

## Article 9 Residential Single-Family Districts (RS)

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### Sections:

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15-906	Duplex and Multi-Unit Residential Standards

### 15-901 Purpose

The purposes of the Residential Single-Family (RS) Districts are to:

- A. Provide for a variety of single-family residences built to urban or suburban standards to suit a spectrum of individual lifestyles and needs, and to ensure availability throughout the city of the range of housing types necessary for all segments of the community, consistent with the General Plan.
- B. Enhance the character of the city's residential neighborhoods, while providing new opportunities for the development of a range of housing types throughout the city.
- C. Ensure that the scale and design of new development and alterations and additions to existing residences are compatible with the scale, mass, and character of their neighborhoods.
- D. Provide for appropriate densities within the ranges established in the General Plan.
- E. Protect the quality of the residential environment and secure the health, safety, and general welfare of the residents.
- F. Provide sites for neighborhood-serving uses such as parks, family day cares, libraries, and community facilities.
- G. Implement and provide appropriate regulations for General Plan classifications of "Low Density Residential," "Medium Low Density Residential," and "Medium Density Residential."

### 15-902 Use Regulations

- A. Table 15-902 prescribes the proposed land use regulations for Residential Single-Family Districts. The regulations for the districts are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review.

"P" designates permitted uses.

"C" designates uses that are permitted after review and approval of a Conditional Use Permit.

“(#)” numbers in parentheses refer to specific limitations listed at the end of the table.

“-” designates uses that are not permitted.

- B. Land uses are defined in Article 67, Use Classifications.
- C. In cases where a specific land use or activity is not defined, the Director may assign the land use or activity to a classification, should a use be substantially similar in character per Section 15-5020, Director’s Determination.
- D. All permitted uses are allowed either alone or in combination with other permitted uses unless otherwise stated in this Code.
- E. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are not permitted.
- F. The table also notes additional regulations that apply to various uses. Section numbers in the right hand column refer to other sections of this Code.

TABLE 15-902: USE REGULATIONS—RESIDENTIAL SINGLE-FAMILY DISTRICTS							
District	RE	RS-1	RS-2	RS-3	RS-4	RS-5	Additional Regulations
<b>Residential Use Classifications</b>							
Residential Housing Type							
<i>Single-Unit Dwelling, Detached</i>	P	P	P	P	P	P	§15-2738, Manufactured Homes
<i>Single-Unit Dwelling, Attached</i>	-	-	-	-	C	P	
<i>Second Dwelling Unit</i>	P	P	P	P	P	P	§15-2754, Second Dwelling Units, Backyard Cottages, and Accessory Living Quarters
<i>Cottage Housing Development</i>	-	-	-	-	-	P	§15-2723, Cottage Housing Developments (Pocket Neighborhoods)
<i>Duplex</i>	-	-	-	-	-	C	§15-906, Duplex and Multi-Unit Residential Standards
<i>Multi-Unit Residential</i>	-	-	-	-	-	C	§15-906, Duplex and Multi-Unit Residential Standards
Adult Family Day Care							
<i>Small (6 clients or less)</i>	P	P	P	P	P	P	
<i>Large (7 to 12 clients)</i>	-	C	C	C	C	C	
Domestic Violence Shelter							
<i>Small (6 persons or less)</i>	P	P	P	P	P	P	
Family Day Care							
<i>Small (8 children or less)</i>	P	P	P	P	P	P	§15-2725, Day Care Centers and Family Child Care Homes
<i>Large (9 to 14 children)</i>	-	C	C	C	C	C	
Group Residential							
<i>Small (6 persons or less)</i>	P	P	P	P	P	P	
Residential Care Facilities							
<i>Residential Care, General</i>	-	C	C	C	C	C	
<i>Residential Care, Limited</i>	P	P	P	P	P	P	

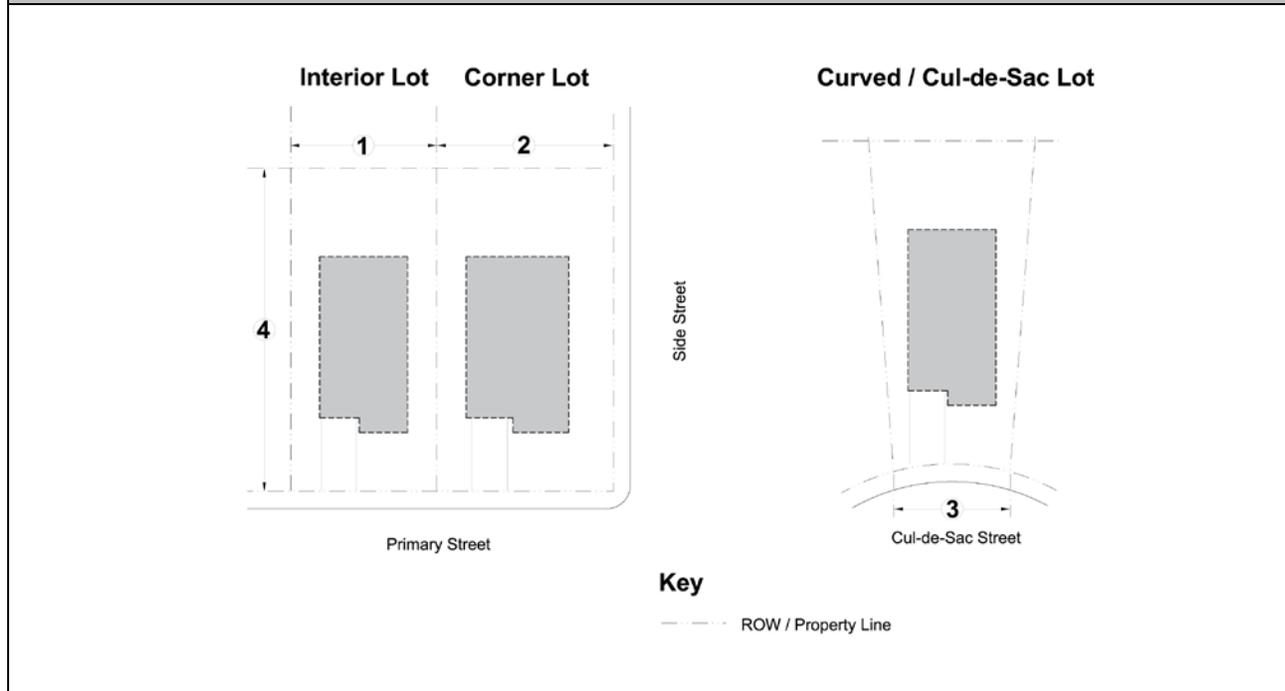
TABLE 15-902: USE REGULATIONS—RESIDENTIAL SINGLE-FAMILY DISTRICTS							
District	RE	RS-1	RS-2	RS-3	RS-4	RS-5	Additional Regulations
<b>Public and Semi-Public Use Classifications</b>							
Community and Religious Assembly (less than 2,000 square feet)	-	-	P	P	P	P	§15-2719, Community and Religious Assembly Facilities
Community and Religious Assembly (2,000 square feet or more)	-	-	C	C	C	C	
Community Garden	P	P	P	P	P	P	§15-2720, Community Gardens / Urban Farms
Cultural Institutions	-	-	-	C	C	C	
Day Care Centers	-	-	-	-	-	C	§15-2725, Day Care Centers and Family Child Care Homes
Park and Recreation Facilities, Public	C	C	C	C(1)	C(1)	C(1)	
Public Safety Facilities	C	C	C	C	C	C	
Schools, Public or Private	-	P	P	P	P	P	
<b>Commercial Use Classifications</b>							
Corner Commercial	-	-	-	-	P	P	§15-2722, Corner Commercial
Food and Beverage Sales							
<i>Farmer's Markets</i>	-	-	-	-	P(2)	P(2)	§15-2730, Farmer's Markets
Lodging							
<i>Bed and Breakfast</i>	P	P	P	P	P	P	§15-2713, Bed and Breakfast Lodging
<b>Industrial Use Classifications</b>							
Warehousing, Storage, and Distribution							
<i>Personal Storage</i>	-	-	-	C	C	C	§2747, Personal (Mini) Storage
<b>Transportation, Communication, and Utilities Use Classifications</b>							
Communication Facilities							
<i>Antenna and Transmission Towers</i>	See Section 15-2759, Telecommunications and Wireless Facilities						
Utilities, Minor	P	P	P	P	P	P	
<b>Agricultural and Extractive Use Classifications</b>							
Crop Cultivation	P	P	P	P	P	P	§15-2716, Crop Cultivation
Urban Farm	-	P	P	P	-	-	§15-2720, Community Gardens / Urban Farms
<b>Other Applicable Types</b>							
Accessory Uses and Structures	§15-2703, Accessory Uses						
<i>Accessory Living Quarters</i>	P	P	P	P	P	P	§15-2754, Second Dwelling Units, Backyard Cottages, and Accessory Living Quarters
Home Gardens	§15-2734, Home Gardens and Edible Landscaping						
Home Occupations	§15-2735, Home Occupations						
Animal Keeping	§15-2708, Animal Keeping						
Non-Conforming Use	Article 4, Non-Conforming Uses, Structures, Site Features, and Lots						

<b>TABLE 15-902: USE REGULATIONS—RESIDENTIAL SINGLE-FAMILY DISTRICTS</b>							
<i>District</i>	<i>RE</i>	<i>RS-1</i>	<i>RS-2</i>	<i>RS-3</i>	<i>RS-4</i>	<i>RS-5</i>	<i>Additional Regulations</i>
Temporary Use	§15-2760, Temporary Uses						
Transitional and Supportive Housing	§15-2762, Transitional and Supportive Housing						
<b>Specific Limitations:</b>							
<ol style="list-style-type: none"> <li>1. Permitted without a Conditional Use Permit if less than 12,000 square feet in active use area and less than 500 square feet total floor area of all enclosed structures (i.e. bathrooms, community rooms, clubhouses, etc.).</li> <li>2. Off-street Farmer’s Markets are permitted only on non-residential sites, such as schools and religious institutions.</li> </ol>							

### 15-903 Density and Massing Development Standards

Tables 15-903-1 through 15-903-2 prescribe the development standards for the Residential Single-Family Districts. Additional regulations are denoted in a right hand column. Section numbers in this column refer to other sections of the Code, while individual letters refer to subsections that directly follow the table. The numbers in each illustration below correspond to the “#” column in the associated table. Drawings are for illustrative purposes and are not drawn to scale.

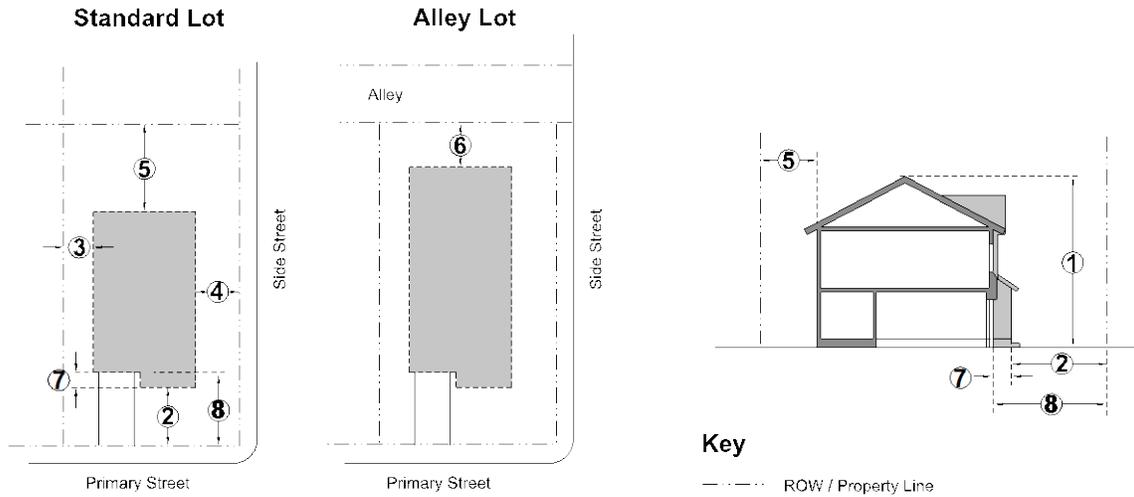
**TABLE 15-903-1: LOT AND DENSITY STANDARDS—RESIDENTIAL SINGLE-FAMILY DISTRICTS**



District	RE	RS-1	RS-2	RS-3	RS-4	RS-5	Additional Regulations	#
Minimum Lot Size (sq. ft.)	5 acres	36,000	20,000	9,000	5,000	4,000		
Minimum Lot Size, with Enhanced Streetscape (sq. ft.)	-	-	-	-	-	2,500 <sup>1</sup>	§15-904-B, Enhanced Streetscape	
Maximum Lot Size <sup>2</sup>	-	-	-	32,000	9,000	6,500		
Residential Density (dwelling units per lot)	1	1	1	1	1	1	§15-310, Determining Residential Density	
Minimum Lot Width (ft.)								
<i>General Standard</i>	110	110	110	70	50	35		①
<i>Corner</i>	110	110	110	80	55	40		②
<i>Reversed Corner</i>	110	110	110	90	60	50		
<i>Where Side Property Line Abuts a Major Street, Freeway or Railroad</i>	160	160	130	90	70	60		
<i>Curved/Cul-de-Sac</i>	80	80	80	60	40	30		③
Minimum Lot Depth (ft.)								
<i>General Standard</i>	130	130	130	100	85	70		④
<i>Where Front or Rear Property Line Abuts a Major Street</i>	200	200	130	110	100	90		④
<i>Where a Front or Rear Property Line Abuts a Freeway or Railroad</i>	200	200	150	150	120	120		④

1. Provided that the overall density of the development does not exceed the approved General Plan densities.  
 2. Maximum lot sizes may be exceeded in developments whose overall density does not fall below the approved General Plan density.

**TABLE 15-903-2: BUILDING FORM AND LOCATION STANDARDS—RESIDENTIAL SINGLE-FAMILY DISTRICTS**



District	RE	RS-1	RS-2	RS-3	RS-4	RS-5	Additional Regulations	#
Maximum Height (ft.)	35	35	35	35	35	35	§15-2012, Heights and Height Exceptions	①
Minimum Setbacks (ft.)								
Front	35	35	30	25	13	13	§15-313, Determining Setbacks and Yards §15-904-A, Additional Setback Regulations §15-904-B, Enhanced Streetscape §15-2004, Accessory Buildings and Structures §15-2014, Projections/Encroachments into Yards	②
Front, with Enhanced Streetscape	-	-	-	-	8	5		③
Interior Side	10	10	10	5	10 total, min. 4/side	8 total, min. 3/side		④
Street Side	35	25	25	20	10	10		⑤
Rear	20	20	20	20	10	10		⑥
Alley	20	20	20	5	5	-		⑦
Freeway/Railroad	50	50	50	50	50	50		⑧
Garage, from back of sidewalk or curb	-	-	35	30	18	18		⑨
Garage, from primary façade	-	-	4	4	4	4		⑩
Maximum Lot Coverage (% of Lot)	30	30	30	35	50	60	§15-311, Determining Lot Coverage	

## 15-904 Site Design Development Standards

### A. Additional Setback Regulations.

1. ***Setbacks for Developed Blocks.***
  - a. ***Front Yards.*** Where 50 percent or more of the lots on the same blockface have been improved with buildings, the front setback for new structures shall not be greater than 110 percent of the average of the actual front setbacks of all improved lots on such blockface, nor shall it be less than 90 percent of the average of the actual front setbacks of all improved lots on such blockface.
  - b. ***Garage Encroachments into Rear and Side Setbacks.*** Where 50 percent of the residential properties on a block have detached garages which encroach into the minimum side and/or rear setbacks, new detached garages shall be permitted to encroach into the minimum side and/or rear setback in a similar manner. In such instances the minimum side and rear setback for a detached garage shall each be equal to the average of the equivalent setbacks of the detached garages on the block, unless the average is less than two feet in which case the setback shall be zero feet.
  - c. ***Garage Setbacks for Developed Blocks.*** Where 50 percent or more of the lots on the same blockface feature detached garages, new garages shall be set back no less than 10 feet behind the primary façade.
2. ***Side Setbacks for Attached Dwellings.*** Required side setbacks shall apply only to the ends of rows of attached dwellings, and shall not be required between attached dwellings.
3. ***Interior Side Yards Adjacent to Garages.*** If side setbacks are not of an equal width, then the larger side setback shall be adjacent to the garage.
4. ***Water-Efficient Landscaping Incentive.*** The minimum front setback may be reduced by up to three feet if the front yard complies with the following:
  - a. The installed landscaping complies with the State Model Water Efficient Landscape Ordinance (MWELo) regardless of whether the new landscape project meets or does not meet the Applicability criteria in MWELo; and
  - b. The Maximum Applied Water Allowance is reduced by 10 percent; and
  - c. The setback reduction shall not result in a front setback of less than three feet.
5. ***Park Strip Incentive.*** When a park strip is provided between the curb and sidewalk in a new subdivision, the minimum front setback for adjacent parcels shall be reduced by the width of the park strip. However, the reduction shall not result in a front setback of less than three feet.
6. ***Swing Garages.*** A garage with an entrance that is perpendicular to the adjacent street is known as a swing garage. If the wall of a swing garage which faces the street has windows and other architectural treatments which are comparable to that of the

primary façade of the living area, then swing garages shall be subject to the minimum front setback and shall not be subject to garage setbacks.

- B. **Enhanced Streetscape.** When an Enhanced Streetscape is provided, the minimum lot size and minimum front setback shall be reduced as shown on Tables 15-903-1 and 15-903-2. Enhanced Streetscape shall mean that no fewer than five of the following qualities are present on the site or the adjacent public street:
1. A landscaped parkway strip of no less than four feet in width; or
  2. An elevated first floor which is at no less than three feet above the grade of the adjacent sidewalk or curb; or
  3. A front porch with a depth of no less than five feet and a width equal to no less than 20 percent of the building frontage; or
  4. A street-facing balcony with a depth of no less than five feet and a width equal to no less than 30 percent of the building frontage; or
  5. A bay window with a depth of no less than two feet; or
  6. An alley-loaded garage; or
  7. A front-loaded garage door, the width of which occupies less than 50 percent of the area of the front façade; or
  8. A design in which no exterior front street-facing wall has a continuous plane of more than eight feet without an opening such as a window or door or a projection, offset, or recess at least one foot in depth; or
  9. Stone or brick cladding accounts for no less than 25 percent of the cladding of ground floor front street-facing facades, excluding windows, doors, and garages; or
  10. A two-story front elevation; or
  11. Shutters, lintels, sills, awnings, decorative trim or similar architectural treatments on front street-facing windows and doors; or
  12. Ornamental architectural elements such as medallions, keystones, or quatrefoils, and decorative vent covers; or
  13. Decorative eave treatments such as cornice moldings, modillions, corbels, and outlookers; or
  14. 8-foot tall front door; or
  15. Juliet balcony.
- C. **Pedestrian Access.** Where 50 percent or more of the single-family homes on the same blockface have a direct path from the main pedestrian entrance to the public sidewalk, new homes shall also provide such a path. In such circumstances the driveway shall not satisfy this requirement.
- D. **Driveway Design.** Where 50 percent or more of the lots on the same blockface have a driveway design with a landscaped strip in the center (commonly known as ribbon drives or Hollywood drives), new driveways shall also include a central landscape strip.

## 15-905 Façade Design Development Standards

### A. Façade Alignment.

1. **Vertical Alignment.** With the exception of mansard roofs, cornices, and other such features, façades shall be oriented vertically and shall have no slope.
2. **Horizontal Alignment.** With the exception of bay windows and similar features, facades that are located within 50 feet of a public street shall run parallel or perpendicular to said street.

### B. Façade Compatibility for Developed Blocks. Where 50 percent or more of the lots on the same blockface have been improved with buildings, the following standards shall apply. Compliance shall be determined at the discretion of the Review Authority.

1. **Building Materials and Finishes.** Cladding and trim materials and finishes shall be similar to adjacent homes.
2. **Windows.** The size, location, and proportions of windows shall be similar to adjacent homes.

## 15-906 Duplex and Multi-Unit Residential Standards

When Duplex and Multi-Unit Residential uses are identified in Table 15-902 as permitted with a Conditional Use Permit, the following standards shall apply:

- A. **Neighborhood Meeting.** Prior to submittal of the project application, the applicant shall conduct a Neighborhood Meeting as put forth in Section 15-5006.
- B. **Review Authority.** The Planning Commission shall approve, conditionally approve, or deny applications for Conditional Use Permits following a public hearing.
- C. **Public Notice.** Prior to consideration of the Conditional Use Permit, Public Notice shall be provided per Section 15-5007.
- D. **Property Development Standards.** The standards of the RM-1 District shall apply, except as follows:
  1. **Density.** Residential density shall be measured as put forth in Section 15-310-B.
    - a. **Minimum.** Five units per acre.
    - b. **Maximum.** Twelve units per acre.
  2. **Front Setback.** Where adjacent sites have been improved with buildings, the front setback for new structures shall match the front setbacks of those buildings as determined by the Review Authority.
  3. **Façade Compatibility.**
    - a. **Building Materials and Finishes.** Cladding and trim materials and finishes shall be similar to adjacent single-family homes.
    - b. **Windows.** The size, location, and proportions of windows shall be similar to adjacent single-family homes.

4. ***Other Standards.*** When the Review Authority determines that a development standard of the RS-5 District would provide for better compatibility with adjacent single-family homes than the corresponding RM-1 standard, the RS-5 standard shall apply.