG) Pickups, Vans and Sedans
7	Flex Fuel Pickups, Vans and Sedans (CNG/Unleaded Fuel)
3	Compressed Natural Gas (CNG) Street Sweepers
52	Hybrid (gasoline-electric) Sedans and Trucks
34	Electric Vehicles
5	Propane Powered Vehicles
103	LNG Powered Refuse Trucks
59	Retrofitted Diesel Powered Refuse Trucks with combination lean NOx catalyst and diesel particulate filters
9	Retrofitted Diesel Powered Street Sweepers with combination lean NOx catalyst and diesel particulate filters
1	Plug-In CNG/Electric Hybrid Refuse Truck
56	Heavy duty diesel trucks and construction equipment equipped with exhaust after-treatment devices

9	Off Road Equipment with exhaust after-treatment devices
<b>473</b>	<b>Total “Clean Air” Vehicles in the City of Fresno fleet or sold to City solid waste franchisee</b>

In the development standards policy arena, the City is taking numerous steps to increase residential densities and connectivity between residential and commercial land uses, thus facilitating more walking, biking and transit ridership (which has increased 22% in recent months) and saving energy:

- Amended the zoning code to allow development of mixed use projects in all commercial zone districts citywide, and in the C-M and M-1 zone districts within the Central Area.
- Amended the zoning code to allow density bonuses for affordable housing projects. Such bonuses permit density increases of approximately 30%.
- Amended zoning code to eliminate the “drop down” provision, which permitted development at one density range less than that shown on the adopted land use map.
- Amended the zoning code to increase heights in various residential and commercial zone districts and reduce the minimum lot size in the R-1 zone district from 6,000 to 5,000 square feet.
- Initiated the Activity Center Study, which is defining the potential Activity Centers located in Exhibit 6 of the 2025 Fresno General Plan and proposing design classifications and increased density ranges for these centers and corresponding transportation corridors.

Staff is not aware of any facts or circumstance that would make impacts related to energy demands reasonably foreseeable impacts that were not addressed in the MEIR. Staff finds that the circumstances have not materially changed from the time the MEIR was certified and/or new information is not known related to energy demand impacts pursuant to CEQA Guideline Section 15179(b)(1).

**Mineral Resources.** The City of Fresno has adopted plan policies and City ordinance provisions consistent with requirements of the State of California necessary to preserve access to areas of identified resources and for restoration of land after resource recovery (surface mining) activities. Staff finds that these policies and Fresno Municipal Code provisions have adequately addressed any potential impacts that may have arisen related to mineral resources and is not aware of any facts or circumstance that would make loss of mineral resources a reasonably foreseeable impact not addressed in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was

certified and/or new information is not known related to loss of mineral resources pursuant to CEQA Guideline Section 15179(b)(1).

**School Facilities**. The City of Fresno continues to consult with affected school districts and participate in school site planning efforts to assure the identification of appropriate location alternatives for planned school facilities. Staff is not aware of any information from the school districts or otherwise to demonstrate that adequate school facilities are not being accommodated under the current General Plan and/or that the need for school facilities is expected to cause impacts not identified in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related to need for school facilities pursuant to CEQA Guideline Section 15179(b)(1).

**Potential Aesthetic Impacts**. Design Guidelines were appended to the 2025 Fresno General Plan through the plan adoption process conducted concurrently with MEIR analysis. As noted previously, General Plan policies encourage and promote infill development, and the City of Fresno Planning and Development Department has implemented design guidelines for reviewing infill housing development proposals. The Department has prepared detailed design guidelines for the Tower District Specific Plan area and the Fulton-Lowell Specific Plan area, both of which contain enclaves of unique structures. The City has adopted policies promoting incorporation of public art within private development projects, which will contribute to a more appealing visual environment, benefitting users of the private property as well as the surrounding community. In addition, the City of Fresno and the City of Fresno Redevelopment Agency have funded public improvements which improve the general aesthetic. Staff is not aware of any situation or circumstances where there are reasonably foreseeable aesthetic impacts not identified and assessed in the MEIR. Staff finds that the circumstances have not changed from the time the MEIR was certified and/or new information is not known related aesthetic impacts pursuant to CEQA Guideline Section 15179(b)(1).

Appendix: Status of MEIR Analysis With Regard to Air Quality and Climate Change

**APPENDIX TO MEIR REVIEW SUMMARY**

**STATUS OF MEIR ANALYSIS WITH REGARD TO  
AIR QUALITY AND CLIMATE CHANGE**

**EXECUTIVE SUMMARY**

Planning staff has worked closely with the regional San Joaquin Valley Air Pollution Control District (SJVAPCD) since the November 2002 certification of the 2025 Fresno General Plan Master Environmental Impact Report (MEIR). Potential air quality impacts have been analyzed for every environmental assessment initial study done for City development projects. Projects are required to comply with SJVAPCD rules and regulations via conditions of approval and mitigation measures formulated in the MEIR.

Overall, revisitation of these issues leads to the conclusion that, while there have been changes in air quality laws, planning requirements, and rules and regulations since certification of the MEIR, the actual environmental setting has not evidenced degradation of air quality. In conjunction with SJVAPCD attainment plans and attendant rules and regulations that were adopted prior to the certification of the MEIR, policies in the 2025 Fresno General Plan and MEIR mitigation measures aimed at improving air quality appear to be working. Since 2002, data show that pollutant levels have been steadily decreasing for ozone/oxidants and for particulate matter (10 microns and 2 microns in size). Recent adoption of new air quality attainment plans by SJVAPCD, calling for broader and more stringent rules and regulations to achieve compliance with national and state standards, is expected to accelerate progress toward attainment of clean air act standards.

Analysis of global climate change analysis was not part of the MEIR in 2002, due to lack of scientific consensus on the matter and a lack of analytical tools. However, under the MEIR and General Plan mitigation measures and policies for reducing all forms of air pollution, levels of greenhouse gases have been reduced along with the other regulated air pollutants. At this point in time, detailed analysis and conclusions as to the significance of greenhouse gas emissions and strategies for mitigation are still not feasible, because the legislatively-mandated greenhouse gas inventory benchmarking and the environmental analysis policy formulation tasks of the California Environmental Protection Agency Air Resources Board and the Governor's Office of Planning and research are not completed. The information available does not support any conclusion that Vesting Tentative Tract Map No. 6063/UGM and Conditional Use Permit No. C-14-018, or other City projects, would have a significantly adverse impact on global climate change. Similarly, there is insufficient information to conclude that global climate change would have a significantly adverse impact upon the City of Fresno or specific development projects.

## **SUPPORTING DATA AND ANALYSIS**

While there have been changes in air quality regulations since the November 2002 certification of the 2025 Fresno General Plan MEIR, the actual environmental setting has not evidenced degradation of air quality.

The adverse air quality impacts associated with the myriad of human activities potentiated by the long range general plan for the Fresno metropolitan area can be expected to remain significant and unavoidable, and cannot be completely mitigated through the General Plan or through project-level mitigation measures. In order to provide a suitable living environment within the metropolitan area, the General Plan and its MEIR included numerous air pollution reduction measures.

The 2025 Fresno General Plan and its MEIR gave emphasis to pursuing cleaner air as an over-arching goal. The urban form element of the General Plan was designed to foster efficient transportation and to support mass transit and subdivision design standards are being implemented to support pedestrian travel. Strong policy direction in the Public Facilities and Resource Conservation elements require that air pollution improvement be a primary consideration for all land development proposals, that development and public facility projects conform to the 2025 Fresno General Plan and its EIR mitigation measures, and that the City work conjunctively with other agencies toward the goal of improving air quality.

The MEIR mitigation checklist sketched out a series of actions for the City to pursue with regard to its own operations, and City departments are pursuing these objectives. The Fresno Area Express (FAX) bus fleet and the Department of Public Utilities solid waste collection truck fleet are being converted to cleaner fuels. Lighter-duty vehicle fleets are also incorporating alternative fuels and “hybrid” vehicles. Mass transit system improvements are supporting increased ridership. Construction of sidewalks, paseos, bicycle lanes and bike paths is being required for new development projects, and are being incorporated into already-built segments of City rights-of-way with financing from grants, gas tax, and other road construction revenues. Traffic signal synchronization is being implemented. The Planning and Development Department amended the Fresno Municipal Code to ban all types of residential woodburning appliances, thereby removing the most prominent source of particulate matter pollution from new construction.

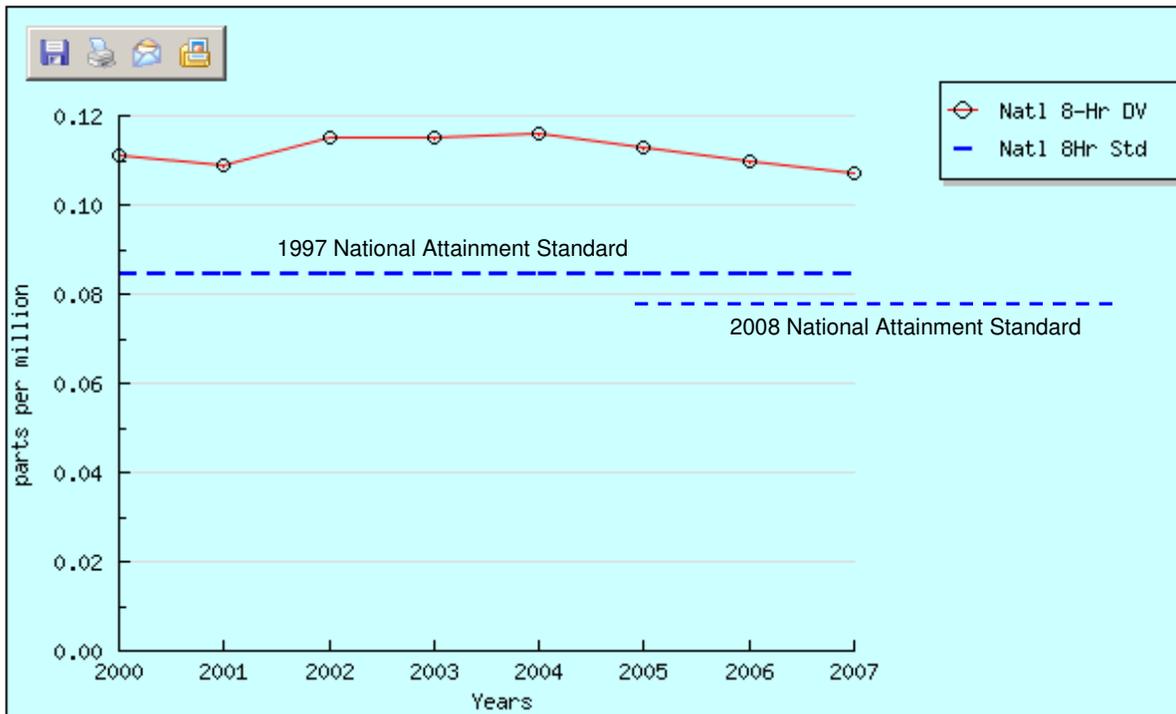
Pursuant to a specific MEIR mitigation measure, all proposed development projects are evaluated with the “Urbemis” air quality impact model that evaluates potential generation of a range of air pollutants and pollutant precursors from project construction, project-related traffic, and from various area-wide non-point air pollution sources (*e.g.*, combustion appliances, yard maintenance activities, etc.). The results of this “Urbemis” model evaluation are used to determine the significance of development projects’ air quality impacts as well as the basis for any project-specific air quality mitigation measures.

There are no new (*i.e.*, unforeseen in the MEIR) reasonable mitigation measures which have become available since late 2002 that would assure the reduction of cumulative (city-wide) air quality impacts to a less than significant level at project buildout, even with full compliance with attainment plans and rules promulgated by the California Air Resources Board and the San Joaquin Valley Air Pollution Control District.

Through implementation of regional air quality attainment plans by the San Joaquin Valley Unified Air Pollution Control District (SJVAPCD), as supported by implementation of 2025 Fresno General Plan policies and MEIR mitigation measures, air pollution indices have shown improvement. Progress is being made toward attainment of federal and state ambient air quality standards. Please refer to the following graphs and charts.

 **Air Resources Board**

**Ozone Trends Summary: San Joaquin Valley Air Basin**



GRAPH NOTES: The "National 1997 8-Hour Ozone Design Value" is a three-year running average of the fourth-highest 8-hour ozone measurement averages in each of the three years (computed according to the method specified in Title 40, Code of Federal Regulations, Part 50, Appendix I).

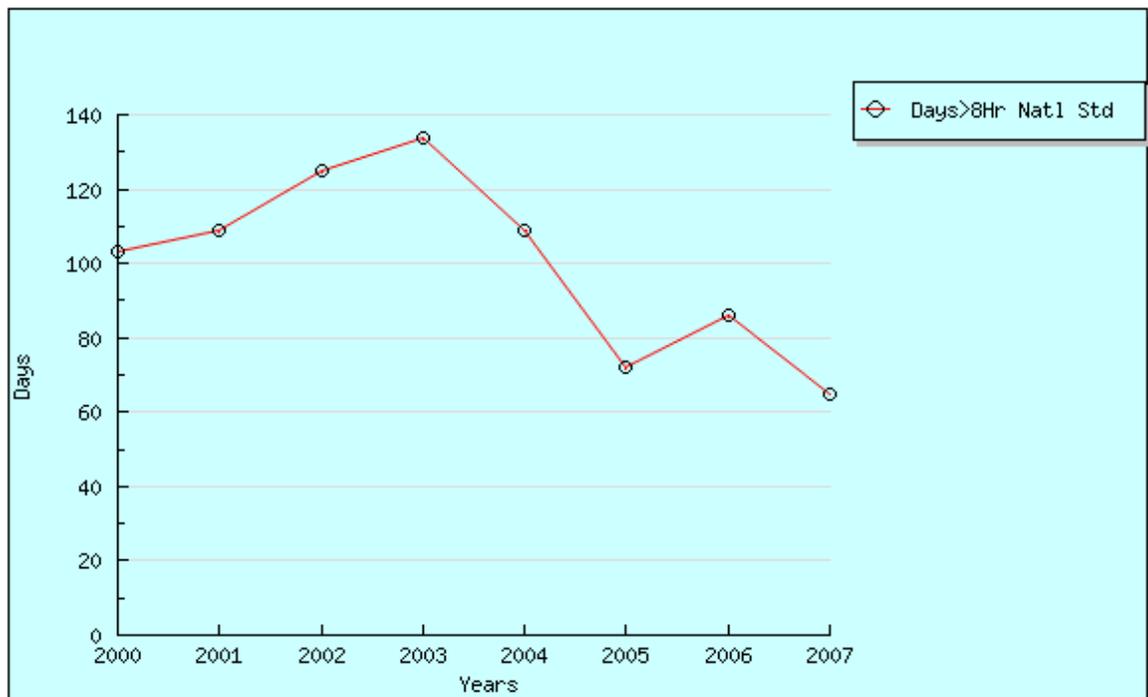
Under the 1997 standard, in effect through the end of 2007, "Attainment" would be achieved if the three-year average were less than, or equal to, 84 parts per billion (ppb), or 0.084 parts per million (ppm). In 2008, a new National 8-Hour Ozone Attainment standard went into effect: a three year average of 75 ppb (0.075 ppm). Data and attainment status for 2008 is expected to become available in 2009.

The California Clean Air Act has a different calculation method for its 8-hr oxidant [ozone] standard design value, and an attainment standard that is lower (0.070 ppm). The ozone improvement trend under the state Clean Air Act 8-hour ozone standard parallels the trend for the national 8-hour standard.

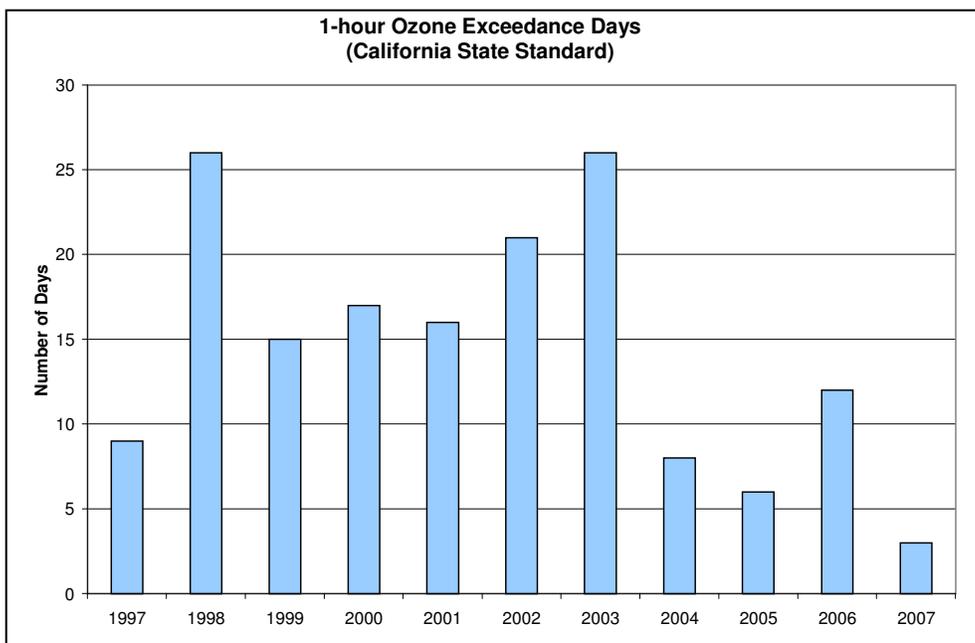
Ozone/oxidant levels have shown gradual improvement, as depicted in data from the California Air Resources Board (graphics with an aqua background) and from the San Joaquin Valley Air Pollution Control District (those with no background color):

Correspondingly, the number of days per year in which the National 8-hour Ozone Standard has been exceeded have also decreased since the end of 2002:

Ozone Trends Summary: San Joaquin Valley Air Basin



In 1997, the Federal Clean Air Act repealed the former National 1-hour Ozone standard. However, the California Clean Air Act retains this air pollution parameter. The days per year in which the State of California 1-hour ozone standard has been exceeded have also shown a generally decreasing trend in the time since the 2025 Fresno General Plan MEIR was certified:



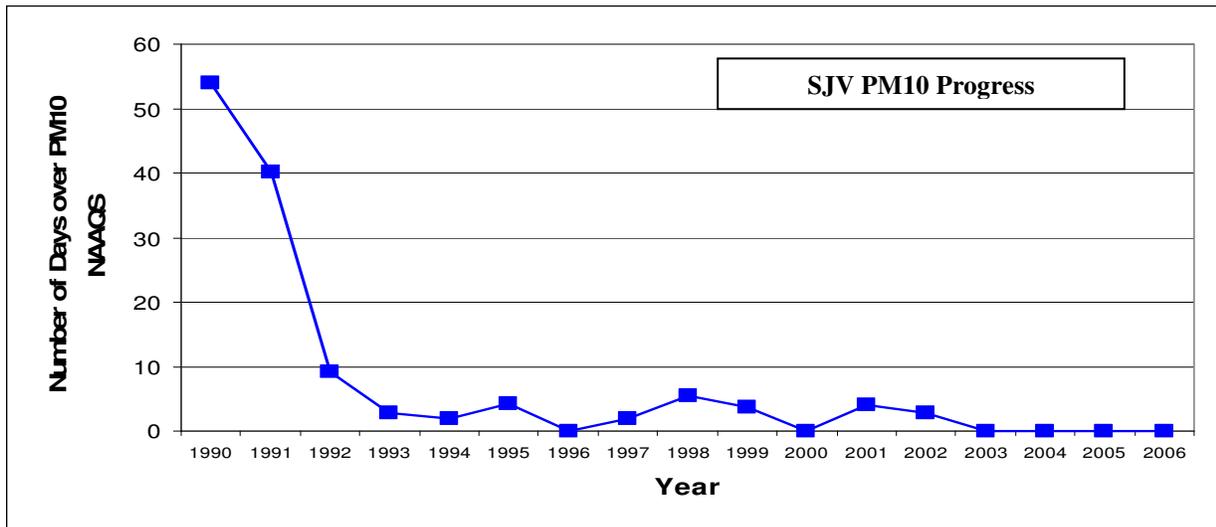
The current ozone attainment plan for the San Joaquin Valley Air Basin, in place when the MEIR for the 2025 Fresno General Plan was certified, is linked to a federal designation of “Serious Nonattainment.” While ozone/oxidant air quality conditions are showing a trend toward improvement, the rate of progress toward full attainment is not sufficient to reach the national ambient air quality standards by the target date established by the attainment plan. Mobile sources (vehicle engines) are the primary source for ozone precursors, and the regulation of mobile sources occurs at the national and state levels and is beyond the direct regulatory reach of the regional air pollution control agency. As noted in the 2025 Fresno General Plan MEIR and reflected in the Statement of Overriding Considerations made when the MEIR was certified, potentially significant and unavoidable adverse air quality impacts are inherent in population growth and construction in the City of Fresno, given the Valley’s climatology and the limitations on regulatory control of air pollutant precursors.

In 2004, the San Joaquin Valley Air Pollution Control District, in conjunction with the California Air Resources Board, approved a re-designation for the San Joaquin Valley Air Basin to “Extreme Nonattainment” status for ozone, approving a successor air quality attainment plan that projects San Joaquin Valley attainment of the national 8-hour ozone standard by year 2023. This designation and its accompanying attainment plan were submitted to the U.S. Environmental Protection Agency (USEPA) in November of 2004. To date, no formal action has been taken by USEPA to date on the proposed designation or the attainment plan; the Valley remains in “Severe Nonattainment” as of this writing.

The change from “Severe” to “Extreme” ozone Nonattainment provided for an extension of the deadline for attainment, but since the regional air basin would not have achieved

attainment by the original deadline, that does not materially affect environmental conditions for the City of Fresno as they were analyzed in the MEIR for the 2025 Fresno General Plan. The proposed revised ozone attainment plan includes not only all the measures in the preceding ozone attainment plan, but additional measures for regulating a wider range of activities to attain ambient air quality standards.

The Valley's progress toward attaining national and state standards for PM-10 (particulate matter less than 10 microns in diameter) has been greater since certification of the MEIR:



As the preceding chart shows, levels of PM-10 air pollution have decreased since 2002. When the MEIR was certified, the San Joaquin Valley Air Basin was designated in "Serious Nonattainment" for national standards. As of 2007, the number of days where standards were exceeded has decreased to the extent that the Valley has been deemed to be in Attainment. Under Federal Clean Air Act Section 107(d)(3), PM-10 attainment plans and associated rules and regulations remain in place to maintain this level of air quality. New and expanded regulations proposed to combat "Extreme" ozone pollution and PM-2.5 (discussed below) would be expected to provide even more improvement in PM-10 pollution situation.

The 2025 Fresno General Plan provided policy direction in support of "indirect source review" as a method for controlling mobile source pollution. Although vehicle engines and fuels are outside the purview of local and regional jurisdictions in California, approaching mobile source pollution indirectly, through regulation and mitigation of land uses which generate traffic, is an alternative approach.

In March of 2006, the San Joaquin Valley Air Pollution Control District adopted Rule 9510, its Indirect Source Review Rule. Full implementation of this Rule has been delayed due to litigation (mitigation fees are being collected and retained in holding

accounts), but projects are already being evaluated under Rule 9510 and are implementing many aspects of the Rule, such as clean air design (pedestrian and bike facilities; proximal siting of residential and commercial land uses; low-pollution construction equipment; dust control measures; cleaner-burning combustion appliances, etc.).

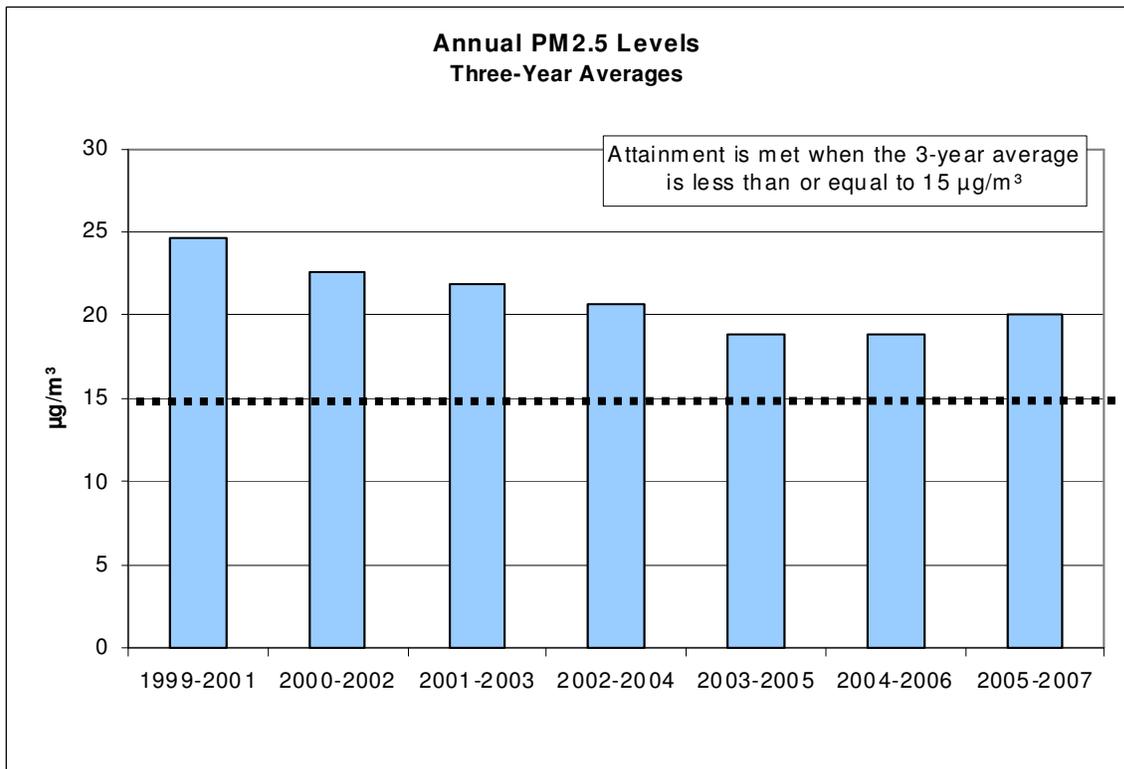
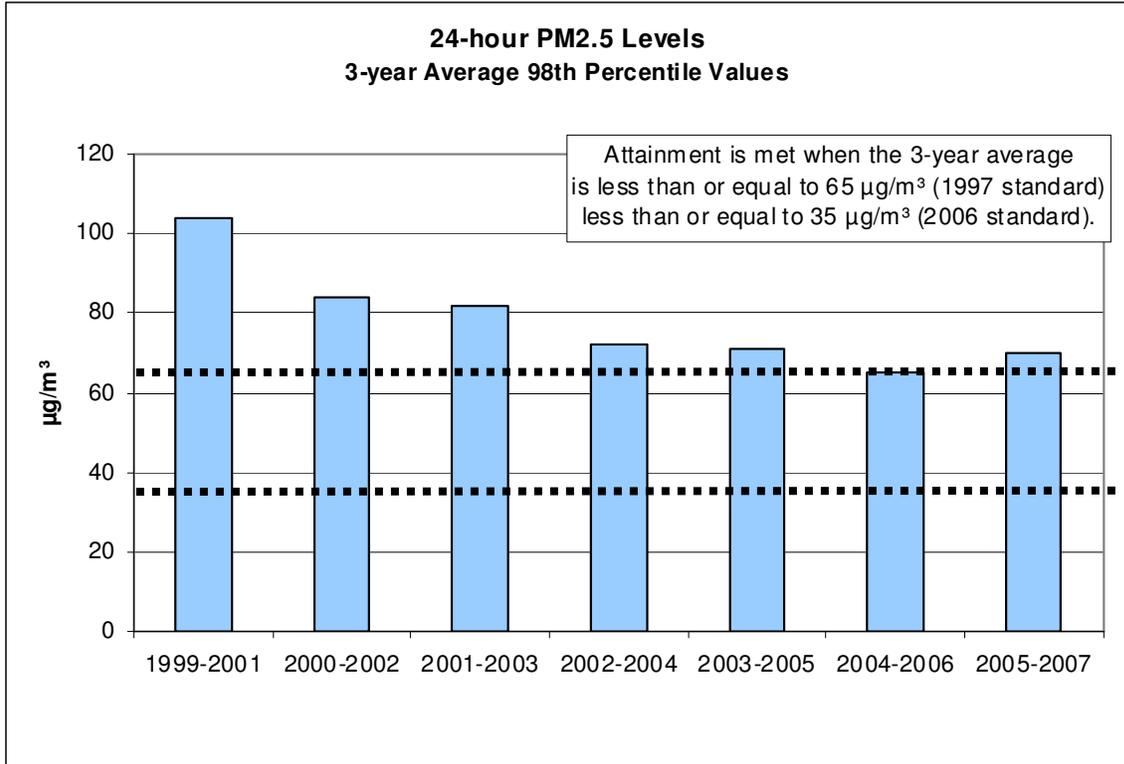
It is anticipated that full implementation (release of mitigation impact fees for various clean air projects throughout the San Joaquin Valley) and subsequent augmentation of the Indirect Source Review Rule will accelerate progress toward attainment of federal and state ozone standards, and will be an important component of the attainment plan for PM-2.5 (very fine particulate matter) and for greenhouse gas reductions to combat global climate change.

PM-2.5 is a newly-designated category of air pollutant, the component of PM-10 comprised of particles 2.5 microns in diameter or smaller. The 1997 Clean Air Act Amendments directed that this pollutant be brought under regulatory control, but federal and state standards/designations had not been finalized when the 2025 Fresno General Plan MEIR was drafted and certified. In the intervening time, the San Joaquin Valley Air Basin has been classified as being in “Nonattainment” for the 1997 federal PM-2.5 standard and for the State PM-2.5 standard.

An attainment demonstration plan for the federal 1997 PM-2.5 standard has been adopted by the SJVAPCD and approved by the California Air Resources Board, and forwarded to the EPA for approval (status as of mid-2008). The attainment plan would achieve compliance with the 1997 federal Clean Air Act PM-2.5 standard by year 2014, in conjunction with California Air Resources Board (and US EPA) action to improve diesel engine emissions. The San Joaquin Valley Air Basin has not yet been classified under the more stringent revised federal 2006 PM-2.5 standard; this classification is expected by 2009.

As with ozone and PM-10 pollution, levels of PM-2.5 have already been reduced by already-existing air quality improvement planning policies, mitigation measures, and regulations. The following charts depict historic PM-2.5 monitoring data for the regional air basin. Once the expected SJVAPCD attainment plan is implemented measures specific to PM-2.5 control, the rate of progress toward attainment of federal and state PM-2.5 standards will accelerate.

Please refer to the graphs on the following page.



When the 2025 Fresno General Plan and its MEIR were approved in late 2002, the planning and environmental documents did not directly or separately analyze potential global climate change impacts. However, the general policy direction for consideration of air quality parameters in development project evaluations and for reducing those air pollutants which are already under regulation would operate to control these potential adverse impacts.

When sunlight strikes the Earth's surface, some of it is reflected back into space as infrared radiation. When the net amount of solar energy reaching Earth's surface is about the same as the amount of energy radiated back into space, the average ambient temperature of the Earth's surface would remain more or less constant. Greenhouse gases potentially disturb this equilibrium by absorbing and retaining infrared energy, trapping heat in the atmosphere—the “greenhouse gas effect.”

“Global warming” was a term formerly used to describe a widespread climate change characterized by a rising trend in the Earth's ambient average temperatures with concomitant disturbances in weather patterns and resulting alteration of oceanic and terrestrial environs and biota.

The predominant current opinion within the scientific community is that global warming is occurring, and that it is being caused and/or accelerated via generation of excess “greenhouse gases” [GHGs], that natural carbon cycle processes (such as photosynthesis) are unable to absorb sufficient quantities of GHG and cannot keep the level of these gases or their warming effect under control. It is believed that a combination of factors related to human activities, such as deforestation and an increased emission of GHG into the atmosphere from combustion and chemical emissions, is a primary cause of global climate change.

The predominant types of anthropogenic greenhouse gases (those caused by human activity), are described as follows. It should be noted that the starred GHGs are regulated by existing air quality policies and rules pursuant to their roles in ozone and particulate matter formation and/or as potential toxic air contaminants.

- carbon dioxide (CO<sub>2</sub>), largely generated by combustion activities such as coal and wood burning and fossil fuel use in vehicles but also a byproduct of respiration and volcanic activity;
- methane (CH<sub>4</sub>), known commonly as “natural gas,” is present in geologic deposits and is also evolved by anaerobic decay processes and animal digestion. On a ton-for-ton basis, CH<sub>4</sub> exerts about 20 times the greenhouse gas effect of CO<sub>2</sub>;
- nitrous oxide (N<sub>2</sub>O), produced in large part by soil microbes and enhanced through application of fertilizers. N<sub>2</sub>O is also a byproduct of fossil fuel burning: atmospheric nitrogen, an inert gas that makes up a large proportion of the

atmosphere, is oxidized when air is exposed to high-temperature combustion. N<sub>2</sub>O is used in some industrial processes, as a fuel for rocket and racing engines, as a propellant, and as an anesthetic. N<sub>2</sub>O is one component of “oxides of nitrogen” (NOX), long recognized as precursors of smog-causing atmospheric oxidants.

- chlorofluorocarbons (CFCs), synthetic chemicals developed in the late 1920s for use as improved refrigerants (e.g., “Freon™”). It was recognized over two decades ago that this class of chemicals exerted powerful and persistent greenhouse gas effects. In 1987, the Montreal Protocol halted production of CFCs.
- hydrofluorocarbons (HFCs), another class of synthetic refrigerants developed to replace CFCs;
- perfluorocarbons (PFCs), used in aluminum and semiconductor manufacturing, have an extremely stable molecular structure, with biological half-lives tens of thousands of years, leading to ongoing atmospheric accumulation of these GHGs.
- sulfur hexafluoride (SF<sub>6</sub>) is used for insulation in electric equipment, semiconductor manufacturing, magnesium refining and as a tracer gas for leak detection. Of any gas evaluated, SF<sub>6</sub> exerts the most powerful greenhouse gas effect, almost 24,000 times as powerful as that of CO<sub>2</sub> on a ton-for-ton basis.
- water vapor, the most predominant GHG, and a natural occurrence: approximately 85% of the water vapor in the atmosphere is created by evaporation from the oceans.

In an effort to address the perceived causes of global warming by reducing the amount of anthropogenic greenhouse gases generated in California, the state enacted the Global Warming Solutions Act of 2006 (Codified as Health & Safety Code Section 38501 *et seq.*). Key provisions include the following:

- ❖ Codification of the state's goal by requiring that California's GHG emissions be reduced to 1990 “baseline” levels by 2020.
- ❖ Set deadlines for establishing an enforcement mechanism to reduce GHG emissions:
  - By June 30, 2007, the California Air Resources Board (“CARB”) was required to publish “discrete early action” GHG emission reduction measures. Discrete early actions are regulations to reduce greenhouse gas emissions to be adopted by the CARB and enforceable by January 1, 2010;

- By January 1, 2008, CARB was required to identify what the state's GHG emissions were in 1990 (set the “baseline”) and approve a statewide emissions limit for the year 2020 that is equivalent to 1990 levels. (These statewide baseline emissions have not yet been allocated to regions, counties, or smaller political jurisdictions.) By this same date, CARB was required to adopt regulations to require the reporting and verification of statewide greenhouse gas emissions.
- By January 1, 2011, CARB must adopt emission limits and emission reduction measures to take effect by January 1, 2012.

As support for this legislation, the Act contains factual statements regarding the potential significant impacts on California's physical environment that could be caused by global warming. These include, an increase in the intensity and duration of heat waves, the exacerbation of air quality problems, a reduction in the quality and supply of water to the state from the Sierra snow pack, a rise in sea levels resulting in the displacement of thousands of coastal businesses and residences, damage to marine ecosystems and the natural environment, and an increase in the incidences of infectious diseases, asthma, and other human health-related problems.

On August 24, 2007, California also enacted legislation (Public Resources Code §§ 21083.05 and 21097) requiring the state Resources Agency to adopt guidelines for addressing climate change in environmental analysis pursuant to the California Environmental Quality Act. By July 1, 2009, the Governor's Office of Planning and Research (OPR) is required to prepare guidelines for the mitigation of greenhouse gas emissions, and transmit those draft regulations to the Resources Agency. The Resources Agency must then certify and adopt the guidelines by January 1, 2010.

The recently-released update of the Urbemis computer model (used by the City of Fresno Planning and Development Department for environmental assessments, pursuant to a specific MEIR mitigation measure) does provide data on the amounts of CO<sub>2</sub> and oxides of nitrogen (NOX) potentially generated by development projects. However, at this point in time, neither CARB nor the SJVAPCD has determined what the 1997 baseline or current “inventory” of GHGs is for the entire state nor for any region or jurisdiction within the state. No agency has adopted GHG emission limits and emission reduction measures, and because CEQA guidelines have not been established for the evaluation and mitigation of greenhouse gas emissions (there is an absence of regulatory guidance). Therefore, the City is unable to productively interpret the results of the Urbemis model with regard to GHGs, and there is currently no way to determine the significance of a project's potential impact upon global warming.

The 2025 Fresno General Plan provides an integrated combination of residential, commercial, industrial, and public facility uses allowing for proximate location of living, work, educational, recreational, and shopping activities within Fresno metropolitan area.

This combination of uses has been identified as a potential mitigation measure to address global warming impacts in a document published by the California Attorney General's Office entitled, *The California Environmental Quality Act Mitigation of Global Warming Impacts* (updated January 7, 2008).

Specifically, this document describes this mitigation measure as follows, "Incorporate mixed-use, infill and higher density development to reduce vehicle trips, promote alternatives to individual vehicle travel, and promote efficient delivery of services and goods"—echoing objectives and policies of the 2025 Fresno General Plan adopted in late 2002.

The General Plan contains a mix of land uses would be expected to generate fewer vehicle miles traveled per capita, leading to reduced emissions of greenhouse gases from engine emissions. It provides for overall denser development with high-intensity enclaves, associated with increased public transit use. The plan fosters mixed use and infill development (being implemented by mixed-use zoning ordinances added to the Fresno Municipal Code, as directed by 2025 Fresno General Plan) policies. The urban form element distributes neighborhood-level and larger commercial development, public facilities such as schools, and recreational sites throughout the metropolitan area, reducing vehicle trips.

Any manufacturing activities that would generate SF<sub>6</sub>, HFCs, or PFCs would be subject to subsequent environmental review at the project-specific level, as would any uses which would generate methane on site. The City of Fresno has adopted an ordinance prohibiting installation of any woodburning fireplaces or woodburning appliances in new homes, which would reduce CO<sub>2</sub> and N<sub>2</sub>O from wood combustion.

Through updates in the California Building Code and statewide regulation of appliance standards, City development projects conform to state-of-the art energy-efficient building, lighting, and appliance standards as advocated in the California Environmental Protection Agency's publication *Climate Action Team / Proposed Early Actions to Mitigate Climate Change in California* (April 2007) and in CARB's *Proposed Early Actions to Mitigate Climate Change in California* (April 2007). The City has further incentivized "green" building projects by providing subsidies for solar photovoltaic equipment for single-family residential construction, by reducing development standards (including reductions in required parking spaces, which further reduces air pollutant and GHG emissions), and by improving its landscape and shading standards (a topic included in the Design Guidelines adopted with the 2025 Fresno General Plan).

Updated engine and tire efficiency standards would apply to residents' vehicles, as well as the statewide initiatives applicable to air conditioning and refrigeration equipment, regional transportation improvements, power generation and use of solar energy, water supply and water conservation, landfill methane capture, changes in cement manufacturing processes, manure management (methane digester protocols), recycling program enhancements, and "carbon capture" (also known as "carbon sequestration," technologies for capturing and converting CO<sub>2</sub>, removing it from the atmosphere).

Due to the lack of data or regulatory guidance that would indicate the 2025 Fresno General Plan had a significant adverse impact upon global climate change, the relatively small size of the Fresno Metropolitan Area in conjunction with the worldwide scope of GHG emissions, and the emphasis in the 2025 Fresno General Plan upon integrated urban design and air pollution control measures, it could not be concluded in 2002 nor at present that the 2025 Fresno General Plan would have a significant adverse impact on global climate change.

As to potential impacts of global warming upon the 2025 Fresno General Plan: the city is located in the Central Valley, in an urbanized area on flat terrain distant from the Pacific coast and from rivers and streams. It is outside of identified flood prone areas. Based on its location we conclude that Fresno is not likely to be significantly affected by the potential impacts of global climate change such as increased sea level and river/stream channel flooding; nor is it subject to wildfire hazards. While Fresno does contain areas with natural habitat (the San Joaquin Bluffs and Riverbottom), a change in these areas' biota induced by global warming would not leave them bereft of all habitat value—it would simply mean a change in the species which would be encountered in these areas. The 2025 Fresno General Plan preserves this habitat open space area for multiple objectives (protection from soil instability and flood inundation; conservation of designated high-quality mineral resources), so any natural resource species changes in those areas would not constitute a significant adverse impact to the city or a loss of resource area.

Fresno has historically had high ambient summer temperatures and an historic heat mortality level that is among the highest in the state (5 heat-related deaths annually per 100,000 population). Due to the prevalence of air conditioning in dwellings and commercial buildings, an increase in extreme heat days from global warming is not expected by the California Air Resources Board Research Division to significantly increase heat-related deaths in Fresno, as opposed to possible effects in cooler portions of the state such as Sacramento or Los Angeles areas (reference: *Projections of Public Health Impacts of Climate Change in California: Scenario Analysis*, by Dr. Deborah Dreschler, Air Resources Board, April 9, 2008). Increased summertime temperatures which may be caused by global warming will be mitigated by the City's landscaping standards to provide shade trees, by statewide energy efficiency standards which insulate dwellings from heat and cold, and by urban design standards which require east-west orientation of streets and buildings to facilitate solar gain. Fresno has a heat emergency response plan and provides cooling centers and free transportation to persons who do not have access to air conditioning.

Secondary health effects of global warming could include increases in respiratory and cardiac illnesses attributable to poor air quality. The San Joaquin Valley Air Pollution Control District provides daily advisories and warnings in times of high ozone levels to help senior citizens and other sensitive populations avoid exposure. The SJVAPCD has committed to attainment of fine particulate matter (PM2.5) standards by Year 2014 and to attainment of oxidant/ozone standards by Year 2023, and would adopt additional

Rules and emission controls as necessary to decrease emissions inventories by those target dates. There is insufficient information to indicate that global climate change would prevent attainment of air quality parameters affecting health.

Pursuant to 2025 Fresno General Plan policy and MEIR mitigation measures, the City's Department of Public Utilities and Fire Department are required to affirm that adequate water service can be provided to all development projects for potable and fire suppression uses. The City derives much of its water supply from groundwater, using its surface water entitlements from the Kings and San Joaquin Rivers primarily to recharge the aquifer. A high percentage of Fresno's annual precipitation is captured and percolated in ponding basins operated by Fresno Metropolitan Flood Control District. If global climate change leads to a longer rainy season and/or more storm events throughout the year, groundwater supplies could be improved by additional percolation.

The City of Fresno currently treats and distributes only some 20% of its 150,000 acre-foot/year (AFY) surface water entitlement for the municipal water system, directing another 50,000 to 70,000 AFY to recharge activities via ponding basins. Presently, the City is unable to recharge the full balance of its annual entitlement in average and wet years, and releases any unused surface water supplies to area irrigation districts for agricultural use in the metropolitan area, (which further augments groundwater recharge through percolation of irrigated water).

Future surface water plant construction projects envisioned by the 2025 Fresno General Plan would account for less than 120,000 acre-feet per year of the surface supply. The General Plan direction for future Metropolitan Water Resource Management Plans includes exploring the use of recycled treated wastewater for non-potable uses such as landscape irrigation, which would further effectively extending the City's water supply..

If the global climate change were to cause a serious and persistent decrease in Sierra snowpack, some of Fresno's water supply could be affected. However, historic records show that the very long-term prevailing climatic pattern for Central California has included droughts of long (often, multi-year) duration, interspersed with years of excess precipitation. Decades before global climate change was considered as a threat to California's water system, state and local agencies recognized a need to augment water storage capacity for excess precipitation occurring in wet years, to carry the state through the intervening dry years.

The potential for episodic and long-term drought is considered in the city's Metropolitan Water Resource Plan and in its the Urban Water Management Plan Drought Contingency component, to accommodate reductions in available water supplies. In times of extended severe regional or statewide drought, a reprioritization of water deliveries and reallocation for critical urban supplies vs. agricultural use is possible, but it is too speculative at this time to determine what the statewide reprioritization response elements would be (the various responses of statewide and regional water agencies to

these situations are not fully formulated and cannot be predicted with certainty). Because the true long term consequences of climate change on California's and Fresno's water system cannot be predicted, and, it is too speculative at this time to conclude that there could be a significant adverse impact on water supply for the 2025 Fresno General Plan due to global climate change.

As noted above, it is theorized that global warming could lead to more energy in the atmosphere and to increased intensity or frequency of storm events. Fresno's long-term weather pattern is that rainfall occurs during episodic and fairly high-intensity events. The Fresno Metropolitan Flood Control District (FMFCD) drainage and flood control Master Plan, which sets policies for drainage infrastructure and grading in the entire Fresno-Clovis area, is already predicated on this type of weather pattern. FMFCD sizes its facilities (which development potentiated by the 2025 Fresno General Plan will help to complete) for "two-year storm events," storms of an intensity expected in approximately 50 percent of average years; however, the urban drainage system design has additional capacity built into the street system so that excess runoff from more intense precipitation events is directed to the street system. The City's Flood Plan Ordinance and grading standards require that finished floor heights be above the crowns of streets and above any elevated ditchbanks of irrigation canals. FMFCD project conditions also preserve "breakover" historic surface drainage routes for runoff from major storms. Ultimately, drain inlets and FMFCD basin dewatering pumps direct severe storm runoff into the network of Fresno Irrigation District canals and pipelines still extant in the metropolitan area, with outfalls beyond the western edge of the metropolitan area.

Scientific information, analytical tools, and standards for environmental significance of global warming and green house gases were not available to the Planning and Development Department in 2002 when the 2025 Fresno General Plan and its MEIR were formulated and approved--and at this point, there is still insufficient data available to draw any conclusions as to the potential impacts, or significance of impacts, related to global climate change for the 2025 Fresno General Plan. Similarly, there is insufficient information to conclude that global warming may have a potentially significant adverse impact upon the 2025 Fresno General Plan. In a situation when it would be highly speculative to estimate impacts or to make conclusions as to the degree of adversity and significance of those impacts, the California Environmental Quality Act allows agencies to terminate the analysis. In that regard, there is no material change in status from the degree of environmental review on this topic contained in the 2025 Fresno General Plan MEIR.

**EXHIBIT C**  
**MEIR Mitigation Measure Monitoring Checklist for EA No. T-6063/C-14-018**  
**May 30, 2014**

**INCORPORATING MEASURES FROM MASTER ENVIRONMENTAL IMPACT REPORT (MEIR) NO. 10130 / CERTIFIED FOR THE 2025 FRESNO GENERAL PLAN (SCH No. 2001071097) AND THE FINDING OF MITIGATED NEGATIVE DECLARATION APPROVED FOR ENVIRONMENTAL ASSESSMENT NO. A-09-02, RELATING TO PLAN AMENDMENT NO. A-09-02, THE AIR QUALITY UPDATE TO THE FRESNO GENERAL PLAN**

Following is the mitigation monitoring checklist from MEIR No. 10130 as applied to the above-noted project's environmental assessment, required by City Council Resolution No. 2002-378 and Exhibit E thereof (adopted on November 19, 2002 to certify the MEIR for the 2025 Fresno General Plan Update. On June 25, 2009, through its Resolution No. 2009-146, the City Council adopted Environmental Assessment No. A-09-02 confirming the finding of a Mitigated Negative Declaration prepared for General Plan Amendment Application No. A-09-02 which updated the Air Quality Section of the Resource Conservation Element of the 2025 Fresno General Plan and incorporated additional and revised mitigation measures as necessary within the following monitoring checklist.

- A** - Incorporated into Project
- B** - Mitigated
- C** - Mitigation in Progress
- D** - Responsible Agency Contacted
- E** - Part of City-wide Program
- F** - Not Applicable

**NOTE:** Letters B-Q in mitigation measures refer to the respective sections of Chapter V of MEIR No. 10130

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>B-1.</b> Development projects that are consistent with plans and policies but that could affect conditions on major street segments predicted by the General Plan MEIR traffic analysis to perform at an Average Daily Traffic (ADT) level of service (LOS) D or better in 2025, with planned street improvements, shall not cause conditions on those segments to be worse than LOS E before 2025 without completing a traffic and transportation evaluation. This evaluation will be used to determine appropriate project-specific design measures or street/transportation improvements that will contribute to achieving and maintaining LOS D.	Prior to approval of land use entitlement	Public Works Dept./Traffic Planning; Development & Resource Management Dept.	X			X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>B-2.</b> Development projects that are consistent with plans and policies but that could affect conditions on major street segments predicted by the General Plan MEIR traffic analysis to perform at an ADT LOS E in 2025, with planned street improvements, shall not cause conditions on those segments to be worse than LOS E before 2025 without completing a traffic and transportation evaluation. This evaluation will be used to determine appropriate project-specific design measures or street/ transportation improvements that will contribute to achieving and maintaining LOS E.	Prior to approval of land use entitlement	Public Works Dept./Traffic Planning; Development & Resource Management Dept.	X			X	X	
<b>B-3.</b> Development projects that are consistent with plans and policies but that could affect conditions on major street segments predicted by the General Plan MEIR traffic analysis to perform at an ADT LOS F shall not cause further substantial degradation of conditions on those segments before 2025 without completing a traffic and transportation evaluation. This evaluation will be used to determine appropriate project-specific design measures or street/ transportation improvements that will contribute to achieving and maintaining a LOS equivalent to that anticipated by the General Plan. Further substantial degradation is defined as an increase in the peak hour vehicle/capacity (v/c) ratio of 0.15 or greater for roadway segments whose v/c ratio is estimated to be 1.00 or higher in 2025 by the General Plan MEIR traffic analysis.	Prior to approval of land use entitlement	Public Works Dept./Traffic Planning; Development & Resource Management Dept.				X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<p><b>B-4.</b> For development projects that are consistent with plans and policies, a site access evaluation shall be required to the satisfaction of the Public Works Director. This evaluation shall, at a minimum, focus on the following factors:</p> <p>a. Disruption of vehicular traffic flow along adjacent major streets, appropriate design measures for on-site vehicular circulation and access to major streets (number, location and design of driveway approaches), and linkages to bicycle/pedestrian circulation systems and transit services.</p> <p>b. In addition, for development projects that the City determines may generate a projected 100 or more peak hour vehicle trips (either in the morning or evening), the evaluation shall determine the project's contribution to increased peak hour vehicle delay at major street intersections adjacent or proximate to the project site. The evaluation shall identify project responsibilities for intersection improvements to reduce vehicle delay consistent with the LOS anticipated by the 2025 Fresno General Plan. For projects which affect State Highways, the Public Works Director may direct the site access evaluation to reference the criteria presented in Caltrans Guide for the Preparation of Traffic Impact Studies.</p>	<p>Prior to approval of land use entitlement</p>	<p>Public Works Dept./Traffic Planning; Development &amp; Resource Management Dept.</p>	X			X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>B-5.</b> Circulation and site design measures shall be considered for development projects so that local trips may be completed as much as possible without use of, or with reduced use of, major streets and major street intersections. Appropriate consideration must also be given to compliance with plan policies and mitigation measures intended to promote compatibility between land uses with different traffic generation characteristics.	Prior to approval of land use entitlement	Public Works Dept./Traffic Planning; Development & Resource Management Dept.	X			X	X	
<b>B-6.</b> New development projects and major street construction projects shall be designed with consideration and implementation of appropriate features (considering safety, convenience and cost-effectiveness) to encourage walking, bicycling, and public transportation as alternative modes to the automobile.	Prior to approval or prior to funding of major street project.	Public Works Dept./Traffic Planning; Development & Resource Management Dept.	X			X	X	
<b>B-7.</b> Bicycle and pedestrian travel and use of public transportation shall be facilitated as alternative modes of transportation including, but not limited to, provision of bicycle, pedestrian and public transportation facilities and improvements to connect residential areas with public facilities, shopping and employment. Adequate rights-of-way for bikeways, preferably as bicycle lanes, shall be provided on all new major streets and shall be considered when designing improvements for existing major streets.	Ongoing	Public Works Dept./Traffic Planning; Development & Resource Management Dept.	X			X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
			<p><b>C-1.</b> In cooperation with other jurisdictions and agencies in the San Joaquin Valley Air Basin, the City shall take the following necessary actions to achieve and maintain compliance with state and federal air quality standards and programs.</p> <p>a. Develop and incorporate air quality maintenance considerations into the preparation and review of land use plans and development proposals.</p> <p>b. Maintain internal consistency within the General Plan between policies and programs for air quality resource conservation and the policies and programs of other General Plan elements.</p> <p>c. City departments preparing environmental review documents shall use computer models (software approved by local and state air quality and congestion management agencies) to estimate air pollution impacts of development entitlements, land use plans and amendments to land use regulations.</p> <p>d. Adopted state and SJVAPCD protocols, standards, and thresholds of significance for greenhouse gas emissions shall be utilized in assessing and approving proposed development projects.</p> <p>e. Continue to route information regarding land use plans, development projects, and amendments to development regulations to the SJVAPCD for that agency’s review and comment on potential air quality impacts.</p>	Ongoing	Development & Resource Management Dept.	X		

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<p><b>C-2.</b> For development projects potentially meeting SJVAPCD thresholds of significance and/or thresholds of applicability for the Indirect Source Review Rule (Rule 9510) in their unmitigated condition, project applicants shall complete the SJVAPCD Indirect Source Review Application prior to approval of the development project. Mitigation measures incorporated into the ISR analysis shall be incorporated into the project as conditions of approval and/or mitigation measures, as may be appropriate.</p>	Ongoing	Development & Resource Management Dept and SJVAPCD				X		
<p><b>C-3.</b> The City shall implement all of the Reasonably Available Control Measures (RACM) identified in Exhibit A of Resolution No. 2002-119, adopted by the Fresno City Council on April 9, 2002. These measures are presented in full detail in Table VC-3 of the MEIR.</p>	Ongoing	Various city departments					X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<p><b>C-4.</b> The City shall continue efforts to improve technical performance, emissions levels and system operations of the Fresno Area Express transit system, through such measures as:</p> <p>a. Selecting and maintaining bus engines, transmissions, fuels and air conditioning equipment for efficiency and low air pollution emissions.</p> <p>b. Siting new transit centers and other multi-modal transportation transfer facilities to maximize utilization of mass transit.</p> <p>c. Continuing efforts to improve transit on-time performance, increase frequency of service, extend hours of operation, add express bus service and align routes to capture as much new ridership as possible.</p> <p>d. Initiating a program to allow employers and institutions (e.g., educational facilities) to purchase blocks of bus passes at a reduced rate to facilitate their incentive programs for reducing single-passenger vehicle use.</p>	Ongoing	Fresno Area Express						
<p><b>D-1.</b> The City shall monitor impacts of land use changes and development project proposals on water supply facilities and the groundwater aquifer.</p>	Ongoing	Dept of Public Utilities and Development & Resource Management Dept.	X		X	X	X	

A - Incorporated into Project  
 B - Mitigated

C - Mitigation in Process  
 D - Responsible Agency Contacted

E - Part of City-Wide Program  
 F - Not Applicable

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>D-2.</b> The City shall ensure the funding and construction of facilities to mitigate the direct impacts of land use changes and development within the 2025 General Plan boundaries. Groundwater wells, pump stations, intentional recharge facilities, potable and recycled water treatment and distribution systems shall be expanded incrementally to mitigate increased water demands. Site specific environmental evaluations shall precede the construction of these facilities. Results of this evaluation shall be incorporated into each project to reduce the identified environmental impacts.	Ongoing (City-wide); and prior to approval of land use entitlement as applicable	Department of Public Utilities and Development & Resource Management Dept.	X		X	X	X	
<b>D-3.</b> The City shall implement the future water supply plan described in the City of Fresno Metropolitan Water Resources Management Plan Update and shall continue to update this Plan as necessary to ensure the cost-effective use of water resources and continued availability of good-quality groundwater and surface water supplies.	Ongoing	Department of Public Utilities			X	X	X	
<b>D-4.</b> The City shall work with the Fresno Metropolitan Flood Control District to prevent and reduce the existence of urban stormwater pollutants to the maximum extent practical and ensure that surface and groundwater quality, public health, and the environment shall not be adversely affected by urban runoff, and shall comply with NPDES standards.	Ongoing	Development & Resource Management Dept.	X			X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>D-5.</b> The City shall preserve undeveloped areas within the 100-year floodway within the city and its general plan area, particularly the San Joaquin Riverbottom, for uses that will not involve permanent improvements which would be adversely affected by periodic floods. The City shall expand this protected area in the Riverbottom pursuant to expanded floodplain and/or floodway maps, regulations, and policies adopted by the Central Valley Flood Protection Board and the National Flood Insurance Protection Program.	Ongoing	Development & Resource Management Dept.						X
<b>D-6.</b> The City shall establish special building standards for private structures, public structures and infrastructure elements in the San Joaquin Riverbottom that will protect: a. Allowable construction in this area from being damaged by the intensity of flooding in the riverbottom; b. Water quality in the San Joaquin River watershed from flood damage-related nuisances and hazards (e.g., the release of raw sewage); and c. Public health, safety and general welfare from the effects of flood events.	Ongoing	Development & Resource Management Dept.						X

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>D-7.</b> The City shall advocate that the San Joaquin River not be channelized and that levees shall not be used in the river corridor for flood control, except those alterations in river flow that are approved for surface mining and subsequent reclamation activities for mined sites (e.g., temporary berms and small side-channel diversions to control water flow through ponds).	Ongoing	Development & Resource Management Dept.						X
<b>D-8.</b> The City shall maintain a comprehensive, long-range water resource management plan that provides for appropriate management and use of all sources of water available to the planning area, and shall periodically update this plan to ensure that sufficient and sustainable water supplies of good quality will be economically available to accommodate existing and planned urban development. Project-specific and city-wide water conservation measures shall be directed toward assisting in reaching the goal of balancing City groundwater operations by 2025.	Ongoing	Department of Public Utilities	X			X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>D-9.</b> The City shall continue its current water conservation programs and implement additional water conservation measures to reduce overall per capita water use within the City with a goal of reducing the overall per capita water use in the City to its adopted target consumption rate. The target per capita consumption rate adopted in 2008 is a citywide average of 243 gallons per person per day, intended to be reached by 2020 (which includes anticipated water conservation resulting from the on-going residential water metering program and additional water conservation by all customers: 5% by 2010, and an additional 5% by 2020.)	Ongoing	Department of Public Utilities	X		X	X	X	
<b>D-10.</b> All development projects shall be required to comply with City Department of Public Utilities conditions intended for the City to reach its overall per capita water consumption rate target. Project conditions shall include, but are not limited to, water use efficiency for landscaping, use of artificial turf and native plant materials, reducing turf areas, and discouraging the development of artificial lakes, fountains and ponds unless only untreated surface water or recycled water supplies are used for these decorative and recreational water features, as appropriate and sanitary.	Prior to approval of land use entitlement	Department of Public Utilities	X			X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<p><b>D-11.</b> When and if the City adopts a formal management plan for recycled and/or reclaimed water, all development shall comply with its standards and requirements. Absent a formal management plan for recycled and/or reclaimed water, new development projects shall install reasonably necessary infrastructure, facilities and equipment to utilize reclaimed and recycled water for landscape irrigation, decorative fountains and ponds, and other water-consuming features, provided that use of reclaimed or recycled water is determined by the Department of Public Utilities to be feasible, sanitary, and energy-efficient.</p>	Prior to approval of development project	Department of Public Utilities				X	X	
<p><b>D-12.</b> All applicants for development projects shall provide data (meeting City Department of Public Utilities criteria for such data) on the anticipated annual water demand and daily peak water demand for proposed projects. If a development project would increase water demand at a project location (or for a type of development) beyond the levels allocated in the version of the City's Urban Water Management Plan (UWMP) in effect at the time the project's environmental assessment is conducted, the additional water demand will be required to be offset or mitigated in a manner acceptable to the City Department of Public Utilities. Allocated water demand rates are set forth in Table 6-4 of the 2008 UWMP as follows:</p> <p style="text-align: right;"><i>(continued on next page)</i></p>	Prior to approval of development project	Department of Public Utilities				X	X	

MITIGATION MEASURE		WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<i>(continued from previous page)</i>									
<b>FOR GROSS DEVELOPED PROJECT ACREAGE OF THE FOLLOWING DEVELOPMENT CATEGORIES</b> (Analysis shall include acreage to street centerlines.)	<b>PER-UNIT FACTORS,</b> in acre-ft/acre/yr, for projects projected to be completed during these intervals:								
	01/01/05 THROUGH 12/31/10	01/01/10 THROUGH 12/31/24	AFTER 01/01/25						
Single family residential	3.8	3.5	3.5						
Multi-family residential	6.5	6.2	6.2						
Commercial and institutional	2	1.9	1.9						
Industrial	2	1.9	1.9						
Landscaped open space	3	2.9	2.9						
South East Growth Area	3.4	3.2	3.2						
NOTE: The above land use classifications and demand allocation factors may be amended in future updates of the Urban Water Management Plan									

A - Incorporated into Project  
 B - Mitigated

C - Mitigation in Process  
 D - Responsible Agency Contacted

E - Part of City-Wide Program  
 F - Not Applicable

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>D-13.</b> The City will conform to the requirements of Waste Discharge Requirements Order 5-01-254, including groundwater monitoring and subsequent Best Practical Treatment and Control (BPTC) assessment and findings.	Ongoing	Department of Public Utilities			X	X	X	
<b>E-1.</b> The City shall continue to implement and pursue strengthening of urban growth management service delivery requirements and annexation policy agreements, including urging that the county continue to implement similar measures within the boundaries of the 2025 Fresno General Plan, to promote contiguous urban development and discourage premature conversion of agricultural land.	Ongoing	Development & Resource Management Dept.	X				X	
<b>E-2.</b> To minimize the inefficient conversion of agricultural land, the City shall pursue the appropriate measures to ensure that development within the planned urban boundary occurs consistent with the General Plan and that urban development occurs within the city's incorporated boundaries.	Ongoing	Development & Resource Management Dept.	X				X	
<b>E-3.</b> The City shall pursue appropriate measures, including recordation of right to farm covenants, to ensure that agricultural uses of land may continue within those areas of transition where planned urban areas interface with planned agricultural areas.	Ongoing	Development & Resource Management Dept.	X				X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<p><b>E-4.</b> Development of agricultural land, or fallow land adjacent to land designated for agricultural uses, shall incorporate measures to reduce the potential for conflicts with the agricultural use. Implementation of the following measures shall be considered:</p> <p>a. Including a buffer zone of sufficient width between proposed residences and the agricultural use.</p> <p>b. Restricting the intensity of residential uses adjacent to agricultural lands.</p> <p>c. Informing residents about possible exposure to agricultural chemicals.</p> <p>d. Where feasible and permitted by law, exploring opportunities for agricultural operators to cease aerial spraying of chemicals and use of heavy equipment near proposed residences.</p> <p>e. Recordation of right to farm covenants to ensure that agricultural uses of land can continue.</p>	Ongoing	Development & Resource Management Dept.						
<p><b>F-1.</b> The City shall ensure the provision for adequate trunk sewer and collector main capacities to serve existing and planned urban and economic development, including existing developed uses not presently connected to the public sewer system, consistent with the Wastewater Master Plan. Where appropriate, the City will coordinate with the City of Clovis and other agencies to ensure that planning and construction of facilities address regional needs in a comprehensive manner.</p>	Ongoing	Dept. of Public Utilities and Development & Resource Management Dept.	X		X	X	X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>F-2.</b> The City shall continue the development and use of citywide sewer flow monitoring and computerized flow modeling to ensure the availability of sewer collection system capacity to serve planned urban development.	Ongoing	Dept. of Public Utilities			X	X	X	
<b>F-2-a.</b> The City shall provide for containment and management of leathers and sludge adequate to prevent groundwater degradation.	Ongoing	Dept. of Public Utilities					X	X
<b>F-3.</b> The City shall ensure the provision of adequate sewage treatment and disposal by using the Fresno-Clovis Regional Wastewater Reclamation Facility as the primary facility when economically feasible for all existing and new development within the General Plan area. Smaller, subregional wastewater treatment facilities may also be constructed as part of the regional wastewater treatment system, when appropriate. This shall include provision of tertiary treatment facilities to produce recycled water for landscape irrigation and other non-potable uses. Site specific environmental evaluation and development of Waste Discharge Requirements by the Regional Water Quality Control Board shall precede the construction of these facilities. Mitigation measures identified in these evaluations shall be incorporated into each project to reduce the identified environmental impacts.	Ongoing	Dept. of Public Utilities	X		X	X	X	

**MEIR MITIGATION MEASURE MONITORING CHECKLIST FOR EA NO. T-6063/C-14-018**

**May 30, 2014**

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>F-4.</b> The City shall ensure that adequate trunk sewer capacity exists or can be provided to serve proposed development prior to the approval of rezoning, special permits, tract maps and parcel maps, so that the capacities of existing facilities are not exceeded.	Ongoing/prior to approval of land use entitlement	Dept. of Public Utilities and Development & Resource Management Dept.	X		X	X	X	
<b>F-5.</b> The City shall provide adequate solid waste facilities and services for the collection, transfer, recycling, and disposal of refuse for existing and planned development within the City's jurisdiction. Site specific environmental evaluation shall precede the construction of these facilities. Results of this evaluation shall be incorporated into each project to reduce the identified environmental impacts.	Ongoing/prior to construction	Dept. of Public Utilities	X		X	X	X	
<b>G-1.</b> Site specific environmental evaluation shall precede the construction of new police and fire protection facilities. Results of this evaluation shall be incorporated into each project to reduce the identified environmental impacts.	Ongoing/prior to construction	Fire Dept/Police Dept/ Development & Resource Management Dept.						X

A - Incorporated into Project  
 B - Mitigated

C - Mitigation in Process  
 D - Responsible Agency Contacted

E - Part of City-Wide Program  
 F - Not Applicable

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<p><b>H-1.</b> Site specific environmental evaluation shall precede the construction of new public parks. Results of this evaluation shall be incorporated into the park design to reduce the environmental impacts.</p>	Ongoing/prior to construction	Parks and Recreation Dept. & Development & Resource Management Dept.						X
<p><b>I-1.</b> Projects that could adversely affect rare, threatened or endangered wildlife and vegetative species (or may have impacts on wildlife, fish and vegetation restoration programs) may be approved only with the consent of the California Department of Fish and Game (and the U.S. Fish and Wildlife Service, as appropriate) that adequate mitigation measures are incorporated into the project's approval.</p>	Ongoing/prior to approval of land use entitlement	Development & Resource Management Dept.						X
<p><b>I-2.</b> Where feasible, development shall avoid disturbance in wetland areas, including vernal pools and riparian communities along rivers and streams. Avoidance of these areas shall include siting structures at least 100 feet from the outermost edge of the wetland. If complete avoidance is not possible, the disturbance to the wetland shall be minimized to the maximum extent possible, with restoration of the disturbed area provided. New vegetation shall consist of native species similar to those removed.</p>	Ongoing/prior to approval of land use entitlement	Development & Resource Management Dept.						X

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>I-3.</b> Where wetlands or other sensitive habitats cannot be avoided, replacement habitat at a nearby off-site location shall be provided. The replacement habitat shall be substantially equivalent in nature to the habitat lost and shall be provided at a ratio suitable to assure that, at a minimum, there is no net loss of habitat acreage or value. Typically, the U.S. Fish and Wildlife Service and California Department of Fish and Game require a ratio of three replacement acres for every one acre of high quality riparian or wetland habitat lost.	Ongoing/prior to approval of land use entitlement and during construction	Development & Resource Management Dept.						X
<b>I-4.</b> Existing and mature riparian vegetation shall be preserved to the extent feasible, except when trees are diseased or otherwise constitute a hazard to persons or property. During construction, all activities and storage of equipment shall occur outside of the drip lines of any trees to be preserved.	Ongoing/prior to approval of land use entitlement and during construction	Development & Resource Management Dept.						X
<b>I-5.</b> Within the identified riparian corridors, environmentally sensitive habitat areas shall be protected against any significant disruption of habitat values and only uses consistent with these values shall be allowed (e.g., nature education and research, fishing and habitat enhancement and protection).	Ongoing/prior to approval of land use entitlement and during construction	Development & Resource Management Dept.						X

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>I-6.</b> All areas within identified riparian corridors shall be maintained in a natural state or limited to recreation and open space uses. Recreation shall be limited to passive forms of recreation, with any facilities that are constructed required to be non-intrusive to wildlife or sensitive species.	Ongoing/prior to approval of land use entitlement and during construction	Development & Resource Management Dept.						X
<b>J-1.</b> If the site of a proposed development or public works project is found to contain unique archaeological or paleontological resources, and it can be demonstrated that the project will cause damage to these resources, reasonable efforts shall be made to permit any or all of the resource to be scientifically removed, or it shall be preserved in situ (left in an undisturbed state). In situ preservation may include the following options, or equivalent measures: a. Amending construction plans to avoid the resources. b. Setting aside sites containing these resources by deeding them into permanent conservation easements. c. Capping or covering these resources with a protective layer of soil before building on the sites. d. Incorporating parks, green space or other open space into the project to leave these resources undisturbed and to provide a protective cover over them. e. Avoiding public disclosure of the location of these resources until or unless the site is adequately protected from vandalism or theft.	Ongoing/prior to approval of land use entitlement	Development & Resource Management Dept.	X				X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>J-2.</b> An archaeological assessment shall be conducted for the project if prehistoric human relics are found that were not previously assessed during the environmental assessment for the project. The site shall be formally recorded, and archaeologist recommendations shall be made to the City on further site investigation or site avoidance/ preservation measures.	Ongoing/prior to submittal of land use entitlement application	Development & Resource Management Dept.	X				X	
						X		
<b>J-3.</b> If there are suspected human remains, the Fresno County Coroner shall be contacted immediately. If the remains or other archaeological materials are possibly of Native American origin, the Native American Heritage Commission shall be contacted immediately, and the California Archaeological Inventory's Southern San Joaquin Valley Information Center shall be contacted to obtain a referral list of recognized archaeologists.	Ongoing	Development & Resource Management Dept./ Historic Preservation Commission staff	X				X	
						X		
<b>J-4.</b> Where maintenance, repair stabilization, rehabilitation, restoration, preservation, conservation or reconstruction of the historical resource will be conducted consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring and Reconstructing Historic Buildings (Weeks and Grimmer, 1995), the project's impact on the historical resource shall generally be considered mitigated below a level of significance and thus not significant.	Ongoing	Development & Resource Management Dept./ Historic Preservation Staff	X					X
						X		

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>K-1.</b> The City shall adopt the land use noise compatibility standards presented in Figure VK-2 for general planning purposes.	Ongoing	Development & Resource Management Dept.	X				X	
<b>K-2.</b> Any required acoustical analysis shall be performed as required by Policy H-1-d of the 2025 Fresno General Plan for development projects proposing residential or other noise sensitive uses as defined by Policy H-1-a, to provide compliance with the performance standards identified by Policies H-1-a and H-1-k. (Note: all are policies of the 2025 Fresno General Plan.) The following measures can be used to mitigate noise impacts; however, impacts may not be fully mitigated within the 70 dBA noise contour areas depicted on Figure VK-4. <ul style="list-style-type: none"> <li>■ Site Planning. See Chapter V for more details.</li> <li>■ Barriers. See Chapter V for more details.</li> <li>■ Building Designs. See Chapter V for more details.</li> </ul>	Ongoing/upon submittal of land use entitlement application	Development & Resource Management Dept.	X				X	
<b>K-3.</b> The City shall continue to enforce the California Administrative Code, Title 24, Noise Insulation Standards. Title 24 requires that an acoustical analysis be performed for all new multi-family construction in areas where the exterior sound levels exceed 60 CNEL. The analysis shall ensure that the building design limits the interior noise environment to 45 CNEL or below.	Ongoing/prior to building permit issuance	Development & Resource Management Dept.	X				X	

MITIGATION MEASURE	WHEN IMPLEMENTED	COMPLIANCE VERIFIED BY	A	B	C	D	E	F
<b>L-1.</b> Any construction that occurs as a result of a project shall conform to current Uniform Building Code regulations which address seismic safety of new structures and slope requirements. As appropriate, the City shall require a preliminary soils report prior to subdivision map review to ascertain site specific subsurface information necessary to estimate foundation conditions. This report shall reference and make use of the most recent regional geologic maps available from the California Department of Conservation, Division of Mines and Geology.	Ongoing	Development & Resource Management Dept.	X				X	
<b>N-1.</b> The City shall cooperate with appropriate energy providers to ensure the provision of adequate energy generated and distribution facilities, including environmental review as required.	Ongoing	Development & Resource Management Dept.				X	X	
<b>Q-1.</b> The City shall establish and implement design guidelines applicable to all commercial and manufacturing zone districts. These design guidelines will require consideration of the appearance of non-residential buildings that are visible to pedestrians and vehicle drivers using major streets or are visible from proximate properties zoned or planned for residential use.	Ongoing	Development & Resource Management Dept.	X				X	

**EXHIBIT D**

**CITY OF FRESNO**

**PROJECT-SPECIFIC MITIGATION MONITORING CHECKLIST**

**ENVIRONMENTAL ASSESSMENT (EA) NoT-6063/C-14-018**

**May 30, 2014**

This monitoring checklist for the above noted environmental assessment is being prepared in accordance with the requirements of the California Environmental Quality Act (CEQA), as required under Assembly Bill 3180. It is intended to establish a project-specific reporting/monitoring program for Plan Amendment Application No. A-11-05 and Rezone No. R-11-006. Prior to development and use of the subject property, verification of implementation of these mitigation measures is required, in addition to verification of implementation of the applicable measures specified for this project per the Master Environmental Impact Report (MEIR) Mitigation Monitoring Checklist for this project (pursuant to MEIR No. 10130 certified for the 2025 Fresno General Plan and the Mitigated Negative Declaration approved for EA No. A-09-02, for the Air Quality Update to the 2025 General Plan).

AIR QUALITY: Grading and construction activity may generate dust which contains particulate matter.

<b>MITIGATION MEASURE</b>	<b>IMPLEMENTED BY</b>	<b>WHEN IMPLEMENTED</b>	<b>VERIFIED BY</b>
The developer of the project shall incorporate dust control requirements consistent with those of Regulation VIII Rules for grading and excavation operations.	Applicant	During construction activities at the subject property	City of Fresno Development and Resource Management Department (DARM)  San Joaquin Valley Unified Air Pollution Control District (APCD)

GEOLOGY AND SOILS: Portions of the northeast Fresno metropolitan area have expansive clay soils, which may be subject to cavitation which can impair the structural integrity of buildings and infrastructure elements.

MITIGATION MEASURE	IMPLEMENTED BY	WHEN IMPLEMENTED	VERIFIED BY
<p>The required soils investigation report for the subdivision shall include a determination on the presence of expansive clay soils at the subject property; and, if they are determined to be present, shall include recommendations on protecting structures and utilities through engineering measures.</p>	<p>Applicant</p>	<p>With application for a final tract map (submit soil report) and subsequent plans for grading, infrastructure and buildings</p>	<p>DARM</p>

DRAINAGE AND FLOOD CONTROL: Excess lot coverage may cause stormwater management system to be overwhelmed, resulting in property damage.

MITIGATION MEASURE	IMPLEMENTED BY	WHEN IMPLEMENTED	VERIFIED BY
<p>Structural coverage shall not exceed 50% of any lot in the tract, including patio covers and accessory structures.</p>	<p>Applicant (in complying with the conditions)</p>	<p>Through the plan check process for subsequent home building permits</p>	<p>DARM</p>

NOISE: The location of the proposed residential subdivision adjacent to an expressway and an arterial roadway may generate excess outdoor noise levels

<b>MITIGATION MEASURE</b>	<b>IMPLEMENTED BY</b>	<b>WHEN IMPLEMENTED</b>	<b>VERIFIED BY</b>
Construct a masonry wall between the westerly boundary of the subdivision and the multi-modal trail so that the sound barrier is at least six feet above grade level of Lots 1 and 10 of proposed Vesting Tentative Tract Map 6063/UGM and so that the sound barrier continues across the apex of the East Carnoustie Avenue cul-de-sac.	Applicant	Wall shall be detailed on the tract map, CUP site plan, and improvement plans When applying for approval of the final tract Wall construction shall be completed prior to occupancy of any homes in the subdivision	DARM  Department of Public Works/Traffic and Engineering Division (DPW)
Construct a masonry wall at least six feet tall between the park & ride lot at the corner of East Copper Avenue and North Friant Road and the rear yards of tract lots abutting this parking lot.	Applicant	Wall shall be detailed on the tract map, CUP site plan, and improvement plans When applying for approval of the final tract Wall construction shall be completed prior to occupancy of any homes in the subdivision	DARM  DPW

*(continued)*

NOISE: (continued)

MITIGATION MEASURE	IMPLEMENTED BY	WHEN IMPLEMENTED	VERIFIED BY
<p>No second story patios, balcony patios, or rooftop patios shall be permitted on the sides of tract homes which face North Friant Road.</p>		<p>Wall shall be detailed on the tract map, CUP site plan, and improvement plans                      When applying for approval of the final tract                       Wall construction shall be completed prior to occupancy of any homes in the subdivision</p>	<p>DARM  DPW</p>