

Article 10 Residential Multi-Family Districts (RM)

Sections:

- 15-1001 Purpose
- 15-1002 Use Regulations
- 15-1003 Density and Massing Development Standards
- 15-1004 Site Design Development Standards

15-1001 Purpose

The purposes of the Residential Multi-Family (RM) Districts are to:

- A. Provide for a variety of multi-family housing types for individual lifestyles and space needs, and to ensure continued availability of a full range of affordable housing opportunities necessary to sustain a diverse labor force, consistent with the City's economic development and housing objectives of the General Plan.
- B. Provide opportunities for the development of higher-density and affordable housing in neighborhoods throughout the city.
- C. Preserve, protect, and enhance the character of the city's medium and high-density neighborhoods.
- D. Promote development of walkable, transit-supported neighborhoods.
- E. Ensure that the scale and design of new development and alterations to existing structures are compatible with the scale, mass, and character of their neighborhoods.
- F. Ensure adequate light, air, privacy, and outdoor living area for each dwelling.
- G. Ensure the provision of services and facilities needed to accommodate planned population densities and to achieve complete neighborhoods in the city's existing and future residential areas in accordance with the General Plan.
- H. Provide for appropriate densities within the ranges established in the General Plan.
- I. Protect the quality of the residential environment and secure the health, safety, and general welfare of the residents.
- J. Implement and provide appropriate regulations for General Plan classifications of "Medium High Density Residential," "Urban Neighborhood Density Residential," and "High Density Residential."

15-1002 Use Regulations

- A. Table 15-1002 prescribes the proposed land use regulations for Residential Multi-Family Districts. The regulations for the districts are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review.

“P” designates permitted uses.

“C” designates uses that are permitted after review and approval of a Conditional Use Permit.

“(#)” numbers in parentheses refer to specific limitations listed at the end of the table.

“–” designates uses that are not permitted.

- B. Land uses are defined in Article 67, Use Classifications.
- C. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character per Section 15-5020, Director’s Determination.
- D. All permitted uses are allowed either alone or in combination with other permitted uses unless otherwise stated in this Code.
- E. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are not permitted.
- F. The table also notes additional regulations that apply to various uses. Section numbers in the right hand column refer to other sections of this Code.

TABLE 15-1002: USE REGULATIONS—RESIDENTIAL MULTI-FAMILY DISTRICTS					
<i>District</i>	<i>RM-1</i>	<i>RM-2</i>	<i>RM-3</i>	<i>RM-MH</i>	<i>Additional Regulations</i>
Residential Use Classifications					
Residential Housing Types					
<i>Single-Unit Dwelling, Detached</i>	P	–	–	–	§15-2738, Manufactured Homes
<i>Single-Unit Dwelling, Attached</i>	P	P	–	–	
<i>Second Dwelling Unit</i>	P	P	–	–	§15-2754, Second Dwelling Units, Backyard Cottages, and Accessory Living Quarters
<i>Duplex</i>	P	P	P	–	
<i>Multi-Unit Residential</i>	P	P	P	–	
<i>Cottage Housing Development</i>	P	–	–	–	§15-2723, Cottage Housing Developments (Pocket Neighborhoods)
Adult Family Day Care					
<i>Small (6 clients or less)</i>	P	P	P	P	
<i>Large (7 to 12 clients)</i>	C	C	C	–	
Caretaker Residence	–	–	–	P	
Domestic Violence Shelter					
<i>Small (6 persons or less)</i>	P	P	P	–	
<i>Large (7 persons or more)</i>	P	P	P	–	
Elderly and Long-Term Care	C	C	C	–	
Family Day Care					
<i>Small (8 children or less)</i>	P	P	P	P	§15-2725, Day Care Centers and Family Child Care Homes
<i>Large (9 to 14 children)</i>	C	C	C	C	

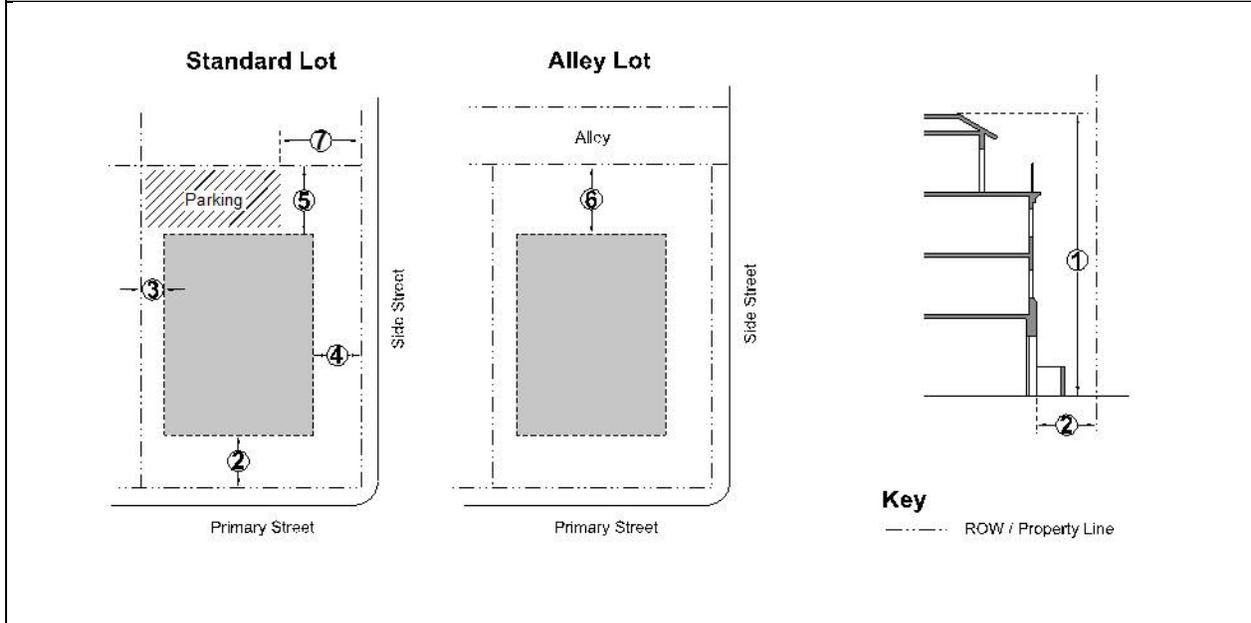
TABLE 15-1002: USE REGULATIONS—RESIDENTIAL MULTI-FAMILY DISTRICTS					
<i>District</i>	<i>RM-1</i>	<i>RM-2</i>	<i>RM-3</i>	<i>RM-MH</i>	<i>Additional Regulations</i>
Group Residential					
<i>Small (6 persons or less)</i>	P	P	P	–	
<i>Large (7 persons or more)</i>	C	C	C	–	
Mobile Home Parks	–	–	–	P	§15-2738, Manufactured Homes
Re-Entry Facility	C	C	C	–	
Residential Care Facilities					
<i>Residential Care, General</i>	C	P	P	–	
<i>Residential Care, Limited</i>	P	P	P	–	
<i>Residential Care, Senior</i>	C	P	P	–	
Single Room Occupancy	–	C	C	–	§15-2757, Single Room Occupancy Hotels and Boarding Homes
Public and Semi-Public Use Classifications					
Colleges and Trade Schools, Public or Private	C(1)	C(1)	C(1)	–	
Community and Religious Assembly (less than 2,000 square feet)	P	P	P	P	§15-2719, Community and Religious Assembly Facilities
Community and Religious Assembly (2,000 square feet or more)	C(1)	C(1)	C(1)	–	
Community Garden	P	P	P	P	§15-2720, Community Gardens / Urban Farms
Cultural Institutions	C	P	P	–	
Day Care Centers	C	P	P	–	§15-2725, Day Care Centers and Family Child Care Homes
Park and Recreation Facilities, Public	C(2)	C(2)	C(2)	C	
Public Safety Facilities	C	C	C	C	
Schools, Public or Private	P	P	P	P	
Social Service Facilities	C	C	C	–	
Commercial Use Classifications					
Food and Beverage Sales					
<i>Farmer’s Markets</i>	P	P	P	P	§15-2730, Farmer’s Markets
<i>General Market</i>	–	–	–	P(3)	§15-2744, Outdoor Dining and Patio Areas; §15-2745, Outdoor Retail Sales
<i>Healthy Food Grocer</i>	–	–	–	P(3)	
Lodging					
<i>Bed and Breakfast</i>	P	P	P	P	§15-2713, Bed and Breakfast Lodging
Industrial Use Classifications					
Warehousing, Storage, and Distribution					
<i>Personal Storage</i>	C	C	C	C	§2747, Personal (Mini) Storage
Transportation, Communication, and Utilities Use Classifications					
Communication Facilities					
<i>Antenna and Transmission Towers</i>	See Section 15-2759, Telecommunications and Wireless Facilities				
Utilities, Minor	P	P	P	P	

TABLE 15-1002: USE REGULATIONS—RESIDENTIAL MULTI-FAMILY DISTRICTS					
<i>District</i>	<i>RM-1</i>	<i>RM-2</i>	<i>RM-3</i>	<i>RM-MH</i>	<i>Additional Regulations</i>
Agricultural and Extractive Use Classifications					
Crop Cultivation	P	P	P	P	§15-2716, Crop Cultivation
Other Applicable Types					
Accessory Uses and Structures	§15-2703, Accessory Uses				
<i>Accessory Living Quarters</i>	P	P	P	P	§15-2754, Second Dwelling Units, Backyard Cottages, and Accessory Living Quarters
Home Gardens	§15-2734, Home Gardens and Edible Landscaping				
Home Occupations	§15-2735, Home Occupations				
Animal Keeping	§15-2707, Animal Keeping				
Non-Conforming Use	Article 4, Non-Conforming Uses, Structures, Site Features, and Lots				
Temporary Use	§15-2760, Temporary Uses				
Transitional and Supportive Housing	§15-2762, Transitional and Supportive Housing				
Specific Limitations:					
<ol style="list-style-type: none"> 1. Only on parcels with direct access from a major street. 2. Permitted without a Conditional Use Permit if less than 12,000 square feet in active use area and less than 500 square feet total floor area of all enclosed structures (i.e. bathrooms, community rooms, clubhouses, etc.). Should the site access a major street, this condition shall not be applicable. 3. Limited to sites that are a minimum of five acres and 1,500 square feet of sales area. 					

15-1003 Density and Massing Development Standards

Table 15-1003 prescribes the density and massing development standards for the Residential Multi-Family Districts. Additional regulations are denoted in a right hand column. Section numbers in this column refer to other sections of this Code, while individual letters refer to subsections that directly follow the table. The numbers in each illustration below correspond to the “#” column in the associated table. Drawings are for illustrative purposes and are not drawn to scale.

TABLE 15-1003: DENSITY AND MASSING STANDARDS—RESIDENTIAL MULTI-FAMILY DISTRICTS



District	RM-1	RM-2	RM-3	RM-MH	Additional Regulations	#
Maximum Density (du/ac) (min./max.)	12/16	16/30	30/45	12/16	§15-310, Determining Residential Density	
Maximum Height (ft.)	40	50	60	35	§15-2012, Heights and Height Exceptions, 15-1003-A, RS Transition Standards	①
Setbacks (ft.)						
Front (min. / max.)	10 / 20	10 / 20	10 / 20	10 / 20	§15-313, Determining Setbacks and Yards	②
Interior Side (min.)	10 total, min. 4/side	5	5	5	§15-1004-A, RS Transition Standards	③
Street Side (min.) (Parcel <125 ft. in depth)	10	10	10	10	§15-1004-B, Side Setbacks for Attached Dwellings	④
Street Side (min.) (Parcel >125 ft. in depth)	15	15	15	15	§15-1004-C, Parking Setback	④
Rear (min.)	20	15	15	10	§15-2014, Projections/Encroachments into Yards	⑤
Alley (min.)	3	3	3	3	§15-2305, Areas to be Landscaped	⑥
Parking, from back of sidewalk or curb (min.)	30	30	30	30	§15-317, Determining Frontage Coverage	⑦
Minimum Frontage Coverage (%)	50	50	50	-	§15-311, Determining Lot Coverage	
Maximum Lot Coverage (% of lot)	50	50	60	50		
Minimum On-Site Open Space (% of Lot Area)	20	15	10	-		

15-1004 Site Design Development Standards

- A. **RS Transition Standards.** Where an RM district abuts an RS District, the following standards apply:
1. **Height.** The maximum height within 40 feet of an RS District is limited to 30 feet. The maximum height within 50 feet of an RS District is 40 feet.
 2. **Setbacks.** The following additional setback requirements shall be applied to all structures, including accessory structures, on parcels which are adjacent to an RS District:
 - a. **Front.** The minimum front setback requirement of the adjacent RS district shall be applied to all structures within 50 feet of the RS District.
 - b. **Interior Side.** The interior side setback shall be 10 feet.
 - c. **Rear.** The rear setback shall be 20 feet.
 3. **Landscape.** See Table 15-2305-C.1, Required Landscape Buffers.
 4. **Screening.** When a multi-story building is proposed and the second story or above is located within 50 feet of the side or rear yard of a single-family lot, screening measures shall be applied to provide a reasonable degree of privacy.
 - a. Screening measures include, but are not limited to, landscaping, alternate window and balcony placements, placing windows at least six feet from the floor of the interior of the unit, incorporating wing walls or louvers, using glass block or other translucent material, and other such methods.
 - b. **Sufficiency of Screening.** The Review Authority shall determine the sufficiency of the proposed screening measures and may require additional measures.

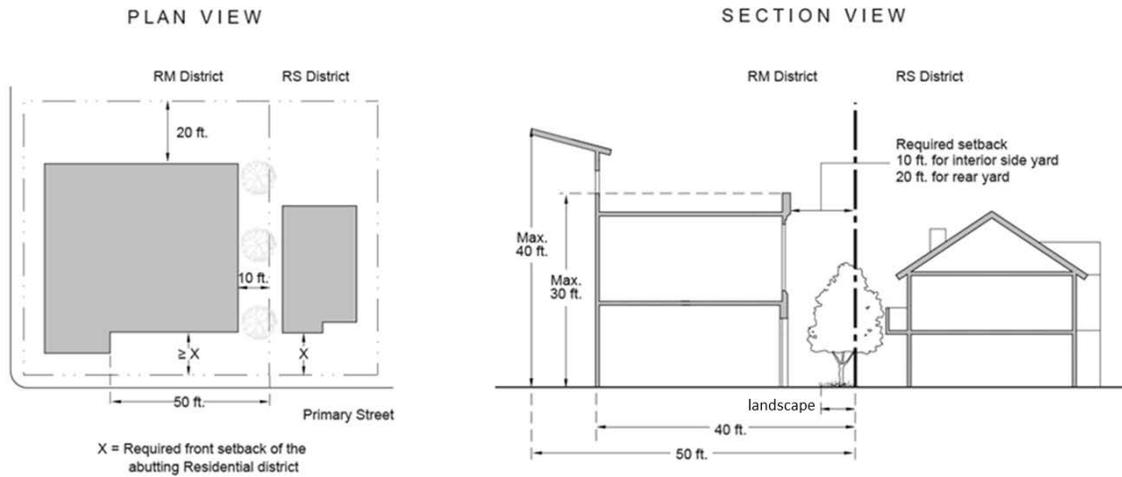


FIGURE 15-1004-A: RS TRANSITION STANDARDS—RM DISTRICTS

- B. **Side Setbacks for Attached Dwellings.** Required side setbacks shall apply only to the ends of rows of attached dwellings, and shall not be required between attached dwellings.
- C. **Parking Setback.** Parking shall be setback as shown on Table 15-1003 except as provided below:
 - 1. **Surface Parking.**
 - a. Surface parking which is located behind a building shall not be subject to the parking setback requirement.
 - b. On lots less than 150 feet in width or depth, surface parking may be set back less than the distance shown on Table 15-1003, if the following conditions are met:
 - i. Such parking shall not be set back from the street less than adjacent buildings on the site.
 - ii. The parking setback area shall be landscaped.
 - iii. There shall be no more than four adjacent parking spaces in surface parking areas located less than 30 feet from a street-facing lot line. The space between groups of four adjacent parking spaces shall be equal in width to the adjacent parking spaces and shall be landscaped.

- iv. Parking spaces shall be screened from the adjacent street with a minimum three foot berm, wall, or hedge, or combination thereof.

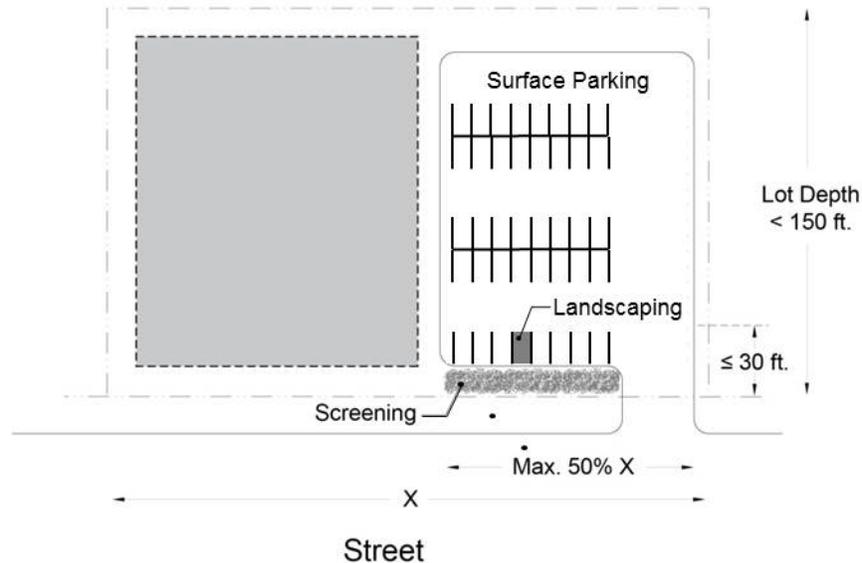


FIGURE 15-1004-C.1: SURFACE PARKING SETBACK REDUCTION

- 2. ***Partially Submerged Podium Parking.*** Parking that is partially below the street grade may extend to the setbacks of the main structure, if the following conditions are met:
 - a. No more than six feet of the partially submerged parking podium may extend above the street grade.
 - b. The partially submerged parking podium shall be screened along street facing elevations by foundation plant materials. Gates need not be screened.
- 3. ***Underground Parking.*** Parking that is fully underground and below the street grade may extend from lot line to lot line.

D. On-Site Open Space.

- 1. ***Minimum Open Space Required.*** The minimum amount of on-site open space required shall be based on the size of the lot, as shown in Table 15-1003. This requirement may be met through a combination of private open space, common open space, or public plazas as follows:
 - a. ***Private Open Space Requirements.*** Private open spaces are those which are attached to a dwelling unit and are available only for the private use of the residents of the dwelling unit, such as balconies, porches, and patios. No fewer than 50 percent of the dwelling units on a site shall have a private open space. The following standards shall apply to private open space:

- i. The minimum dimension of any private open space shall be four feet.
 - ii. The minimum area of any private open space shall be 32 square feet.
 - iii. When located within 30 feet of a public street and located on the ground floor, private open spaces shall follow the requirements for Porches as put forth in Table 15-1005-F.
 - iv. When located within 30 feet of a public street and located above the ground floor, private open spaces shall follow the requirements for Balconies as put forth in Table 15-1005-F.
- b. *Common Open Space Requirements.* Common open spaces are those which are available for active or passive use by all tenants, but use by the general public may be restricted. To the extent that common open space is provided, the following standards shall apply:
- i. The minimum dimension of any common open space shall be 20 feet.
 - ii. The minimum area of any common open space shall be 1,000 square feet. The calculation of the common open space area shall exclude structures which are unusable as open space, but shall include structures that enhance its usability, such as swimming pools, changing facilities, fountains, planters, benches, and landscaping.
 - iii. Not less than 80 percent of common open space shall be unobstructed to the sky. Trellises, pergolas, and similar structures shall be considered open to the sky for the purposes of this measurement.
 - iv. Common open space may be located at grade, on rooftops, on top of parking podiums, or any other such location that is accessible to tenants. Common open space may not be located within required front setbacks or RS buffer setbacks

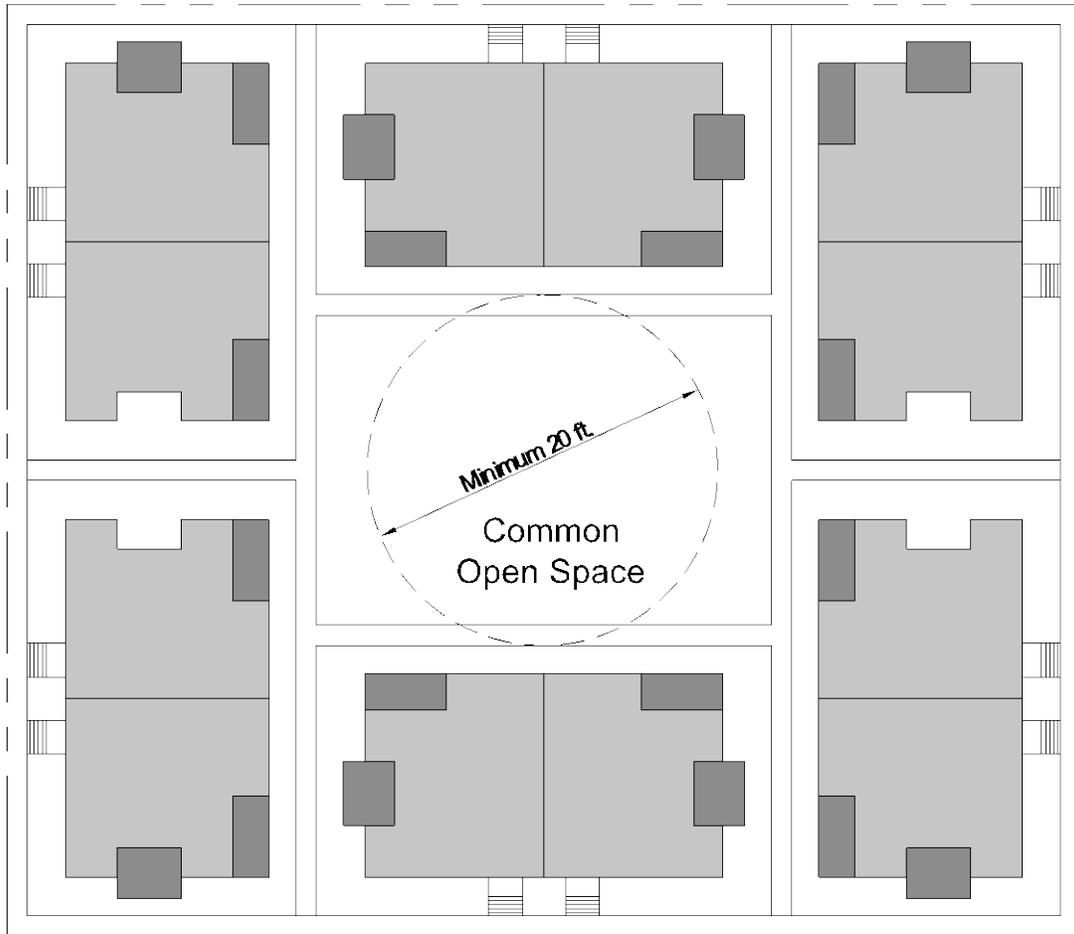


FIGURE 15-1004-D.1.b: MINIMUM REQUIRED COMMON OPEN SPACE DIMENSION

- c. *Public Plaza Requirements.* Public plazas are those which are available for use by the general public, as well as tenants of the project. To the extent that public plazas are provided, the following standards shall apply:
- i. The minimum dimension of any public plaza shall be 20 feet.
 - ii. The minimum area of any public plaza shall be 500 square feet. The calculation of the public plaza area shall exclude structures which are unusable as open space, but shall include structures that enhance its usability, such as fountains, planters, benches, and landscaping.
 - iii. Public plazas shall include benches or other seating, and paving shall be of high-quality materials. Amenities provided shall enhance the comfort, aesthetics, or usability of the space and include, but not be limited to, trees and other landscaping, shade structures, drinking fountains, water features, public art, or performance areas. Landscaping or other aspects

of the design shall not discourage the use of the space by the general public.

- iv. Public plazas shall be fully accessible from the public right-of-way, shall be located in front of project buildings and shall not be located where public views into the space are obstructed by buildings or other structures.
- v. Public plazas may be located within required front setbacks.
- vi. A public access easement shall be provided for the space.

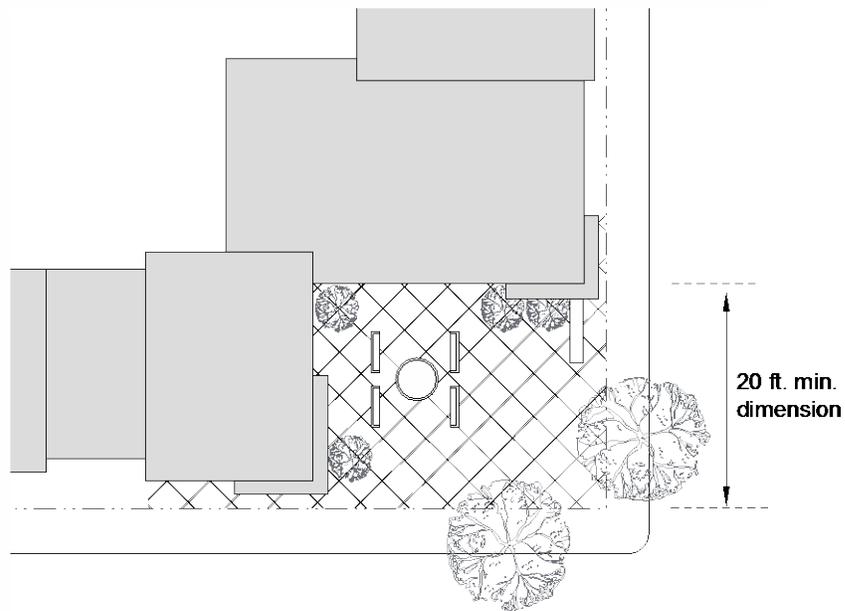


FIGURE 15-1004-D.1.c: MINIMUM REQUIRED PUBLIC PLAZA DIMENSION

- 2. **Minimum Open Space Reduction.** The minimum amount of open space required shall be reduced by 25 percent in any one of the following circumstances:
 - a. Any portion of the lot is located within a quarter mile of a transit stop with regular, scheduled service during the weekday hours of 7:00 a.m. to 9:00 a.m. and 5:00 p.m. to 7:00 p.m.
 - b. There is a public park within 400 feet of the site, and
 - i. Said park is located on the same side of the street and provides an improved pedestrian path to and from the site; or
 - ii. The public park is across a local street and the site provides an improved pedestrian path to and from the site.
 - c. The parcel is 15,000 square feet or less in area.

- E. **Pedestrian Access.** Pedestrian access to public streets shall be provided at the preference of the applicant by either the Flexibility Option or the Certainty Option as follows:
1. ***Flexibility Option.*** The applicant must demonstrate to the satisfaction of the Review Authority that the project meets the following goal:
 - a. Provide sufficient opportunities to for residents to walk to nearby amenities, services, and transit facilities.
 2. ***Certainty Option.*** Projects which comply with the following standards shall be considered to provide sufficient pedestrian access:
 - a. ***Common Area Sidewalk Connections.*** Common entrances into lobbies or internal pedestrian paths shall be provided at the rates prescribed below. When providing access to a structure, such entrances shall be protected by a portico, canopy, or alcove of no less than four feet in depth.
 - i. In the Priority Areas (see Figure IM-1: Priority Areas for Development Incentives in the Fresno General Plan, adopted in 2014). No less than one per 400 feet of linear street frontage.
 - ii. Outside of the Priority Areas. No less than one per 600 feet of linear street frontage.
 - b. ***Residential Unit Sidewalk Connections.*** Direct entrances into individual ground-floor dwelling units which are adjacent to streets shall be provided at the rates prescribed below. Such entrances shall be protected by a portico, canopy, or alcove of no less than four feet in depth.
 - i. In the Priority Areas. No less than one per 100 feet of linear street frontage.
 - ii. Outside of the Priority Areas. None required.
 - c. ***External Connections to Adjacent Development.*** Pedestrian walkways shall connect the project site to adjacent Commercial, Mixed-Use, and Office districts at a frequency of no less than one per 600 feet. Projects may be excepted from this requirement in the following situations:
 - i. An interconnected street network with short blocks and sidewalks exists in the surrounding area; or
 - ii. The project site is less than one acre in size; or
 - iii. The adjacent properties are developed and there are no possible connection points.
 - d. If the project is located within an area with adopted design guidelines, all applicable guidelines which relate to pedestrian access and the location of doors and entrances shall also be followed.

15-1005 Façade Design Development Standards

Appropriate façade design shall be provided at the preference of the applicant by either the Flexibility Option or the Certainty Option as follows:

- A. **Flexibility Option.** The applicant must demonstrate to the satisfaction of the Review Authority that the project meets the following goals:
1. Present an attractive appearance to public streets.
 2. Be aesthetically and functionally compatible to the nearby development context.
 3. Demonstrate a high level of quality.
 4. Support the growth in value of surrounding properties.
- B. **Certainty Option.** Street-facing façades for buildings adjacent to a public street shall comply to the following standards. Other façades shall not be subject to these standards.
1. ***Building Length Articulation.*** At least one projection or recess will be provided for every 50 horizontal feet of wall in one of the following manners:
 - a. Projections or recesses for buildings 50 feet wide or less shall be exempted from the building length articulation requirement; projections or recesses for buildings greater than 50 feet in width but less than 100 feet in width shall be no less than 12 inches in depth; or projections or recesses for buildings 100 feet wide or wider shall be no less than 24 inches in depth.
 - b. The depth and width of the projection or recess shall be proportionate to the overall mass of the building.
 2. ***Building Materials and Finishes.*** Materials shall present a durable and attractive appearance through high-quality materials, finishes, and workmanship defined as:
 - a. At least two cladding materials (excluding roof and foundation); and
 - b. At least three exterior colors (each cladding material shall count as a color, trim/accent colors shall each count as a color, and visually significant colors for doors, balconies, and similar elements may count as a color).
 - c. ***Exception.*** Buildings which accurately adhere to a recognized architectural style which is appropriately expressed in one cladding material and one color shall be excepted.
 - d. ***Exception.*** Buildings with all of the following characteristics shall be allowed to use one cladding material:
 - i. Not located within the area bounded by Tulare Street, L Street, Santa Clara Street, and the Union Pacific Railroad;
 - ii. Building height of three stories or less;
 - iii. Building width of 100 feet or less; and
 - iv. A façade with a comparable form of visual interest.

3. ***Window Design.***

- a. *Glazing Ratio.* Street-facing façades of each floor of the building shall have an overall wall composition of at least 25 percent glazing, but not more than 70 percent glazing.
- b. *Vertical Proportion.* On upper stories, the percentage of all window openings, window panes, or distinct window units specified below shall have a vertical proportion, in which their height exceeds their width by 25 percent or more.
 - i. In the Priority Areas (see Figure IM-1: Priority Areas for Development Incentives in the Fresno General Plan, adopted in 2014). At least 50 percent.
 - ii. Outside of the Priority Areas. At least 30 percent.
- c. *Window Depth.* In the Priority Areas, windows shall create visual interest and the appearance of depth in one of the following manners:
 - i. Trim at least one inch in depth and three inches wide must be provided around all upper story windows and non-commercial ground-floor windows;
 - ii. Windows must be recessed at least two inches from the plane of the surrounding exterior wall (for double-hung and horizontal sliding windows, at least one sash shall achieve the two-inch recess); or
 - iii. Decorative plaster screed, minimum two inches wide.
 - iv. Exception. Buildings with all of the following characteristics shall be allowed to use flush windows without trim:
 - (1) Not located within the area bounded by Tulare Street, L Street, Santa Clara Street, and the Union Pacific Railroad;
 - (2) Building height of three stories or less;
 - (3) Building width of 100 feet or less; and
 - (4) A façade with a comparable form of prominent surface relief and articulation, such as awnings, canopies, balconies, or massing changes.

4. ***Façade Alignment.***

- a. *In the Priority Areas.* Façade alignment shall be as follows:
 - i. Vertical Alignment. With the exception of mansard roofs, cornices, and other such features, façades shall be oriented vertically and shall have no slope.
 - ii. Horizontal Alignment. With the exception of bay windows and similar features, façades shall run parallel or perpendicular to the adjacent street.
- b. *Outside of the Priority Areas.* No requirement.

5. ***External Stairs, Corridors, and Hallways.*** In the priority areas, external stairs, corridors, and hallways that are located within 30 feet of a public street must be architecturally integrated into the building design.
6. ***Balconies.*** If balconies are provided, they shall not be grouped together into a continuous band across the facade. No more than two balconies shall be contiguous. Each balcony or group of two contiguous balconies shall be distinct and shall have at least six feet of horizontal separation from any other balcony.
7. ***Façade Elements.*** Development shall incorporate façade elements as follows:
 - a. ***In the Priority Areas.*** A minimum of one of the following Façade Elements will be incorporated into street-facing building façades:
 - i. Forecourts
 - ii. Bay Windows
 - iii. Balconies
 - iv. Porches
 - v. Stoops
 - vi. Arcades
 - b. ***Outside of the Priority Areas.*** No requirement.
8. If the project is located within an area with adopted design guidelines, all applicable guidelines which relate to façade design shall also be followed.